

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____ Date: 2-9-18
 Project Address: 2246 N. WESTERN Proposed Zoning: B3-3
 Developer/Owner: SANTANA Current Zoning: B3-2
 Architect: HANNA ARCHITECTS INC. Zoning of Adjacent Area: B3-2
 Contact Phone Number 312-750-1800 Email HANNAARCHITECTS@SBCGLOBAL.NET
 Proposed Variences
REAR YARD

Dwelling Units: 3 Type: CONDO
 Lot Dimensions: 28 ft. x 93 ft. Lot Area: 2604 s.f.
 Proposed Floor Area: 7810 s.f. (new) _____ s.f. (existing) _____ s.f. (addition)
 FAR: 2.2 (existing) 3.0 (proposed) Building area excluded from FAR: 500 s.f. (GARAGE)
 Green space (unpaved): 0 s.f. _____ % of lot area
 Proposed MLA: 868 Allowed MLA: 1000 (EXISTING 2-4-124)
 Proposed Parking: 3 spaces Zoning Required Parking: 3 spaces
 Building Height Proposed: 45'-2" ft. Allowed: _____ ft. At highest point: 55'-10" ft.
 Proposed front yard setback: 0 ft. Required front yard setback: 0 ft.
 Proposed side yard setback: 6'-10" ft. Required side yard setback: 0/0 ft.
 Proposed rear yard setback: 3 ft. Required rear yard setback: 30 ft.

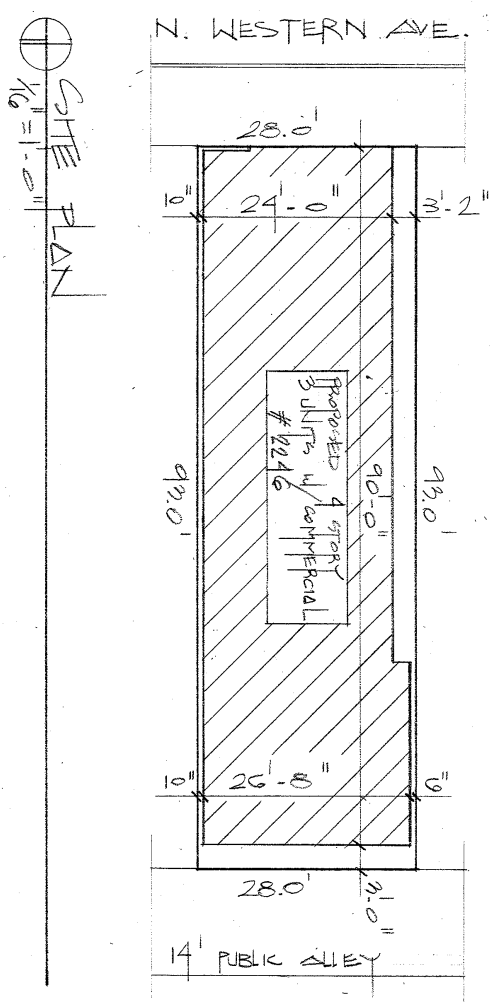
Are there any existing buildings on site? no describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

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 ARCHITECT CORPORATION
 LICENSE NUMBER 184-001485

