

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: 2209 N. Campbell Ave. Date: 12/21/18
Project Address: 2209 N. Campbell Ave. Proposed Zoning: RM5.5
Developer/Owner: Glascott & Associates Current Zoning: RS3
Architect: Compass Architecture Zoning of Adjacent Area: RS3
Contact Phone Number 312-251-1500 Email laura@andersonmoorelaw.com

Proposed Variences

Front Yard Setback, Side Yard Setback, Rear Yard Setback, Rear Yard Open Space, Minimum Parking Requirement

Dwelling Units: 6 Type: Residential
Lot Dimensions: 27'x115' ft. x ft. Lot Area: 3,105 s.f.
Proposed Floor Area: N/A s.f. (new) 6,366 s.f. (existing) N/A s.f. (addition)
FAR: 2.05 (existing) N/A (proposed) Building area excluded from FAR: 2,122 s.f.
Green space (unpaved): 0 s.f. 0 % of lot area
Proposed MLA: 517.5 Allowed MLA: 400
Proposed Parking: 0 spaces Zoning Required Parking: 6 spaces
Building Height Proposed: 35'-9" ft. Allowed: 30 ft. At highest point: 42 ft.
Proposed front yard setback: 2'-8" ft. Required front yard setback: 18'-4" ft.
Proposed side yard setback: 1'-8" ft. Required side yard setback: 5'-5" ft.
Proposed rear yard setback: 10'-5" ft. Required rear yard setback: 34'-6" ft.

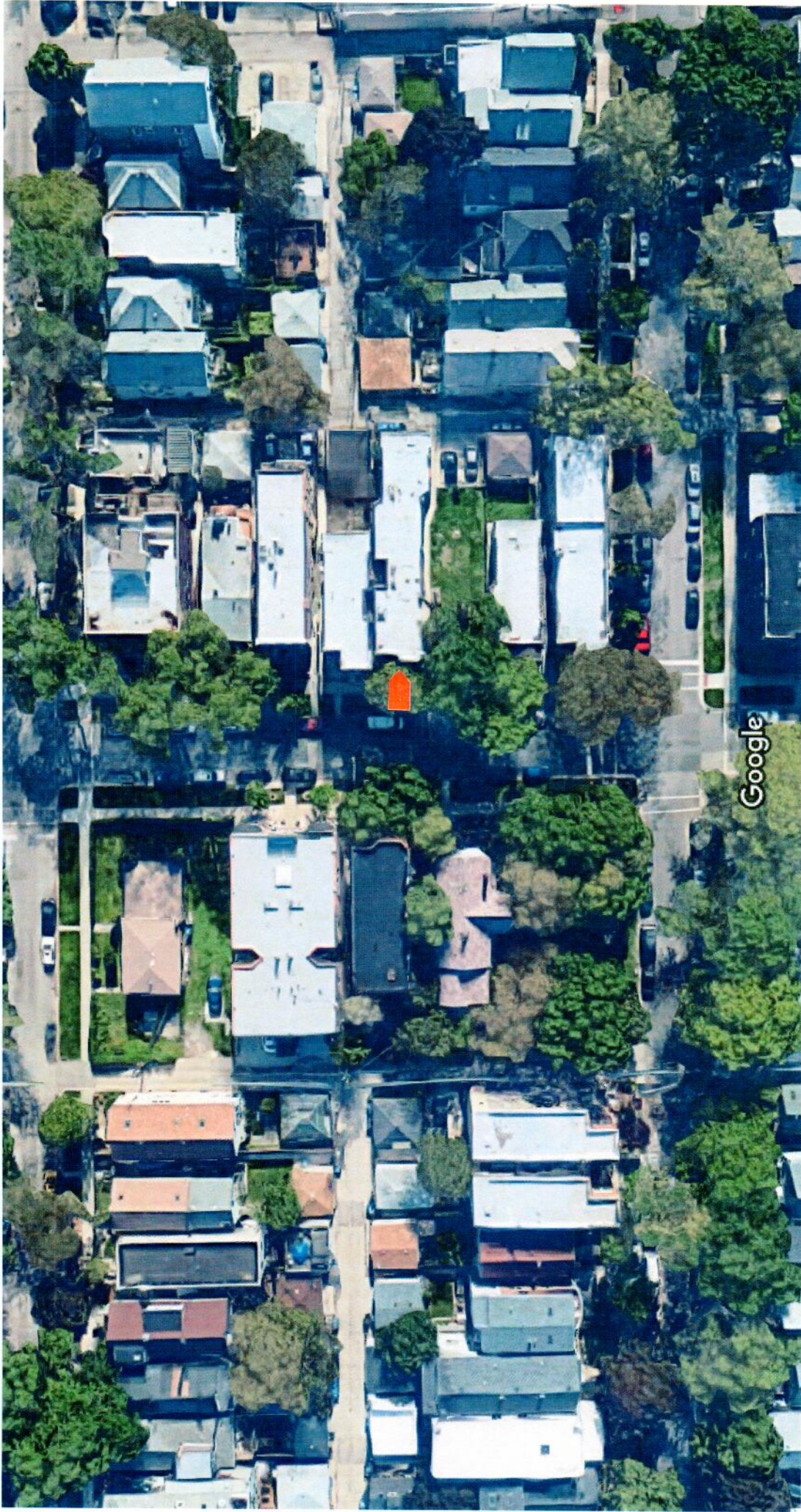
Are there any existing buildings on site? Yes describe: Existing 3-story, 6 D.U. building with basement to remain

