

## GENERAL NOTES

- 1) ALL WORK TO COMPLY TO THE CITY OF CHICAGO / FEDERAL ACCESSIBILITY CODE AS ESTABLISHED BY THESE AGENCIES
- 2) ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND BUILDING CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS AND EVERYTHING OF EVERY SORT WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION OF THIS PROJECT TO OBTAIN A FINAL OCCUPANCY PERMIT. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER AS DESCRIBED HEREIN BY THESE CONSTRUCTION DOCUMENTS ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS. WHETHER THE SAME MAY OR MAY NOT BE PARTICULARLY INFERRED THEREFROM ALL WORK INDICATED OR DESCRIBED IN THE DRAWINGS OR SPECIFICATIONS WILL BE CONFERRED BY THE CONTRACTOR TO THE EXTENT AS IF DESCRIBED IN BOTH.
- 3) SUBCONTRACTORS, BEFORE STARTING THEIR WORK, WILL CHECK AND VERIFY THEIR PARTICULAR CODE RELATED REQUIREMENTS FOR COMPLIANCE ALONG WITH MEASUREMENTS, SURFACE LEVELS, SURFACE CONDITIONS AND RELATED PRODUCT, INSTALLATIONS NEAR AND ABOUT THEIR WORK. EACH TRADE WILL VERIFY IF CONTRACT CONDITIONS WITH THE OWNER OR THE ON-SITE CONSTRUCTION MANAGER AS TO IF THEY ARE OR NOT OF THE SAME, AS PER THESE CONSTRUCTION DOCUMENTS. IT WILL BE CONCLUDED THAT EACH BIDDER UNDERSTANDS AND KNOWS EXACTLY WHAT WILL BE REQUIRED OF HIM AND WILL PERFORM THESE REQUIREMENTS WITHOUT RECOURSE TO THE FULL AND UNCONDITIONAL SATISFACTION OF THE OWNER. THERE ARE NO ALTERNATE BIDS ON THIS PROJECT. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED AFTER LETTING OF THIS BID UNLESS CHANGES ARE DIRECTED BY THE OWNER IN WRITING WITH COST ALREADY NEGOTIATED FOR THAT ADDED WORK AFTER THE LETTING OF THE BID.
- 4) THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL NOT HAVE CONTROL OR CHANGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE, NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.
- 5) ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS IE: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- 6) ALL WORK WILL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCE AND PRESERVE MAXIMUM HEADROOM AND AVOID OMISSIONS. EACH CONTRACTOR WILL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED BY CODE AND NEEDED TO COMPLETE THE WORK INCLUDING MOVING AND RIGGING OF MATERIALS AND EQUIPMENT. ALL THE HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, SLEEVES, ETC.
- 7) ALL MATERIALS USED WILL BE NEW AND BEAR U.I. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.
- 8) LAYOUT ALL PARTITIONS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS WILL BE INSTALLED AS NOTED ON THE DRAWINGS.
- 9) ALL CONTRACTORS WILL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF FINAL OCCUPANCY PERMIT AND/OR AT THE FINAL PAYOUT FROM OWNER.
- 10) VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH THAT WORK.
- 11) ALL SUBCONTRACTORS WILL PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER PRIOR TO STARTING ANY WORK ON THIS PROJECT. NOTE: CERTIFICATE OF INSURANCE CANNOT BE TERMINATED OR CANCELED WITHOUT 10 DAYS PRIOR WRITTEN NOTICE TO THE OWNER.
- 12) NO SUBSTITUTIONS OF ANY KIND FOR MATERIALS SPECIFIED ON THESE CONSTRUCTION DOCUMENTS IS ALLOWED. NO "EQUIVALENT" SUBSTITUTIONS WILL BE MADE, UNLESS APPROVED IN WRITING BY THE ARCHITECT AND APPROVED BY THE OWNER, DUE TO THE LACK OF AVAILABILITY OF ORIGINAL.
- 13) RESPONSIBILITY OF CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR AND MUST GUARANTEE IN WRITING FIRST CLASS WORKMANSHIP AND MATERIALS. EACH CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR THE CARE AND PROTECTION OF HIS OWN WORK AND MATERIALS FROM DAMAGE AND WILL PROTECT THIS SAME PROPERTY. HE WILL MAKE GOOD ANY DAMAGE TO HIS OWN OR OTHER WORK CAUSED BY HIMSELF OR WORKMEN EMPLOYED BY HIM.
- 14) SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED OSHA STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL BE HELD HARMLESS BY THE OWNER, GENERAL CONTRACTOR AND RELATED AWARDED TRADES, ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCURED ON THIS PROPERTY DURING THE PRE/ACTUAL/POST CONSTRUCTION PHASES OF THIS PROJECT.
- 15) LIENS: ALL SUBCONTRACTORS AND THE GENERAL CONTRACTOR WILL DELIVER TO THE OWNER A COMPLETE RELEASE OF ALL ITEMS ARISING OUT OF THIS CONTRACT AND/OR RECEIPTS IN FULL IN LIEU THERE OF TOWARDS THEIR PARTIAL OR FINAL PAYMENT FOR WORK IN PLACE FOR THE OWNER.
- 16) GENERAL CONTRACTOR TO PAY FOR ALL SCAVENGER SERVICES, AND WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM FINISH AT THE END OF EACH WORKING DAY.
- 17) IF CHANGES ARE MADE IN THE FIELD ON THIS PROJECT VIA DIMENSIONS, MATERIALS, INSTALLATION DIFFERENT THAN INDUSTRY TECHNIQUES AND STANDARDS, ETC., "CONSTRUCTION MANAGER" IS TO BE NOTIFIED 48 HOURS IN ADVANCE TO THESE CHANGES TO BE MADE BY SAID TRADE. IF NOTICE IS NOT GIVEN TO THE C.M., THEN THAT SUBCONTRACTOR IS TOTALLY RESPONSIBLE FOR THE CONSEQUENCES AND EFFECTS EVOLVED FROM THESE CHANGES.
- 18) CONSTRUCTION CLEAN-UP: AFTER ALL OTHER WORK IS COMPLETED AND JUST PRIOR TO TURNING THE SPACE OVER TO THE OWNER, THE CONSTRUCTION MANAGER WILL EMPLOY THE SERVICES OF A PROFESSIONAL CLEANING SERVICES TO CLEAN AND WASH DOWN ALL INSTALLED EQUIPMENT, SERVICE AREAS, ALONG WITH THE CLEANING OF ALL GLASS WINDOW/DOOR SURFACES PRIOR TO OCCUPANCY. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES FOR THIS MUNICIPALITY. SEE "CODE REVIEW" ON THIS SHEET.
- 19) DO NOT SCALE DRAWINGS.
- 20) CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH THE OWNER REPRESENTATIVE AND ARCHITECT.
- 21) CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.
- 22) CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING SO TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.
- 23) DIMENSIONS SHALL NOT BE CHANGED WITHOUT THE ARCHITECTS WRITTEN APPROVAL.
- 24) CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
- 25) CONTRACTOR TO PROVIDE A COPY OF THE APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.