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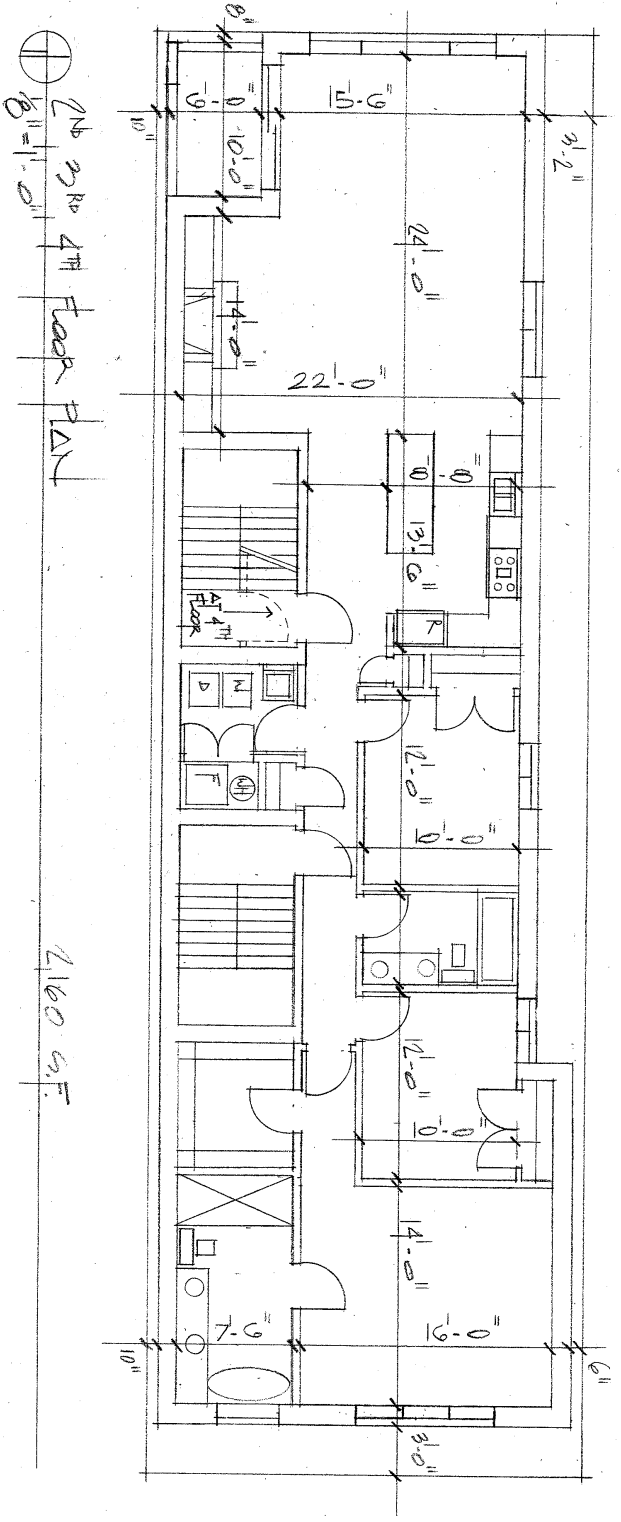
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ZONING INFORMATION	
LOT AREA	28.0 x 93.0 = 2604 sq. ft.
F.D.R.	3.0
MAX. PLATEAU	7812 sq. ft.
1st Floor	1,330
2nd Floor	2,160
3rd Floor	2,160
4th Floor	2,160
TOTAL	7810 sq. ft.

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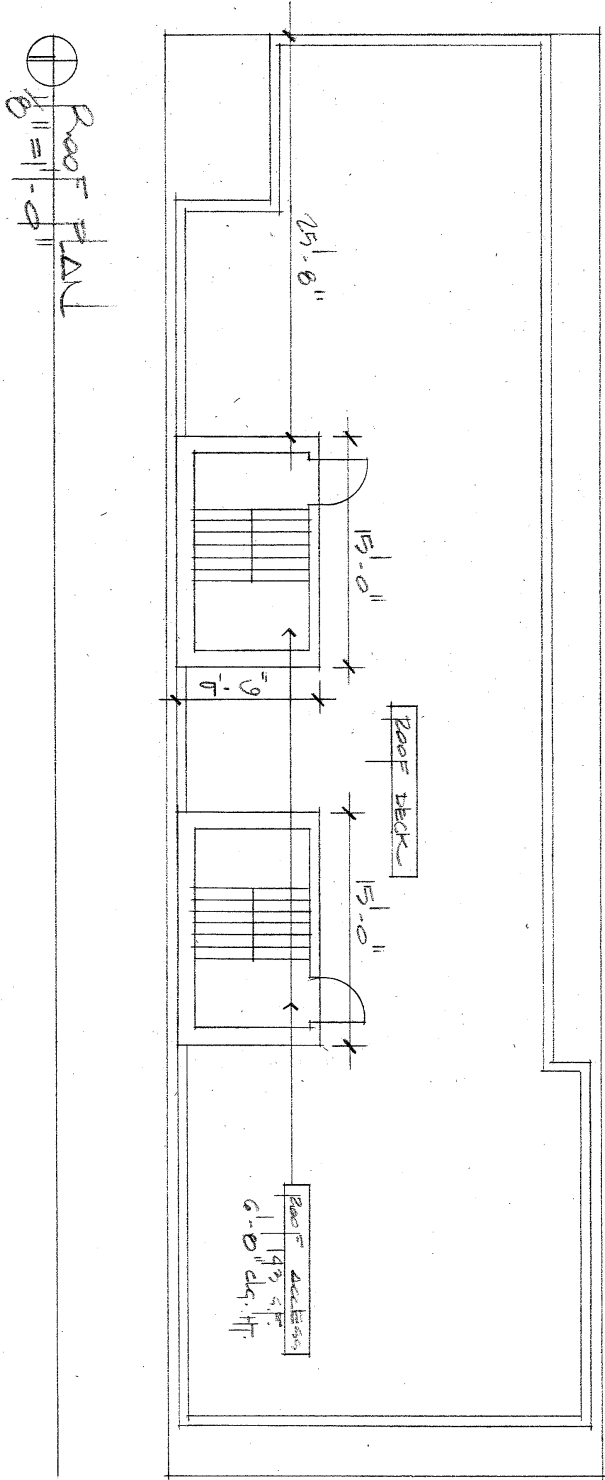