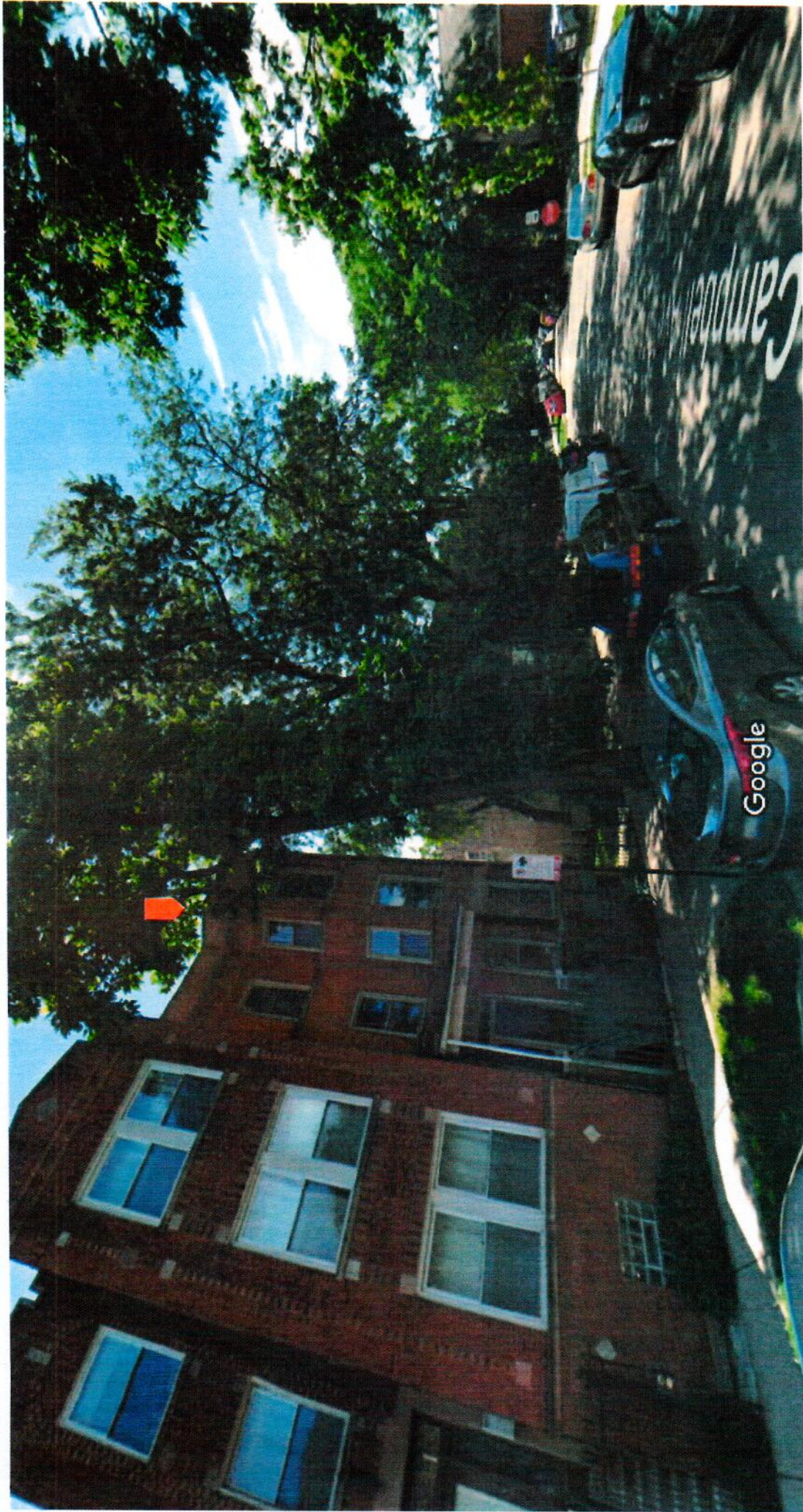
Will any (or all) be demolished? No

Other Remarks: Seeking Zoning change to RM5.5 in order to separate south 25'-0" lot (2207 N Campbell) to construct a new, 2-story single-family residence with basement.

