



*Greater Goethe Neighborhood Association*  
*Zoning and Planning Committee*

February 1, 2016

**Committee  
Members**

**Sally Hamann**  
*Chairman*

**Taurus Bublys**

**Paul Christianson**

**José L Espejo**

**Jeff Miller**

**Lindsay Semph**

**Angel Valtierra**

Alderman Proco "Joe" Moreno  
2740 W. North Ave  
Chicago, IL 60647

Re: 2124 N. Bingham

Dear Alderman Moreno,

The GGNA Zoning and Planning Committee (ZAPC) held a meeting with the project team for 2124 N. Bingham on January 11, 2016 to review their project plans and request for an up zoning from RS-3 to RM-4.5.

The owner of an existing three flat with three rental units wants to rehab the building with a 3 story addition at the rear of building, stairways and doors moved and with a two car garage if it is allowed or three parking spaces.

The ZAPC recommends that this project and the zoning change to RM-4.5 be approved with the following restrictive covenant:

1. The project is 3 story building with 3 rental units with a height of 33 feet.
2. The project will be built to the attached plans and as a Type 1 Zoning. If there are any changes to the plans, the project will return to another ZAPC meeting to review the changes.
3. The property will be downzoned back to RS-3 after the rehab is completed by the owner.
4. The ZAPC would prefer that a 2 car garage be built if zoning will allow it.

Please send the ZAPC a copy of the final ordinance passed by City Council.

Please feel free to contact me with questions.

Cordially,

Sally Hamann  
GGNA ZAPC Chairman

cc: Raymond Valadez  
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## Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: Rehab of the existing 3-flat

Date: January 6, 2015

Project Address: 2124 North Bingham, Chicago

Proposed Zoning: RM4.5

Developer/Owner: Elena Pach

Current Zoning: RS3

Architect: John Hanna

Zoning of Adjacent Area: RS3 and RT4

Proposed Variances: The Owner needs a zoning change from RS3 to RM4.5 in order to allow an existing dwelling unit in the attic to continue, for a total of 3 DU within the existing building.

Dwelling Units: 3 DU

Lot Dimensions: 24' x 104'

Lot Area: 2,497 SF

Proposed Floor Area: 3,470 SF (existing: 2,444 SF / addition: 1,026 SF)

FAR: proposed: 1.5 / max allowed: 1.7 Building area excluded from FAR: na s.f.

Green space (unpaved): 163 SF

Proposed MLA: 832 SF per DU Allowed MLA: 700 SF per DU

Proposed Parking: 3 spaces Zoning Required Parking: 3 spaces

Building Height Proposed: 33' (existing). Allowed: 45' At highest point:          ft.

Proposed front yard setback: 8'-6" (existing) Required front yard setback: na ft.

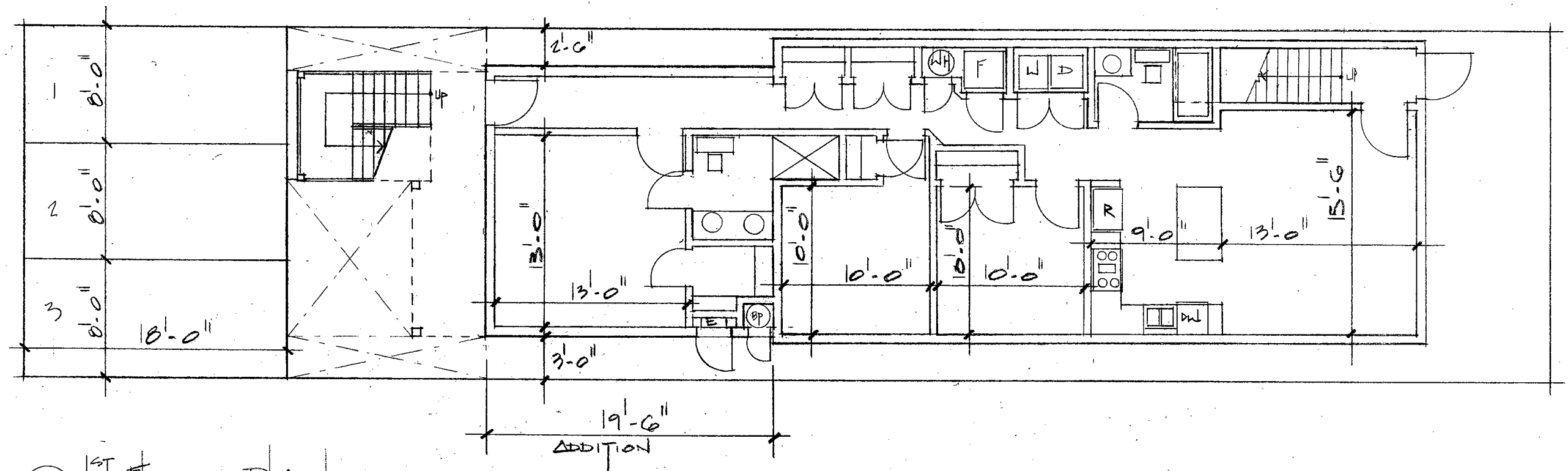
Proposed side yard setback: 7" north and 2'-7" south (existing)