⊕
 18" = 1'-0"
 2nd 3rd 4th Floor Plan

2160 S.F.

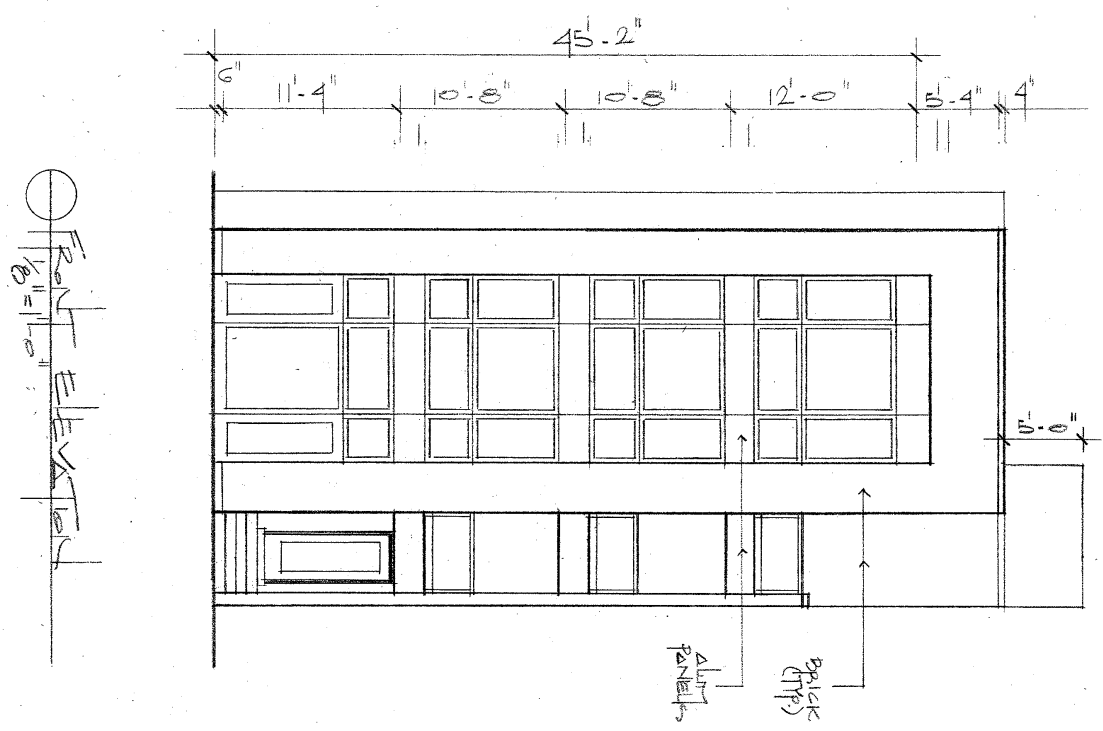
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