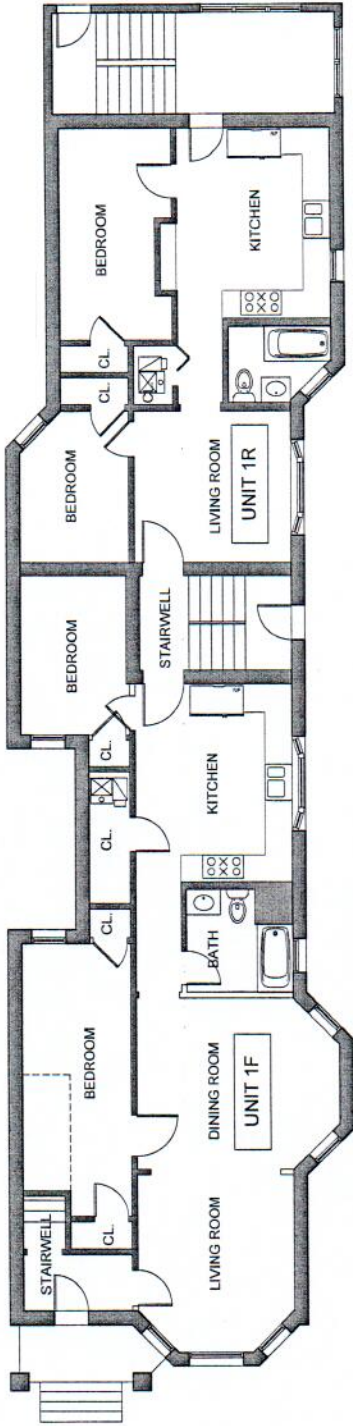


Identify Results
Zoning Districts
RS-3
Zoning Map Index
Grid Index: 5-1
Zoning Map Page Number : 748
Parcels
PIN #: 1336217005
Parcel Address : 2209-2209 N CAMPBELL AVE
Building Address
2209 N CAMPBELL AVE (272192)
80 Acre Page
Open 80 Acre Page (Lene364013r)
Ward
1

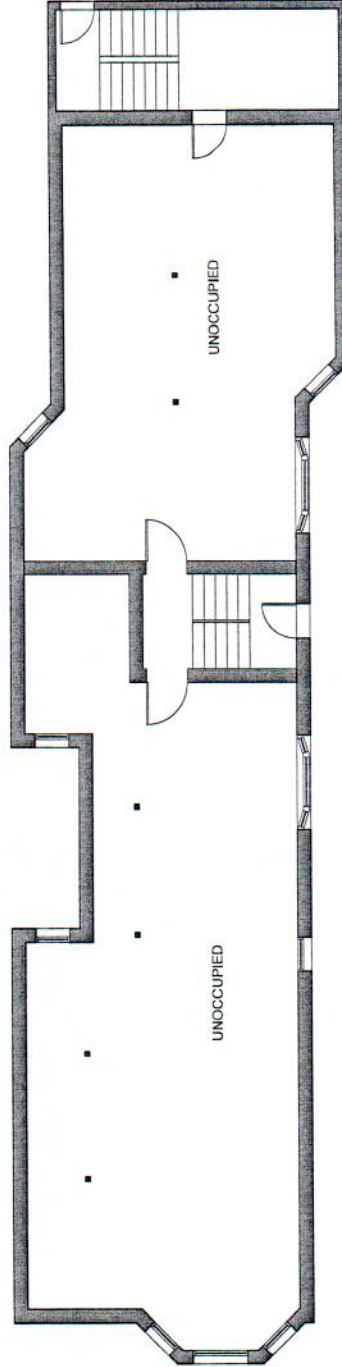








2 | EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 | EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