## TACO BELL CONTRACTOR NOTES AND REQUIRMENTS

1. ATTEND PRE-CONSTRUCTION MEETING WITH FRANCHISEE
2. OBTAIN COPIES OF PLAN REVIEW LETTERS ISSUED FOR PERMIT APPROVAL PROCESS.
3. SUBMIT PROJECT SCHEDULE, SUB-CONTRACTOR LIST, AND SCHEDULE OF VALUES TO CM.
4. COORDINATE ARCHITECTS JOB SITE INSPECTIONS FOR THE FOLLOWING:
  - ROUGH CARPENTRY
  - UTILITY ROUGH-IN
  - PROJECT COMPLETION
5. FOR REMODELS, GC CONFIRM WITH FRANCHISEE EQUIPMENT TO REMAIN, EQUIPMENT TO BE REMOVED, STORED AND REINSTALLED, AND EQUIPMENT TO BE THROWN AWAY. STORAGE AND DELIVERY OF EQUIPMENT TO BE AT FRANCHISEE'S COST.
6. PROVIDE FIELD MEASUREMENTS TO FRANCHISEE'S EQUIPMENT SUPPLIER
7. APPROVE EQUIPMENT SUPPLIERS SHOP DRAWING FOR ACCURACY WITH CONTRACT DOCUMENTS AND FIELD DIMENSIONS.
8. COMMIT TO EQUIPMENT INSTALLATION 5 WEEKS MINIMUM BEFORE SCHEDULED DATE.
9. GC SHALL PHOTOGRAPH SITE DAY OF EQUIPMENT INSTALL.
10. PROVIDE TRASH DUMPSTERS FOR EQUIPMENT SUPPLIERS CRATE MATERIAL.
11. PROVIDE SUPERINTENDENT ON SITE FOR DURATION OF EQUIPMENT INSTALL.
12. SUB TRADES SHOULD NOT BE SCHEDULED DURING TIME OF INSTALL.
13. BEFORE EQUIPMENT INSTALLATION DATE, GC SHALL HAVE THE FOLLOWING CONSTRUCTION COMPLETED:
  - A. BUILDING ACCESS SHALL HAVE A MINIMUM OF ASPHALT BINDER COURSE, CONCRETE WALK TO UNOBSTRUCTED BUILDING ENTRANCE
  - B. BUILDING SHALL BE SECURE. STOREFRONT FRAMING AND AND GLASS INSTALLED. EXTERIOR LOCKS AND KEYS INSTALLED.
  - C. ELECTRICAL SERVICE TO BE IN PLACE. EITHER TEMPORARY SERVICE SETUP OR PERMANENT SERVICE INSTALLED.
  - D. ALL FLOOR TILE SET AND GROUTED. ALL WALL BASE TILE SET AND GROUTED.
  - E. CEILING GRID INSTALLED. DUCTWORK COMPLETED AND DIFFUSERS IN PLACE.
  - F. SOFFITS COMPLETED AND FINISHED.
  - G. ALL WALL FINISHES COMPLETED.
  - H. HEAT IN BUILDING
  - I. WALK IN BOX CONCRETE PAD POURED AND DOOR OPENING VERIFIED WITH SHOP DRAWINGS.
  - J. WALK IN BOX AREA TO BE CLEANED AND FREE OF CONSTRUCTION MATERIALS.
  - K. ALL AREAS IN THE STORE TO BE CLEANED AND FREE OF CONSTRUCTION MATERIALS.
  - L. ELECTRICAL CIRCUITS PULLED AND WATER STUBS COMPLETED WITH SHUT OFF VALVES.
  - M. HOT WATER HEATER INSTALLED AND OPERATING.
14. GC SHALL INSTALL WALK-IN BOX ELEC. CIRCUITING AND FLUORESCENT LIGHTING PROVIDED BY FRANCHISEE'S EQUIPMENT SUPPLIER. REFRIGERATION SYSTEM AND DRAIN PIPING INSTALLED BY OTHERS. ROOF TOP CONDENSERS TO BE INSTALLED BY OTHERS. GC TO PROVIDE PIPING BOOT FOR REFRIGERATION LINES AND ELECTRICAL LINES AT LOCATION OF CONDENSERS. GC TO PROVIDE ROOF CURBS FOR CONDENSERS.
15. COORDINATE ROOF PENETRATIONS FOR ICE MACHINE REMOTE CONDENSER. SOME ICE MACHINES MAN NOT HAVE REMOTE CONDENSER, REFER TO DRAWINGS.
16. MAKE FINAL ALL EQUIPMENT CONNECTIONS
17. ALL IN LINE BACKFLOW PREVENTORS TO HAVE DRAIN LINES TO HUB DRAIN.
18. COORDINATE ELEC. SERVICE UPGRADE WITH UTILITY COMPANY AND ELEC. ENGINEER. THIS PROCESS IS TO START AS SOON AS CONTRACT IS EXECUTED.
19. COORDINATE FRANCHISEE'S GAS SERVICE.
20. COORDINATE FRANCHISEE'S PHONE SERVICE.