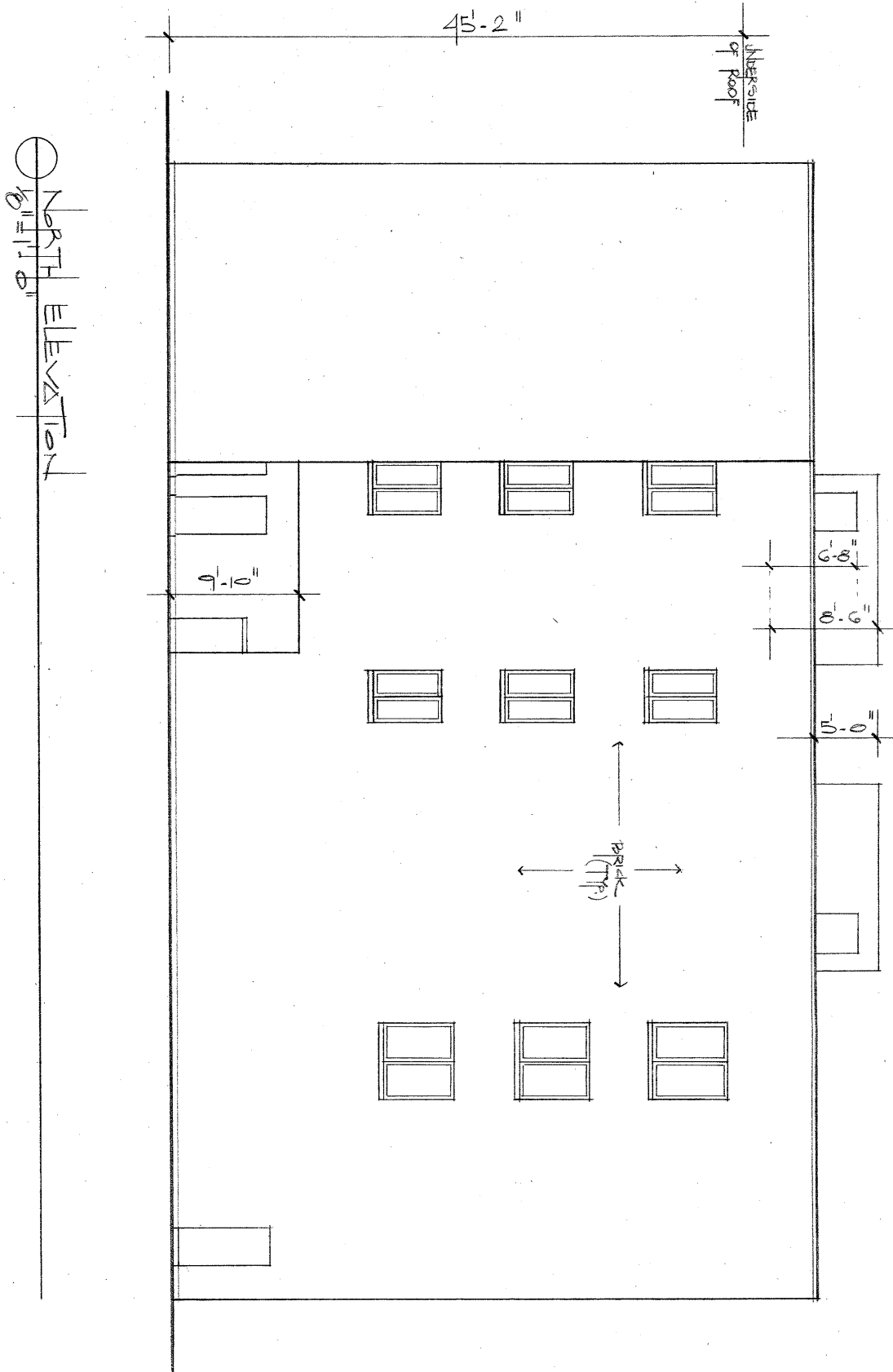
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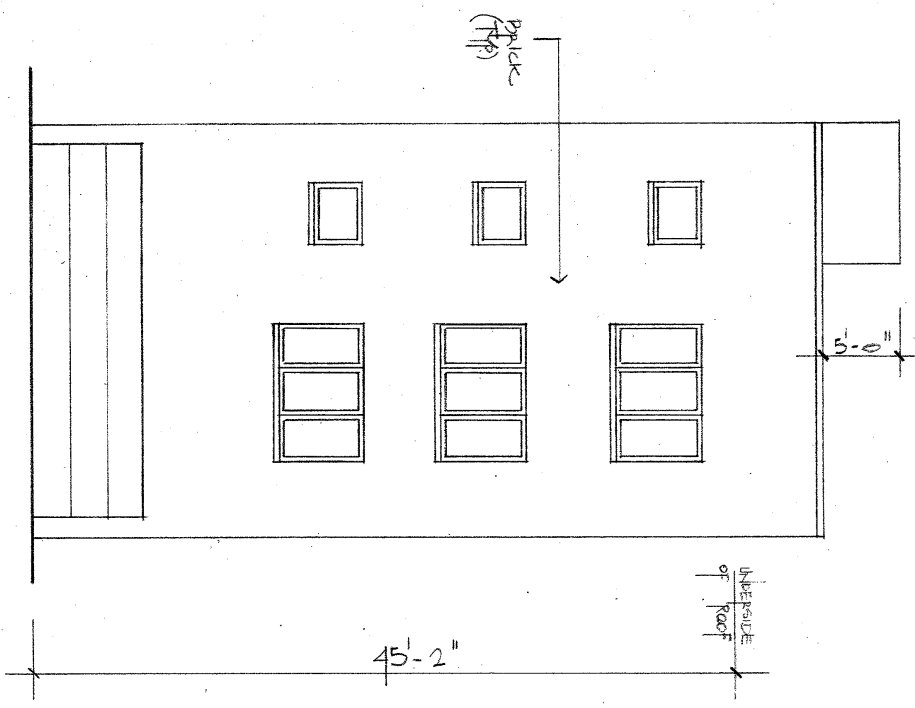