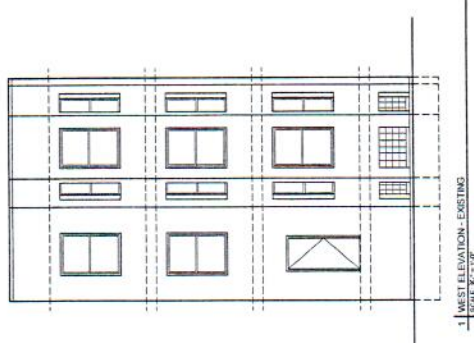
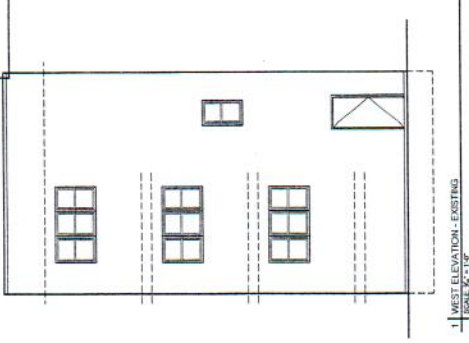
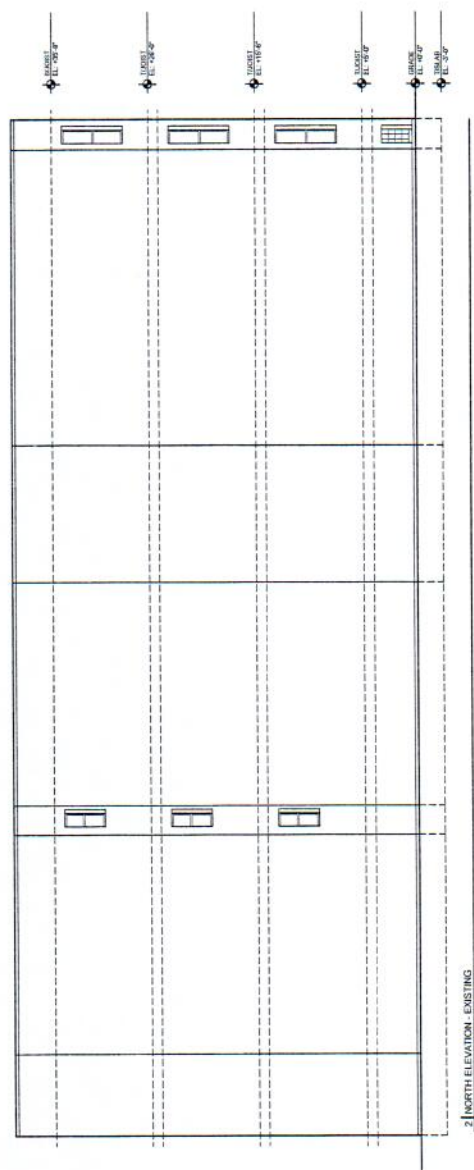
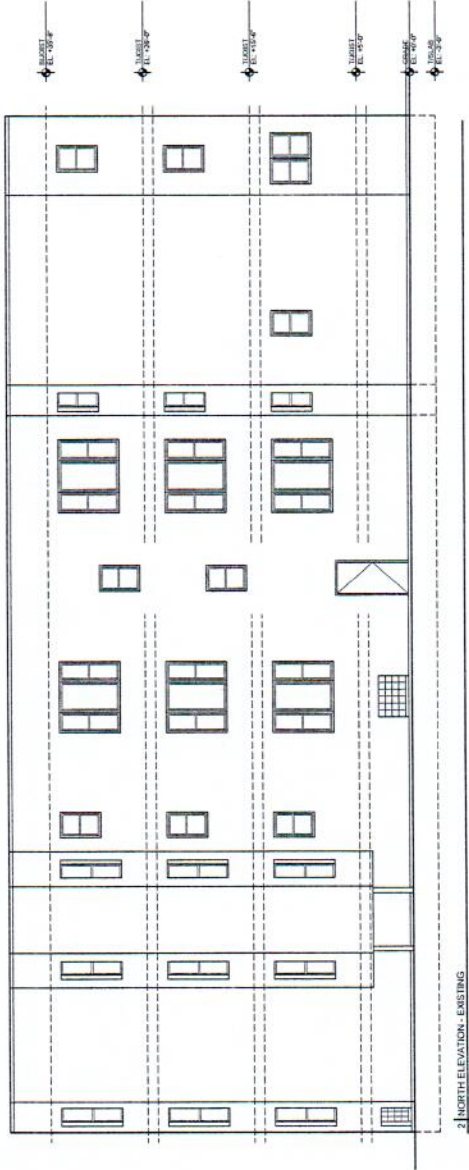
ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE ILLINOIS PROFESSIONAL ENGINEERING ACT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR THE ADEQUACY OF THE DESIGN FOR ANY PURPOSES OTHER THAN THAT INTENDED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES CAUSED BY CHANGES OR OMISSIONS BY THE OWNER OR OTHER PROFESSIONALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES OF THE DESIGN OR CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES OF THE DESIGN OR CONSTRUCTION OF THE WORK SHOWN ON THESE PLANS.



2209
N CAMPBELL
AVE.
CHICAGO, IL

BASEMENT AND FIRST
FLOOR PLAN
A1-1

NO.	DATE	REVISION
1	11/20/18	PERMIT
2		REVISION



COMPASS ARCHITECTURE, LLC
 ARCHITECT
 2209 N CAMPBELL AVE
 CHICAGO, IL 60614
 (773) 328-1111
 www.compassarch.com