21. COORDINATE FRANCHISEE'S FIRE ALARM DIRECT PHONE LINE CONNECTION.
22. COORDINATE FRANCHISEE'S KNOX BOX INSTALLATION.
23. COORDINATE FRANCHISEE'S AWNING FABRICATOR
24. COORDINATE FRANCHISEE'S LOCAL SIGN INSTALLER.
25. PROVIDE CIRCUITING & FINAL CONNECTION FOR ALL ILLUMINATED SIGNAGE.
26. INSTALL SOUND SYSTEM SPEAKERS WITH WIRES TO OFFICE.
27. PROVIDE FINAL CLEANING SERVICE FOR TURN OVER TO FRANCHISEE.
28. SECURE ALL FINAL INSPECTIONS AND CERTIFICATE OF OCCUPANCY.
29. G.C. WILL BE RESPONSIBLE TO INSTALL ALL INTERIOR GRAPHIC ELEMENTS SUPPLIED BY THE MILLWORK SUPPLIER
30. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
31. GENERAL CONTRACTOR TO HIRE GEOTECHNICAL ENGINEER TO TEST SOILS AT TIME OF EXCAVATION. GEOTECHNICAL ENGINEER TO PROVIDE ARCHITECT AND GENERAL CONTRACTOR WITH REPORT ON SOIL CONDITIONS. IF POOR SOILS ARE FOUND, GEOTECHNICAL ENGINEER IS TO PROVIDE RECOMMENDATIONS.
32. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE YUM BRANDS CONSTRUCTION MANAGER. IN WRITING, PRIOR TO INSTALLATION.
33. RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) AND FOUNDATION PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUMMATION LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER. G.C. SHALL CERTIFY PAD ELEVATION PRIOR TO START OF FOUNDATION WORK.
34. SUBMIT, PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD INSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR "CONNECTION FEES" ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
35. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
36. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
37. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
38. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.

## OCCUPANCY LOAD

THE OCCUPANT LOAD OF THE RESTAURANT IS BASED ON THE CHICAGO BUILDING CODE. ALL SQUARE FOOTAGES ARE BASED ON THE NET FLOOR AREA.

|   |                  |
|---|------------------|
| NON-FIXED SEATING AREAS @ 15 S.F. PER PERSON    |                  |
| DINING AREA = 238 S.F. / 15 =                   | 16 PEOPLE        |
| FIXED SEATING AREAS @ 18 S.F. PER PERSON        |                  |
| DINING AREA = BENCH SEATING= 63 S.F. / 18 =     | 4 PEOPLE         |
| STANDING AREAS (QUEUE AREA) @ 6 S.F. PER PERSON |                  |
| QUEUE AREA = 44 S.F. / 6 =                      | 8 PEOPLE         |
| BUSINESS AREAS @ 100 S.F. PER PERSON            |                  |
| CORRIDOR AND CIRCULATION SPACE                  |                  |
| TOTAL = 781 S.F. / 100 =                        | 8 PEOPLE         |
| KITCHEN AREAS @ 100 S.F. PER PERSON             |                  |
| KITCHEN AREA = 512 S.F. / 100 =                 | 6 PEOPLE         |
| STORAGE AREAS @ 300 S.F. PER PERSON             |                  |
| TOTAL = 347 S.F. / 300 =                        | 2 PEOPLE         |
| <b>TOTAL OCCUPANT LOAD</b>                      | <b>44 PEOPLE</b> |
| <b>TOTAL OCCUPANTS =</b>                        | <b>44 PEOPLE</b> |