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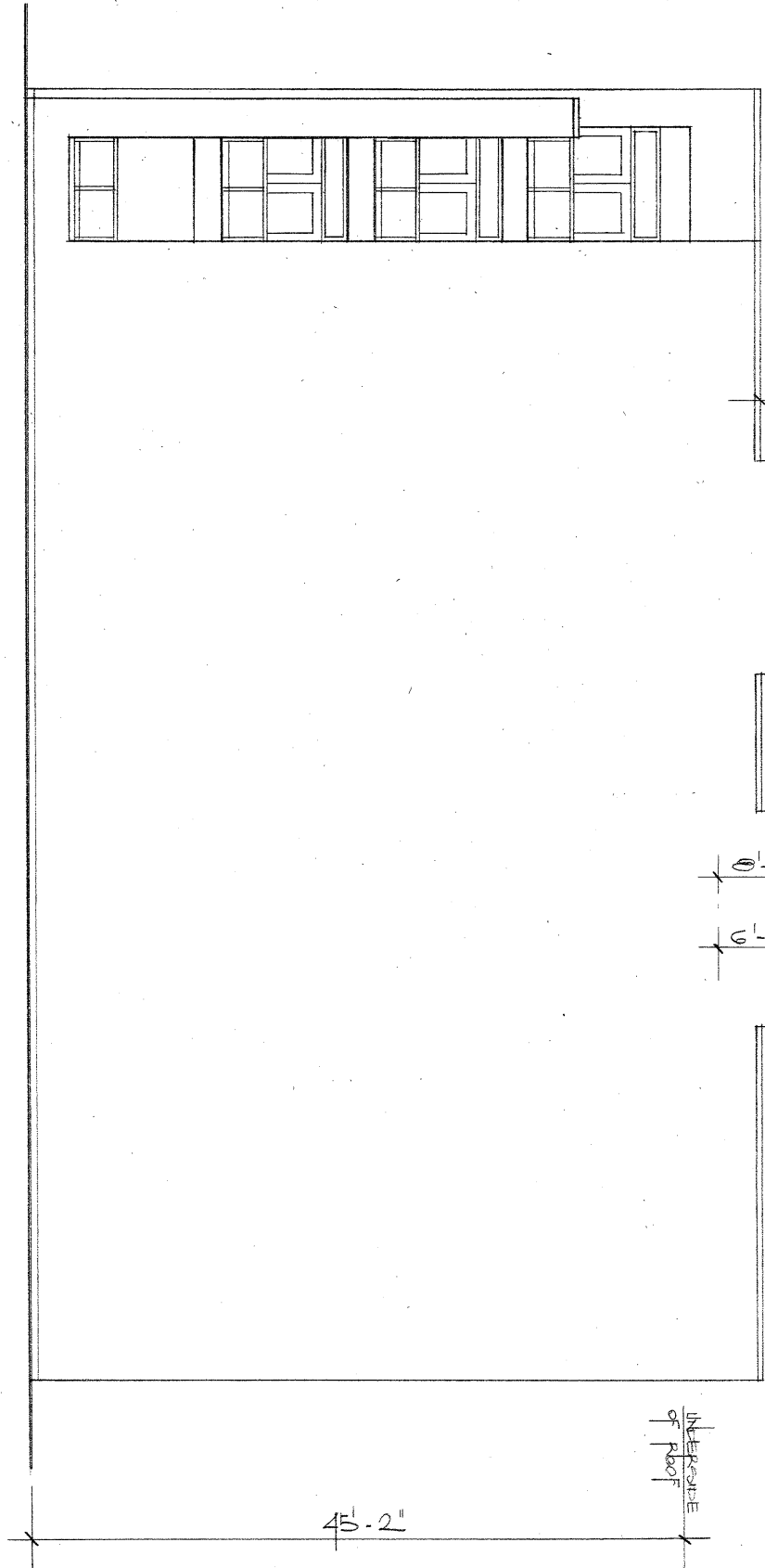
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⊙ REAR ELEVATION
1/8" = 1'-0"