NO.	DATE	REVISION	DESCRIPTION
1	11-20-18	ISSUE	

2209
 N CAMPBELL
 AVE
 CHICAGO, IL
 A2-1



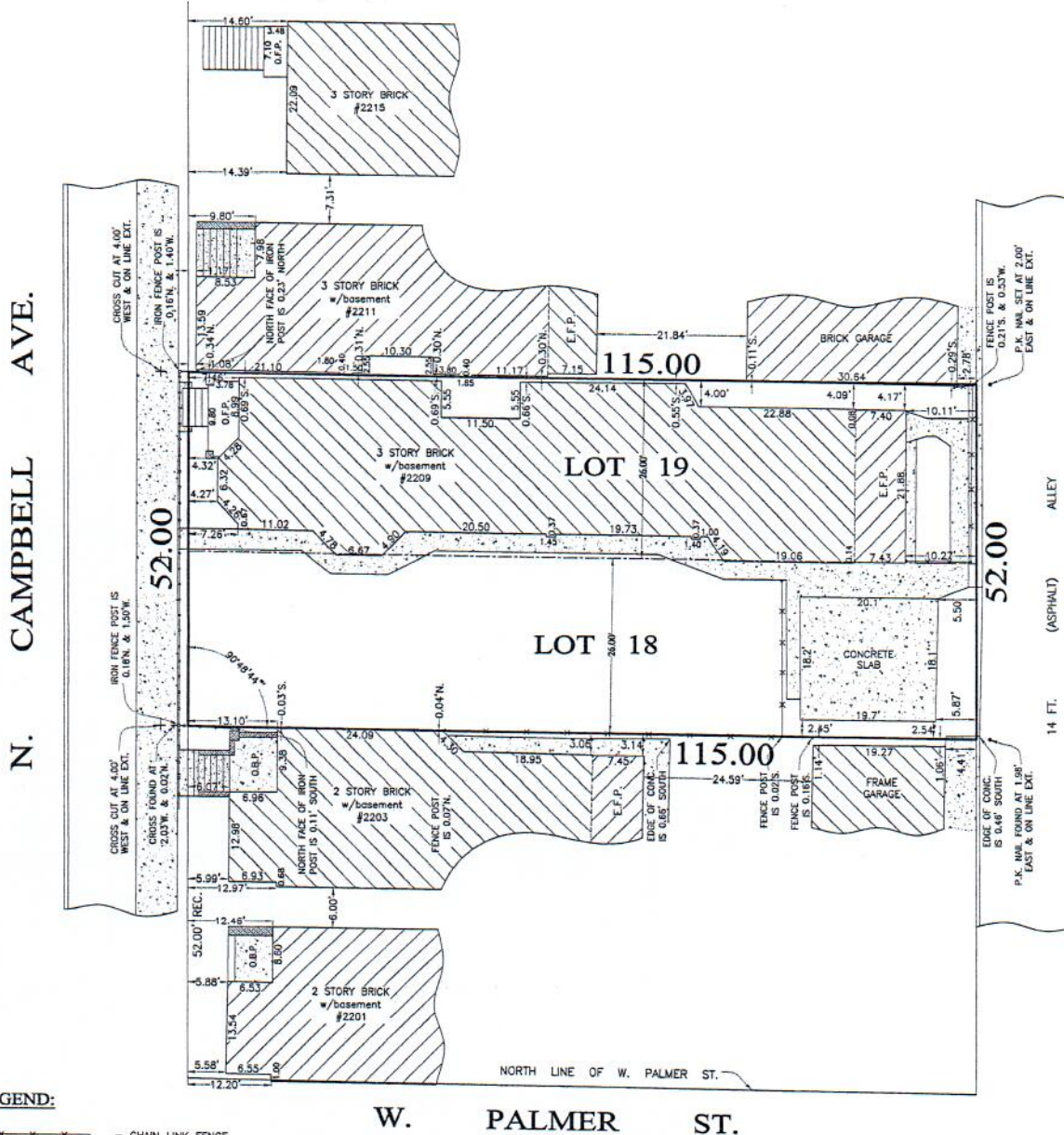
PROFESSIONAL DESIGN FIRM No. 184-003233

PLAT OF SURVEY

OF

LOTS 18 AND 19 IN PERRY P. POWELL'S SUBDIVISION OF BLOCK 8 IN THE SUBDIVISION OF PERRY P. POWELL OF LOTS 3 AND 5 IN THE CIRCUIT COURT PARTITION OF POWELL ESTATE IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF MILWAUKEE AVENUE, IN COOK COUNTY, ILLINOIS.
COMMONLY KNOWN AS: 2207-09 N. CAMPBELL AVE., CHICAGO, ILLINOIS

TOTAL LAND AREA = 5,979 sq.ft.



LEGEND:

- CHAIN LINK FENCE
- WOOD FENCE
- IRON FENCE
- CONCRETE PAVEMENT
- E.F.P. - ENCLOSED FRAME PORCH
- O.F.P. - OPEN FRAME PORCH
- O.B.P. - OPEN BRICK PORCH
- O.C.P. - OPEN CONC. PORCH
- E.C. - EDGE OF CONCRETE

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.
LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY.
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ORDER NO. 91683
SCALE: 1 INCH = 16 FEET
FIELDWORK COMPLETION DATE: 20 NOVEMBER 2018
ORDERED BY: KYLE GLASCOTT