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## CODE REVIEW

AUTHORITY: CHICAGO DEPT. OF BUILDINGS  
121 N. LASALLE ST. 9TH FLOOR  
CHICAGO, IL

CODE: CHICAGO BUILDING CODE  
CHICAGO ELECTRICAL CODE  
CHICAGO MECHANICAL CODE  
CHICAGO PLUMBING CODE  
ILLINOIS ACCESSIBILITY CODE (ALL CURRENT VERSIONS)

FIRE SEPARATION: EXISTING TO REMAIN

OCC. LOAD: 44 OCCUPANTS

TRAVEL DIST.: 73'-0" (LESS THAN OR EQUAL TO -75'-0")

MIN. EXIT WIDTH: 36" PROVIDED (36" MIN. REQUIRED)

EXITS: 2 REQUIRED, 2 PROVIDED

CONST. TYPE: TYPE III-B

USE: RESTAURANT (LIMITED)

AREA: 2,516 GROSS SQ. FT.

HEIGHT: 12'-1"

SANITARY FACILITIES: 1 MENS, 1 WOMENS

## SYMBOL NOTES

- INDICATES DETAIL NUMBER
- INDICATES SHEET UPON WHICH DETAIL APPEARS
- COLUMN LINE NUMBER
- ROOM NUMBER
- OR
- DOOR NUMBER
- DETAIL REFERENCE
- ELEVATION
- SECTION REFERENCE
- ELEVATION REFERENCE
- WALL TYPE
- EQUIPMENT NUMBER

## PROJECT DIRECTORY

OWNER: NJB OPERATIONS  
231 OLDE HALF DAY ROAD  
LINCOLNSHIRE, IL 60069  
PHONE: 847-955-1492

ARCHITECTS: MRV ARCHITECTS, INC.  
5105 TOLLVIEW DRIVE  
ROLLING MEADOWS, IL 60008  
PHONE: 847-373-5005

MECHANICAL, PLUMBING AND ELECTRICAL ENGINEER: OXFORD ENGINEERING, LTD.  
613 W. MAIN ST.  
DUNDEE, IL 60118  
PHONE: 847-783-0800

STRUCTURAL: N/A

NOTE:  
REFER TO TACO BELL SPECIFICATIONS, IF ANY CONFLICTS BETWEEN THESE DRAWINGS AND TACO BELL SPECIFICATIONS ARISE, NOTIFY ARCHITECT IMMEDIATELY. CONTRACTOR MUST BE FAMILIAR WITH THE MOST RECENT EQUIPMENT SPECIFICATIONS

## PROJECT DIRECTORY

CS-1 COVER SHEET

ARCHITECTURAL

- D1.0 DEMOLITION PLAN AND ELEVATION
- A1.0 FLOOR PLAN
- A1.1 DOOR AND WINDOW SCHEDULES
- A2.0 EQUIPMENT PLAN
- A2.1 EQUIPMENT SCHEDULE
- A4.0 EXTERIOR ELEVATION
- A6.3 CONSTRUCTION DETAILS
- A7.0 FLOOR FINISH
- AT.1 REFLECTED CEILING PLAN
- AT.2 FINISH SCHEDULE
- A8.0 INTERIOR ELEVATIONS

ADA1.0 ACCESSABILITY REQUIRMENTS

MECHANICAL

- M1.0 MECHANICAL SCHEDULES AND NOTES
- M2.0 DUCT AND DIFFUSER PLAN
- M3.0 MECHANICAL SCHEDULES AND CONTROLS
- M4.0 MECHANICAL DETAILS
- M5.0 MECHANICAL DETAILS

PLUMBING

- P1.0 PLUMBING SPECIFICATIONS
- P2.0 PLUMBING WASTE AND VENT PLAN
- P3.0 PLUMBING WATER PLAN
- P4.0 PLUMBING RISERS
- P5.0 PLUMBING DETAILS

ELECTRICAL

- E1.0 ELECTRICAL SPECIFICATIONS
- E2.0 PANEL SCHEDULE AND LOADS
- E3.0 POWER FLOOR PLAN
- E3.1 OFFICE POWER PLAN AND DETAIL
- E4.0 LIGHTING PLAN AND SCHEDULE
- E5.0 COMMUNICATIONS PLAN
- E6.0 ELECTRICAL DETAILS