South Elevation



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INTERSECT
of Roof

45'-2"

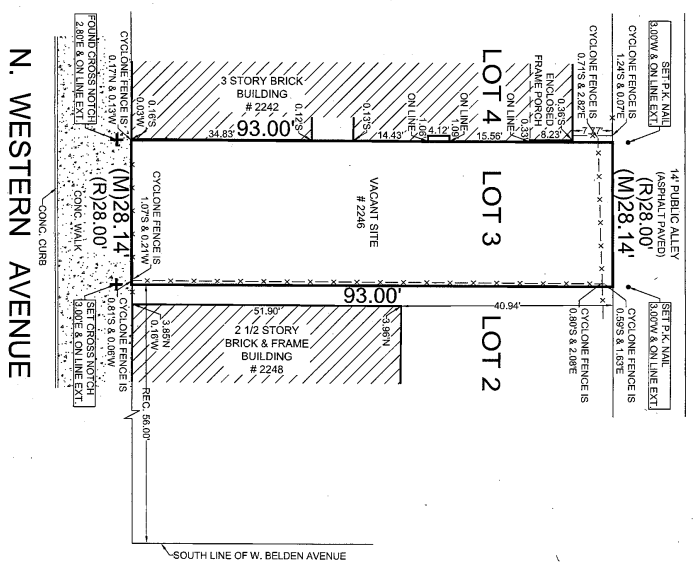


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PLAT OF SURVEY

LOT 3 IN THE SUBDIVISION OF BLOCK 3 (EXCEPT THE SOUTH 3 FEET OF THE EAST 110 FEET THEREOF) IN JOHN E. FREDERICKS SUBDIVISION OF PART OF LOTS 1 AND 2 IN THE DIVISION OF THE EAST 63.42 ACRES OF PART OF THE NORTH-EAST 1/4 OF SAID SECTION 36, TOWNSHIP 40 NORTH, RANGE 12 EAST, 3RD P.M. OF SAID COUNTY, ILLINOIS, BEING THE SOUTH 1/2 OF SAID SECTION 36, A LINE 50 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID SECTION 36 CONVEYED TO THE CITY OF CHICAGO BY DOCUMENT NUMBER 1089488, IN COOK COUNTY, ILLINOIS.

KNOWN AS: 2248 N. WESTERN AVENUE, CHICAGO, ILLINOIS
 PERMANENT INDEX NUMBER: 13-36-213-020-0000



NOTE:
 THE LEGAL DESCRIPTION IS FOUND ON THE EXISTING DEED TO THE REAL ESTATE TO WHICH THIS PLAT REFERS.
 TO ORDER A PLAT FROM THIS SURVEYOR, PLEASE CONTACT THE SURVEYOR AT THE ADDRESS LISTED ABOVE OR BY TELEPHONE AT THE NUMBER LISTED ABOVE.
 ORDERED BY:
RICARDO SANTANA
 DATE: OCTOBER 5, 2017
 SCALE: 1" = 16'
 ORDER NO.: 2017-25470

ALL NEIGHBORING LOTS AND ADJACENT AREAS ARE SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND THE ADJACENT AREAS AND HAVE FOUND NO OTHER EVIDENCE OF INTERESTS IN THE PROPERTY. I HAVE FOUND NO OTHER EVIDENCE OF INTERESTS IN THE PROPERTY. I HAVE FOUND NO OTHER EVIDENCE OF INTERESTS IN THE PROPERTY.

STATE OF ILLINOIS)
 COUNTY OF COOK)
 I, ROY G. LAWNIKZAK, COUNTY CLERK, DO HEREBY CERTIFY THAT I HAVE RECORDED THIS PLAT OF SURVEY IN THE PUBLIC RECORDS OF THE COUNTY OF COOK, ILLINOIS, AND THAT THE SAME IS A TRUE AND CORRECT COPY OF THE ORIGINAL PLAT OF SURVEY AS SUBMITTED TO ME BY THE SURVEYOR.



ROY G. LAWNIKZAK, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 35-2290
 CHICAGO, ILLINOIS