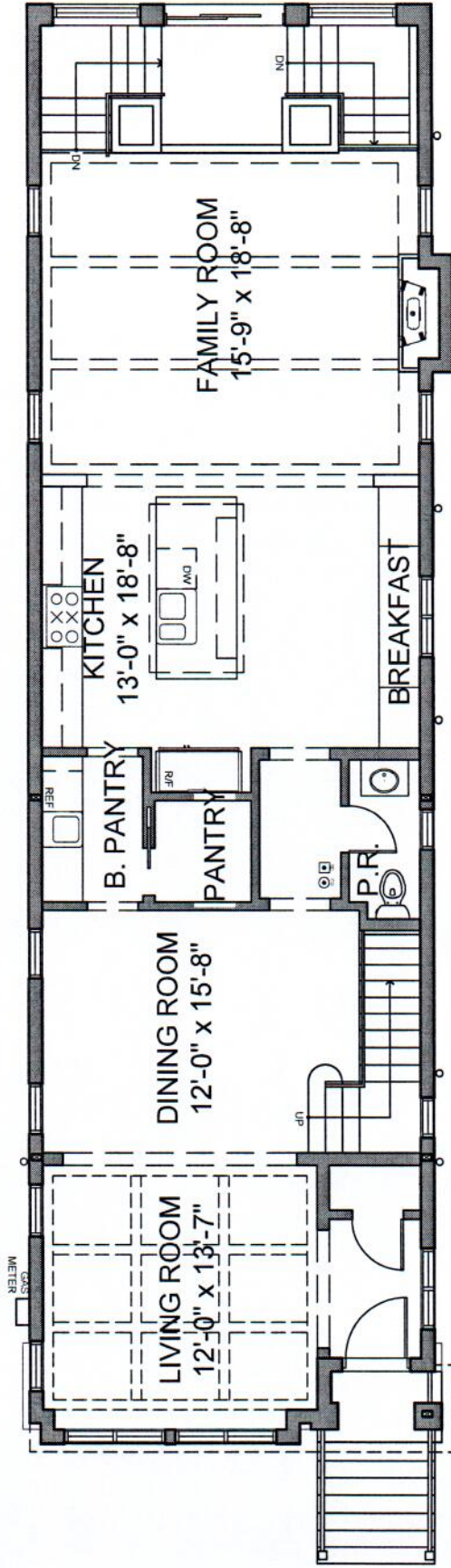
State of Illinois ss
County of Cook

We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

Signature: Ms. Domazila

Date: NOVEMBER 26, 2018

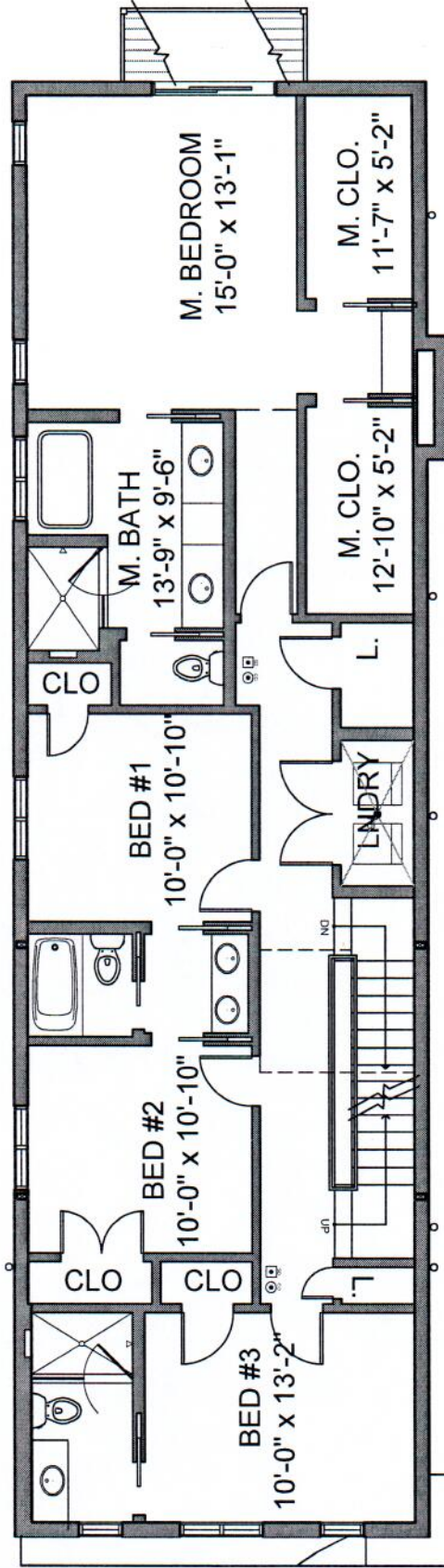
REG. ILL. Land Surveyor No. 35-3758
LIC. EXP. NOVEMBER 30, 2020



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PROJECT	2207 N. CAMPBELL AVE., CHICAGO, IL
DATE	JANUARY 7, 2019
NAME	1st FLOOR PLAN
DESCRIPTION	
SCALE	3/8" = 1'-0"