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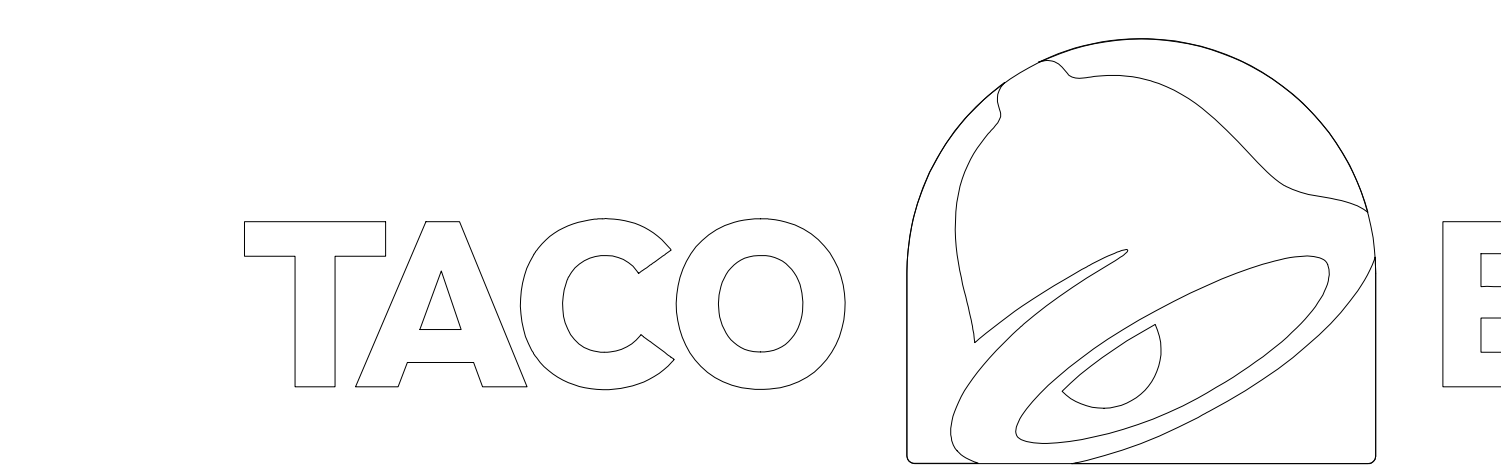
CONST. TYPE: TYPE III-B

USE: RESTAURANT (LIMITED)

AREA: 2,516 GROSS SQ. FT.

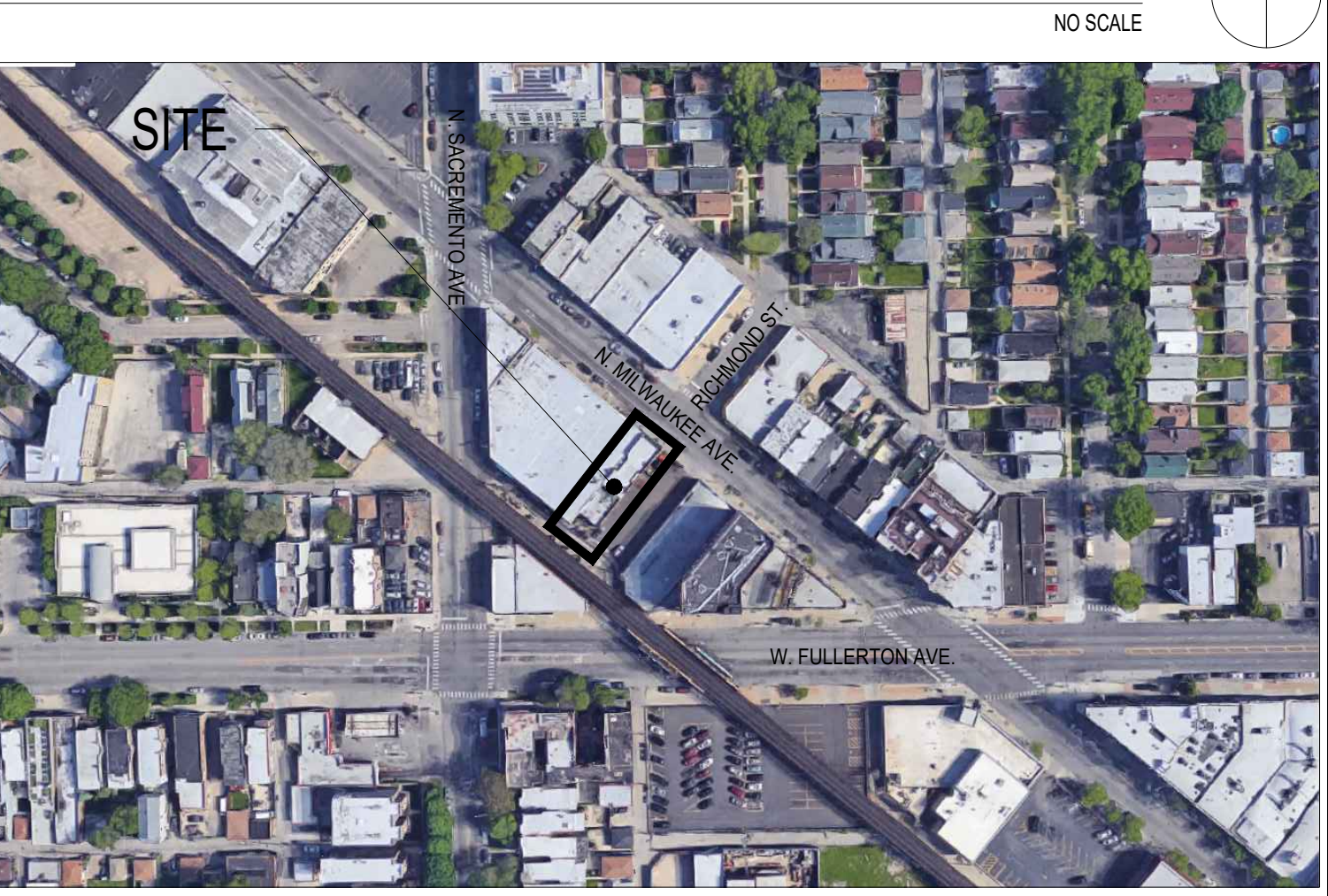
HEIGHT: 12'-1"