Proposed rear yard setback: 31'-8" Required rear yard setback: 31'

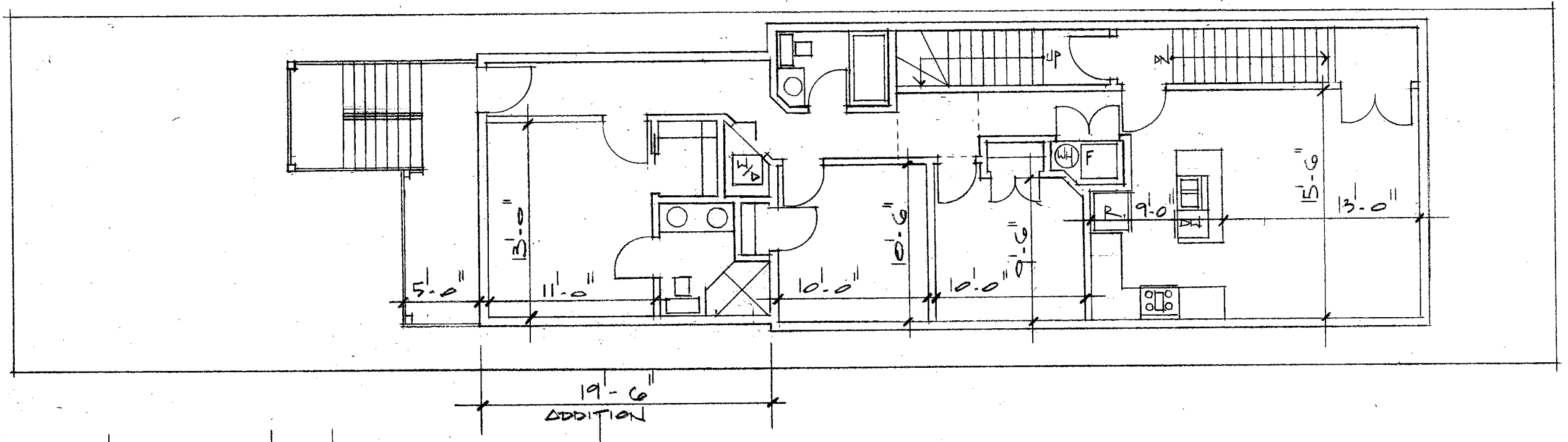
Are there any existing buildings on site? Subject property improved with the existing 3-flat.