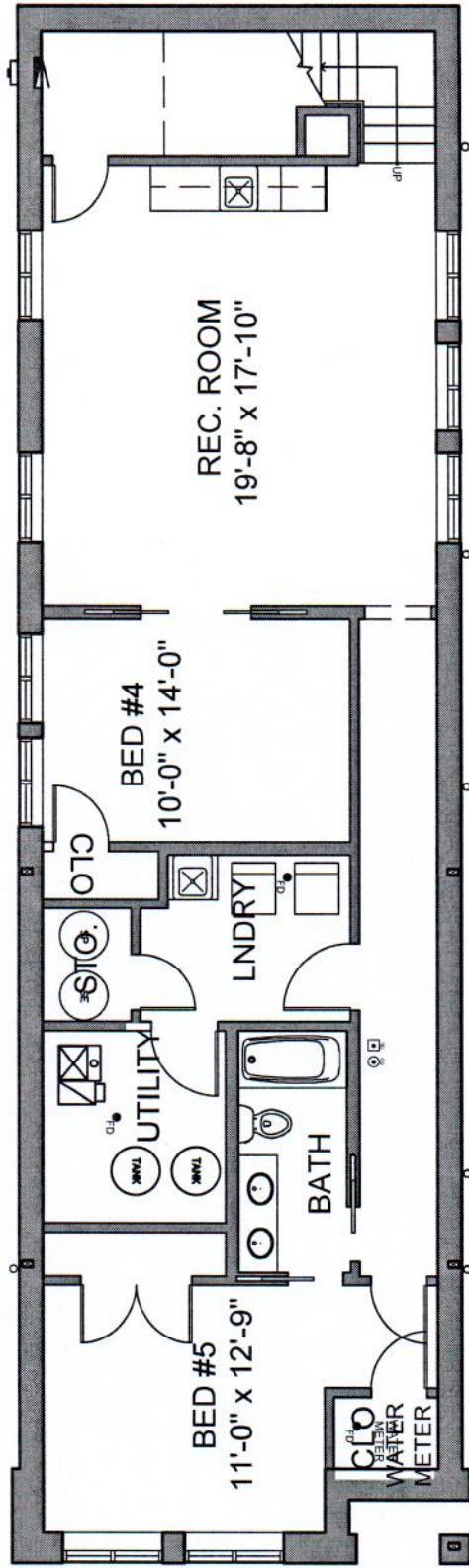




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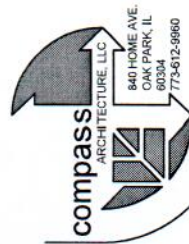
PROJECT	2207 N. CAMPBELL AVE., CHICAGO, IL
DATE	JANUARY 7, 2019
NAME	2nd FLOOR PLAN
DESCRIPTION	SCALE: 3/16" = 1'-0"





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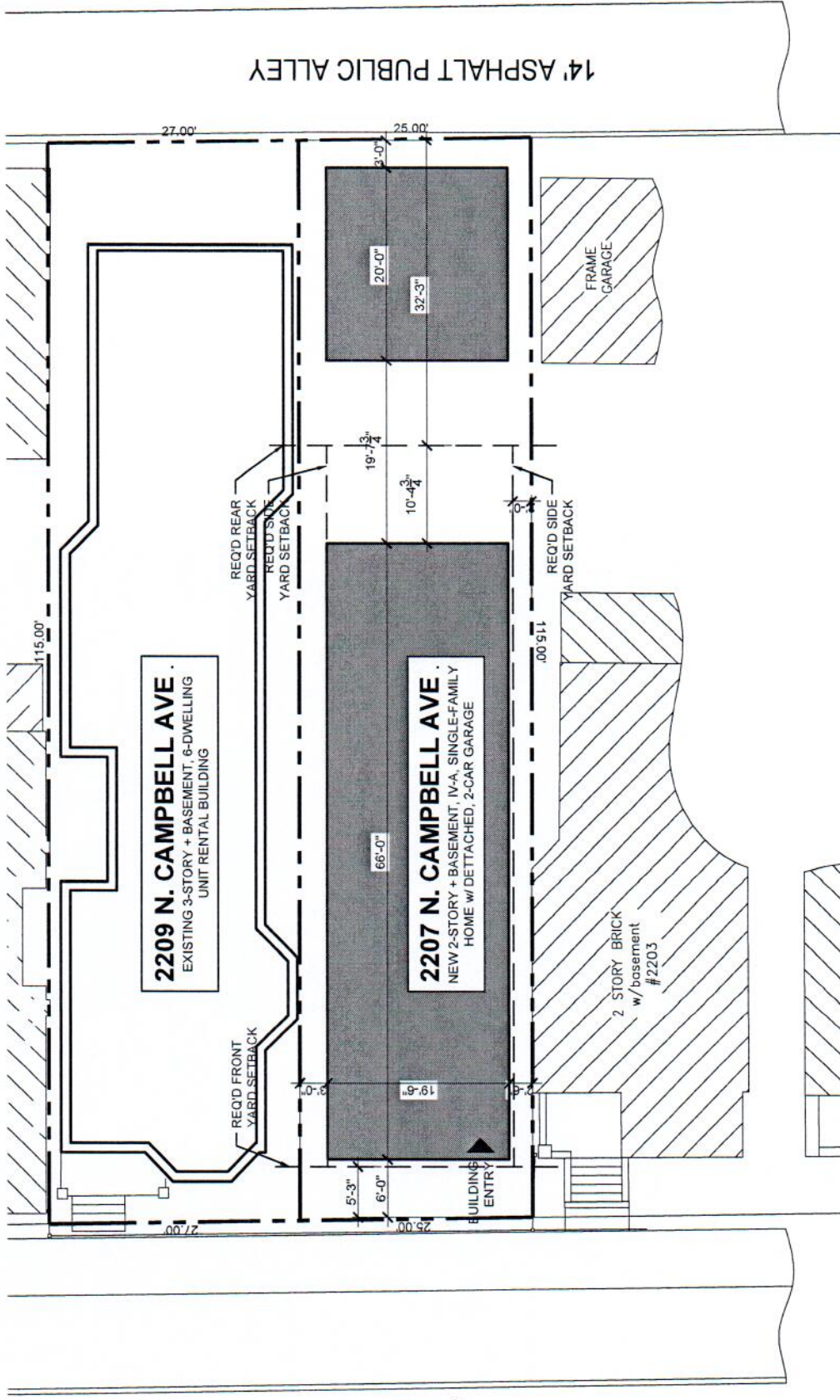
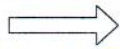
PROJECT	2207 N. CAMPBELL AVE., CHICAGO, IL
DATE	JANUARY 7, 2019
NAME	BASEMENT PLAN
DESCRIPTION	
SCALE:	3/16" = 1'-0"



840 HOME AVE.
OAK PARK, IL
60304
773-612-9960

N. CAMPBELL AVE.

ONE-WAY TRAFFIC



14' ASPHALT PUBLIC ALLEY



840 HOME AVE.
OAK PARK, IL
60304
773-612-9960

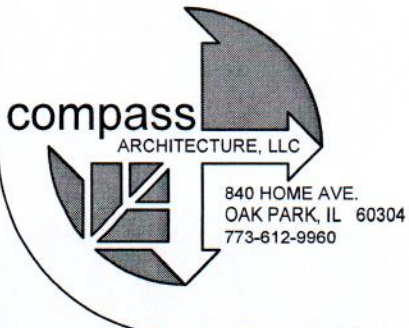
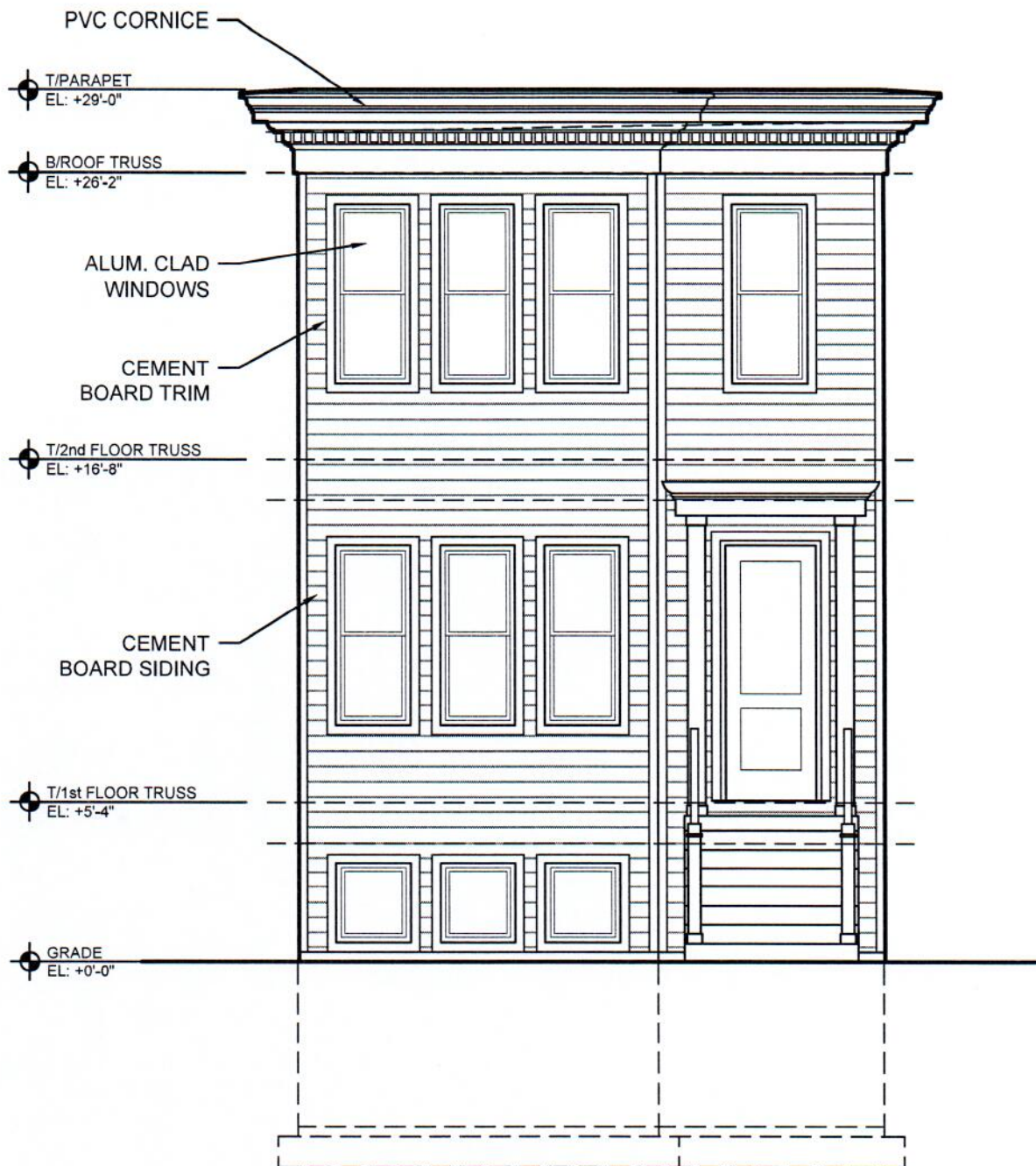
PROJECT
2207 N. CAMPBELL AVE., CHICAGO, IL

DATE
JANUARY 7, 2019

NAME
SITE PLAN

DESCRIPTION
SCALE: 3/8" = 1'-0"

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PROJECT	2207 N. CAMPBELL AVE., CHICAGO, IL
DATE	JANUARY 7, 2019
NAME	WEST/FRONT ELEVATION
DESCRIPTION	SCALE: $\frac{3}{16}$ " = 1'-0"