SANITARY FACILITIES: 1 MENS, 1 WOMENS



TACO BELL  
2432 N. MILWAUKEE AVE.  
CHICAGO, IL 60647  
TENANT BUILD-OUT

## LOCATION PLAN



## ARCHITECT'S SEAL

STATEMENTS OF COMPLIANCE

THESE DOCUMENTS WERE PREPARED BY "MRV ARCHITECTS, INC." ACCORDING TO THE TERMS OF THE CONTRACT BETWEEN THIS OFFICE AND THE OWNER FOR THIS BUILDING PROJECT. THESE DOCUMENTS DO NOT EITHER IN WHOLE OR IN PART CONSTITUTE ANY DIRECTION OR INSTRUCTION TO THE AWARDED GENERAL CONTRACTOR OR AWARDED SUB-CONTRACTORS WITH REGARDS TO CONSTRUCTION MEANS, METHODS OR TECHNIQUES BY THESE DOCUMENTS. THIS ARCHITECT DOES NOT INTEND TO EXPRESS ANY OPINION, DIRECTION OR INSTRUCTION OF ANY KIND WHATSOEVER AS TO THE FINISHED MANNER IN WHICH THE CONSTRUCTION WORK IS TO BE COMPLETED AND/OR RELATED SITE SAFETY ISSUES.