Will any (or all) be demolished? No

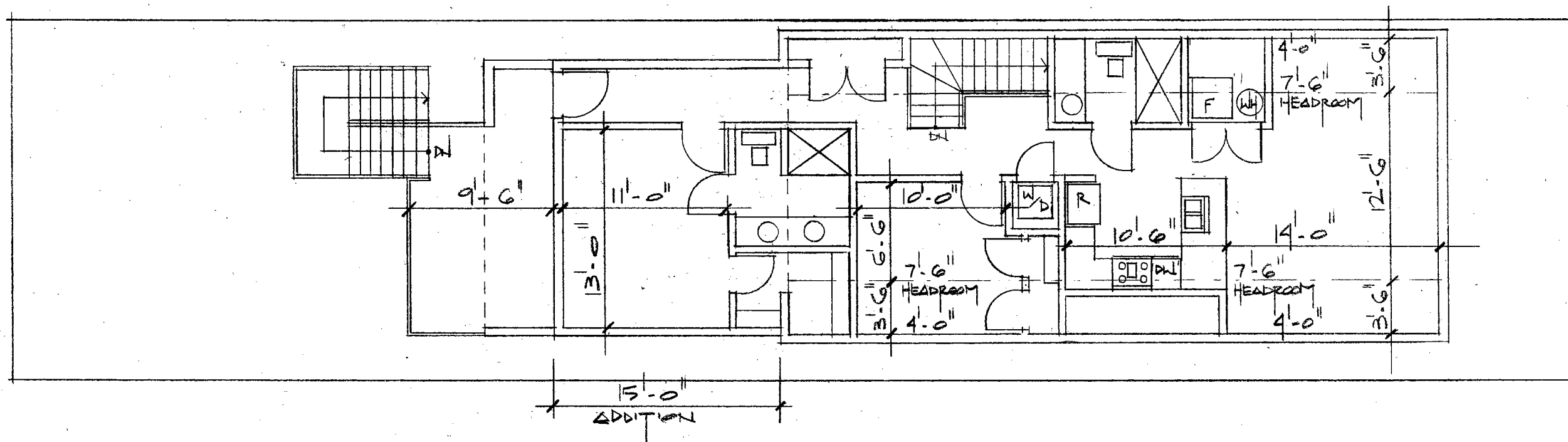
Other Remarks: \_\_\_\_\_



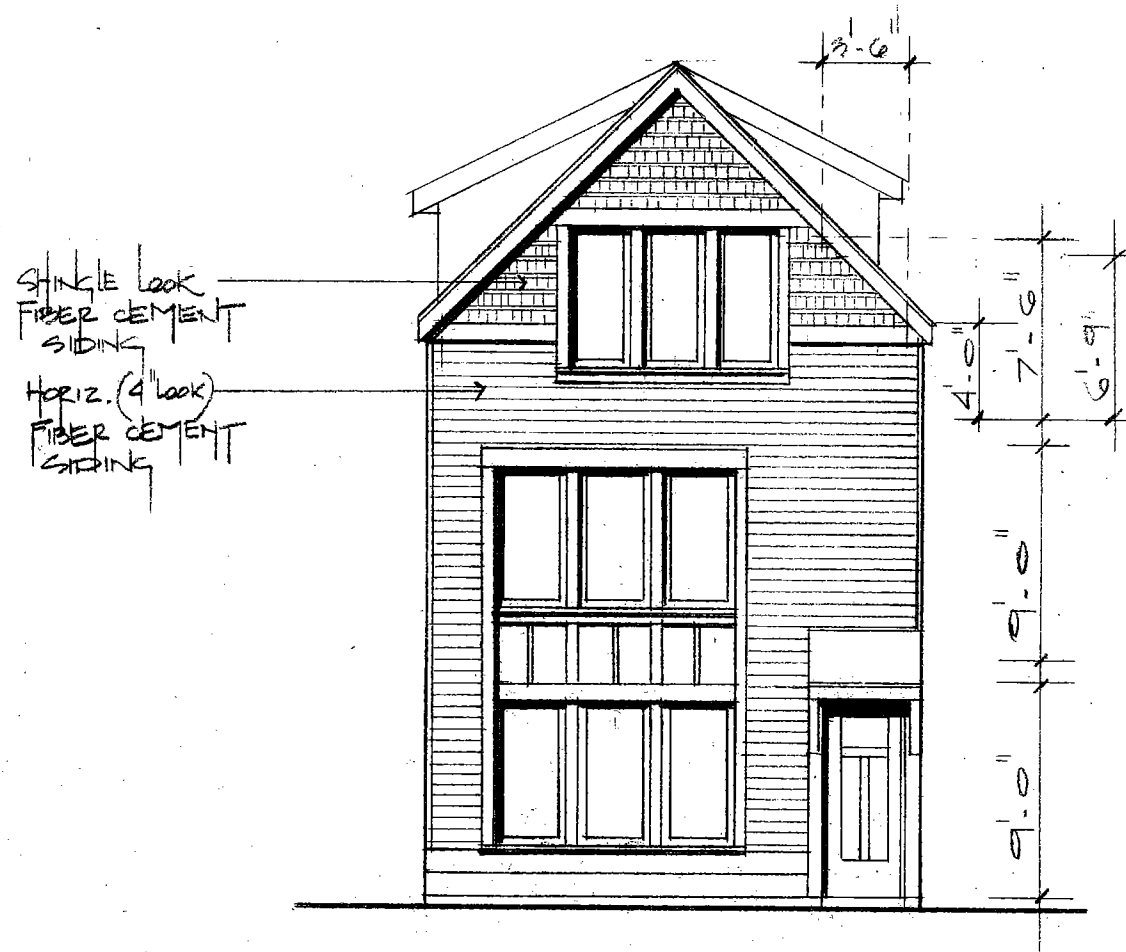
1st Floor Plan  
1/8" = 1'-0"



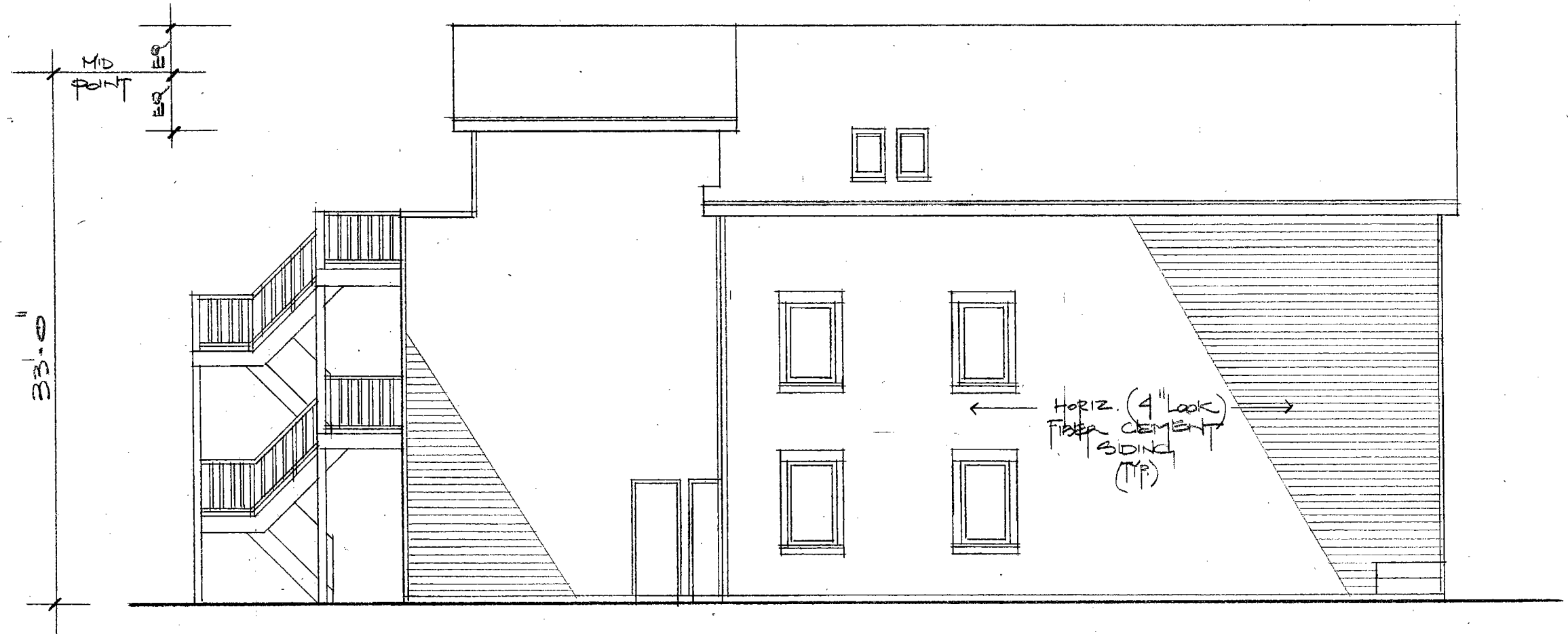
○ 2<sup>nd</sup> Floor Plan  
1/8" = 1'-0"



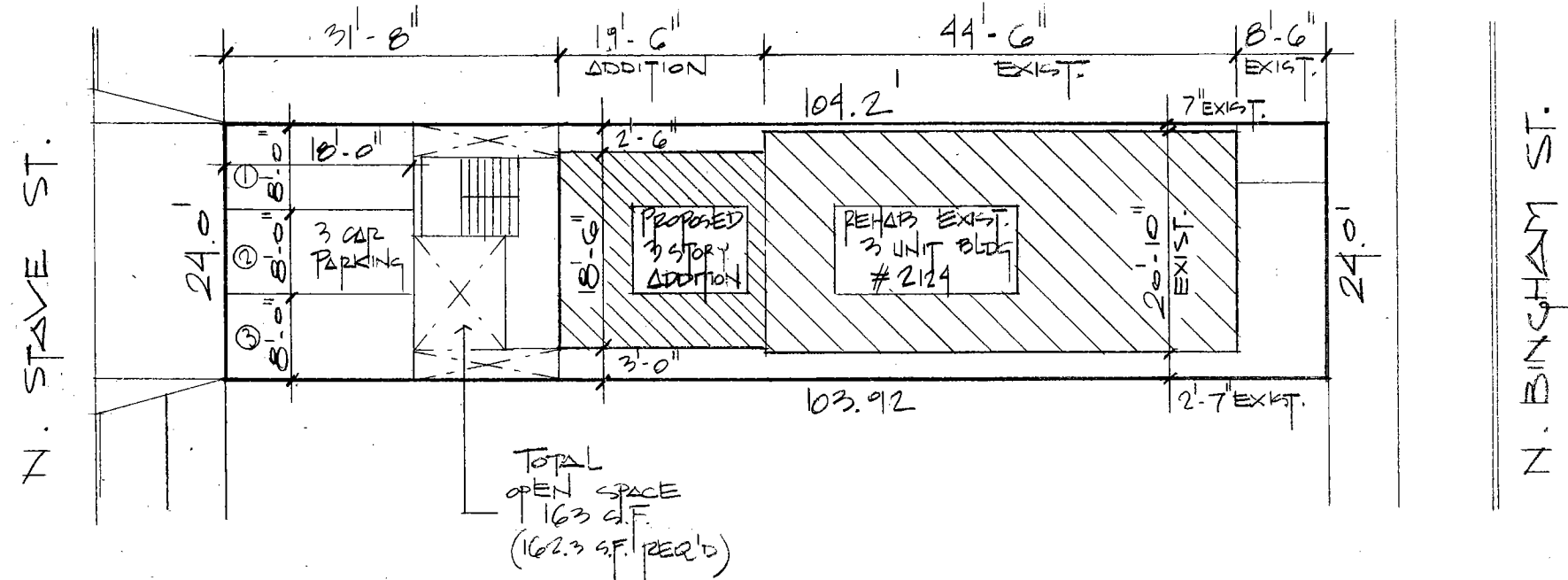
○ 3<sup>rd</sup> FLOOR PLAN - 800 S.F. (7'-6" HEADROOM OR MORE, INTERIOR S.F.)



○ FRONT ELEVATION  
1/8" = 1'-0"



○ CODE ELEVATION  
1/8" = 1'-0"



⊗ SITE PLAN  
1/6" = 1'-0"

ZONING INFORMATION	
LOT AREA	104.06 x 24 = 2,497.4
F.A.R.	1.7
MAX. BUILDABLE	4,245 S.F.
1ST FLOOR	1,288 S.F.
2ND FLOOR	1,288 S.F.
3RD FLOOR (ABOVE 6'-0")	894 S.F.
TOTAL	3,470 S.F.