ACCESSIBILITY AND ENVIRONMENTAL

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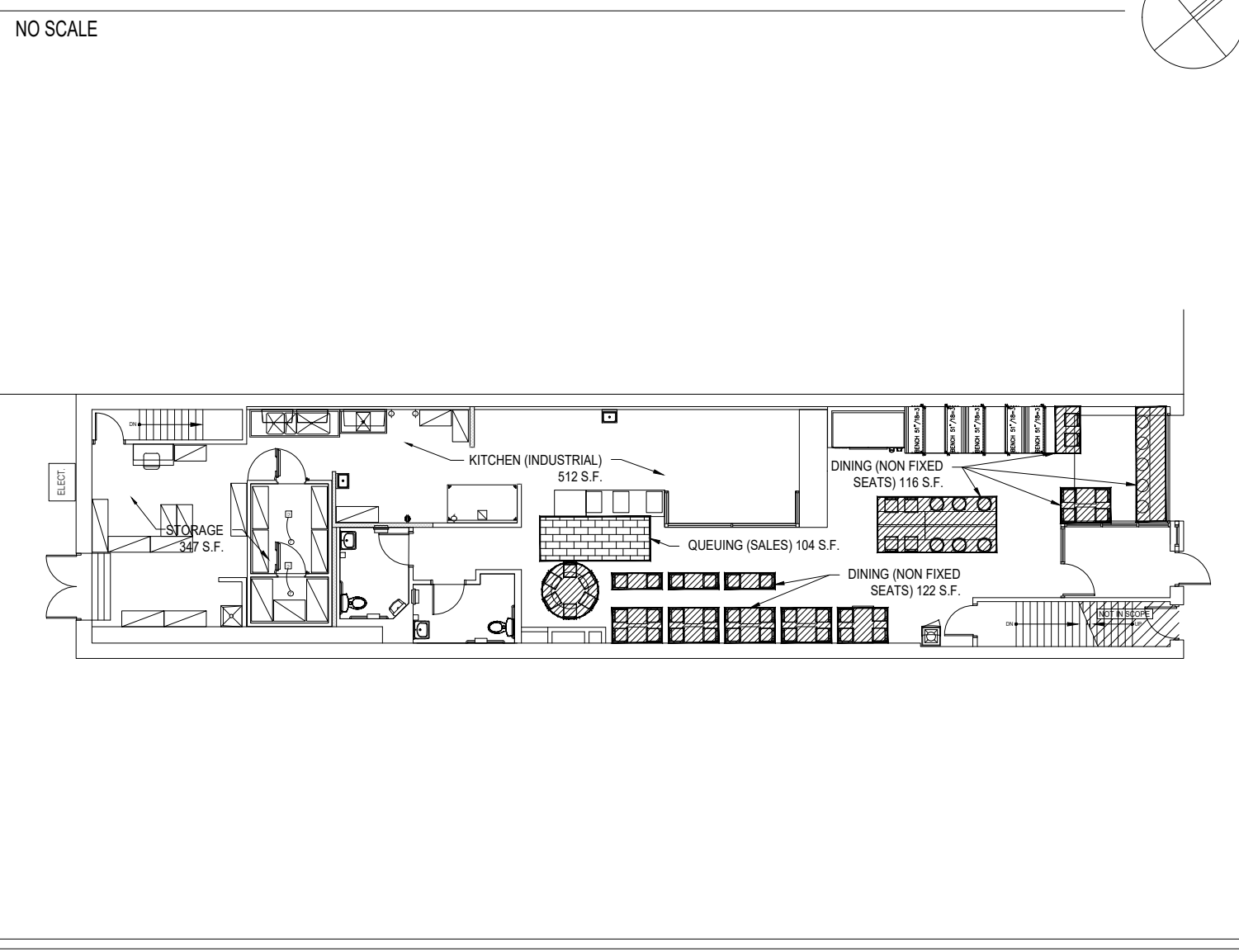
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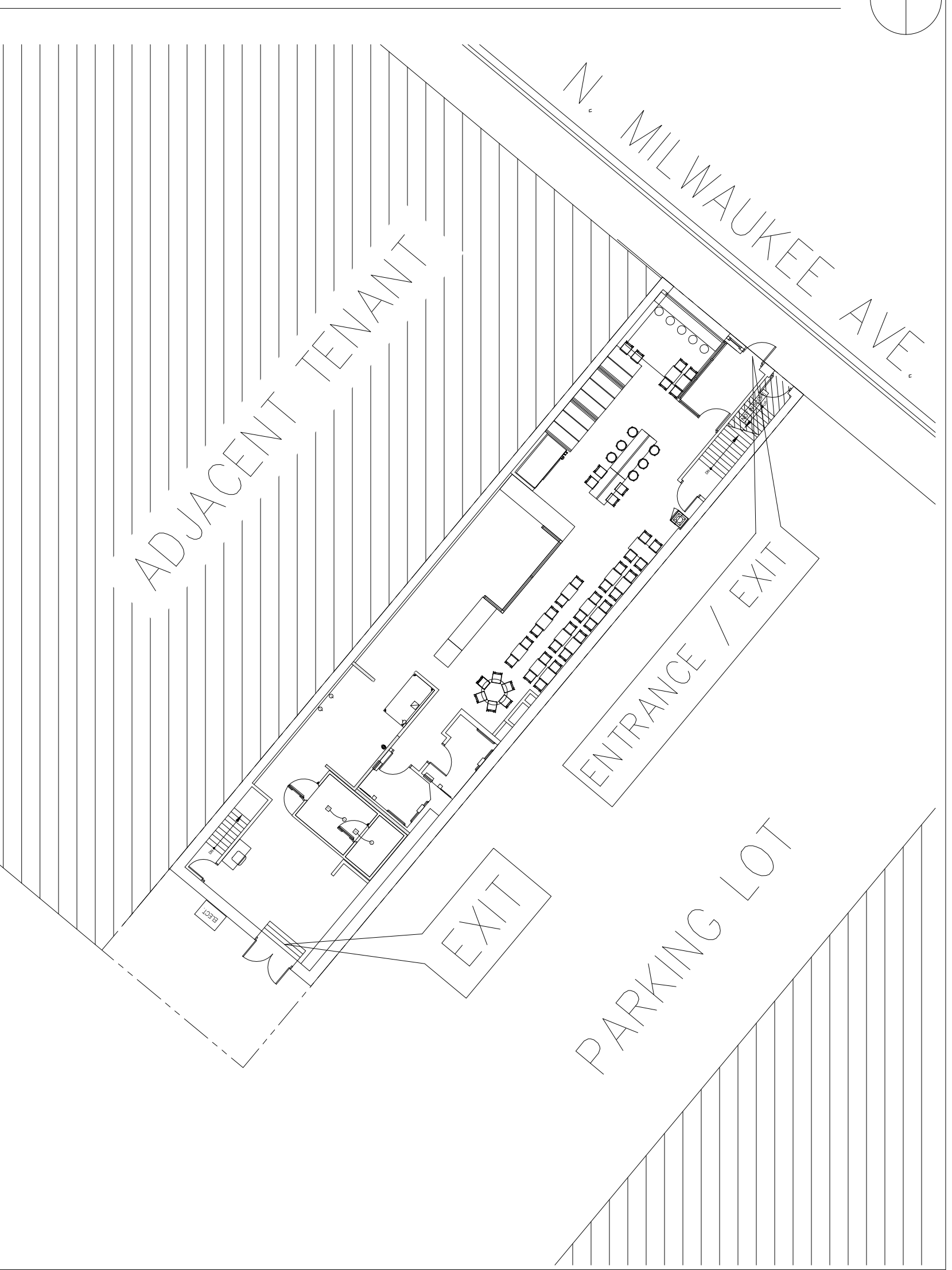
ARCHITECT ILLINOIS REGISTRATION NO. - 001.0022429

PROFESSIONAL DESIGN FIRM ARCHITECTURAL CORPORATION  
LICENSE NUMBER: 184 - 007001

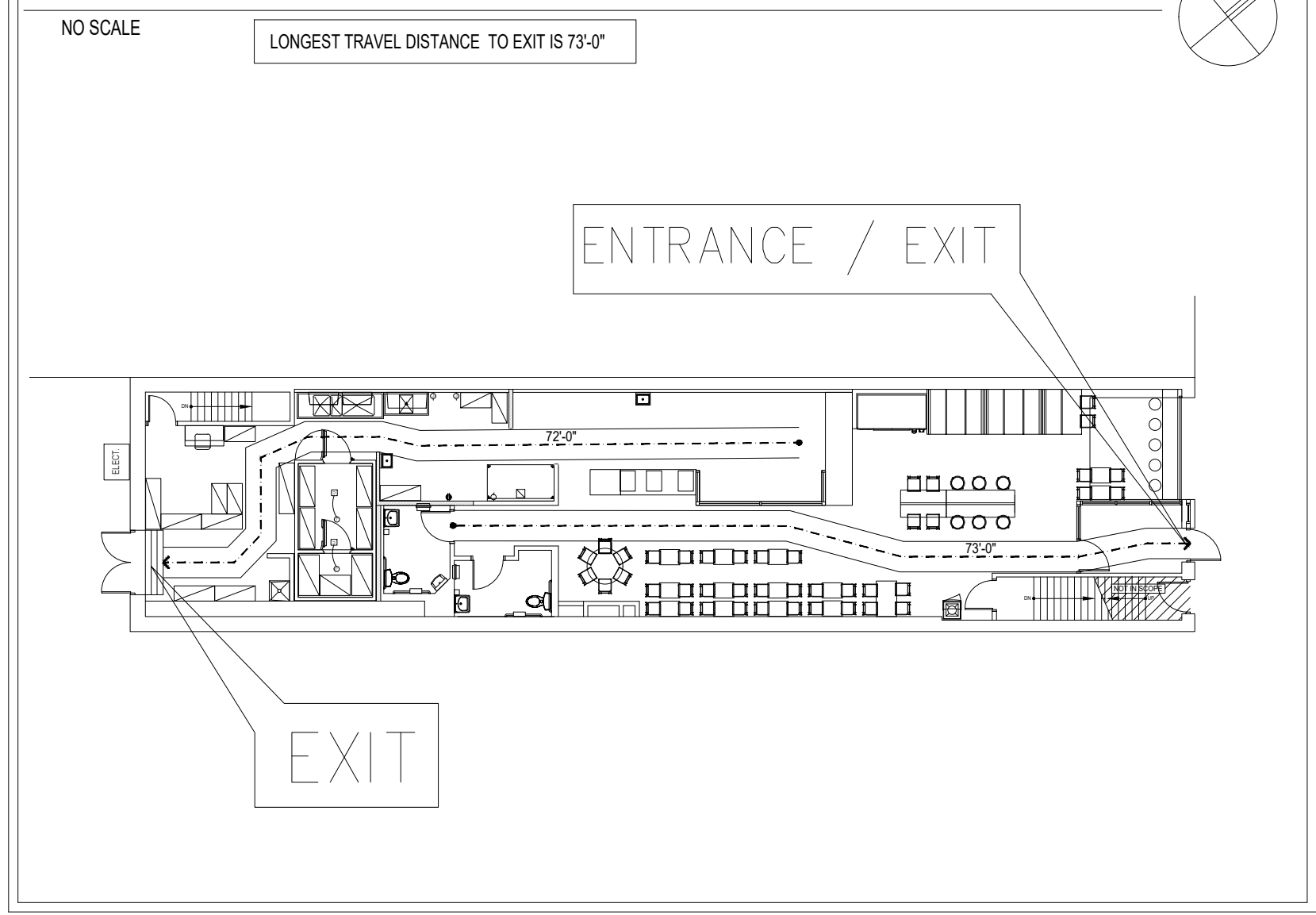
## OCCUPANCY PLANS



## SITE PLAN



## EXIT PLANS



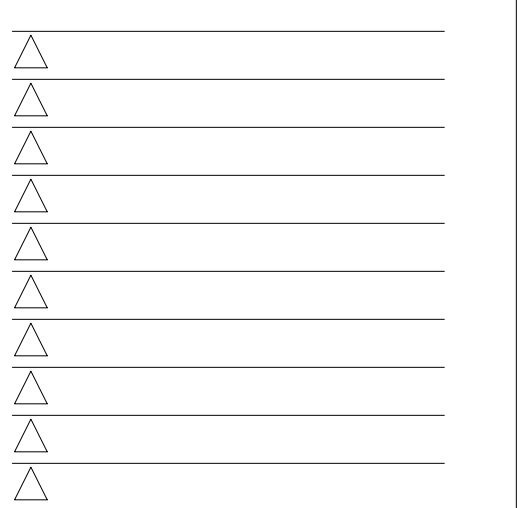
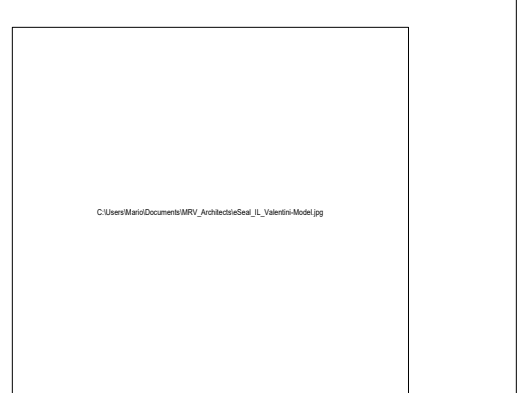
# MRV

## ARCHITECTS, INC.

5105 TOLLVIEW DR.  
ROLLING MEADOWS, IL 60008  
TEL: (847) 373-5005 FAX: (224) 735-3514

MRV ARCHITECTS, INC. 2017

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CONTRACT DATE: 10.01.16  
BUILDING TYPE: CANTINA  
PLAN VERSION: FEBRUARY 2017  
SITE NUMBER: XXX-XXX  
STORE NUMBER: XXXXX

TACO BELL  
2432 N. MILWAUKEE AVE.  
CHICAGO, IL 60647



## COVER SHEET

# CS-1.0

PLDT DATE: