

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____ Date: _____
Project Address: _____ Proposed Zoning: _____
Developer/Owner: _____ Current Zoning: _____
Architect: _____ Zoning of Adjacent Area: _____
Contact Phone Number _____ Email _____

Proposed Variences

Dwelling Units: _____ Type: _____
Lot Dimensions: _____ ft. x _____ ft. Lot Area: _____ s.f.

Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH

A PDF file of the Project Data Sheet & requested architectural materials (listed below) for each project should be e-mailed to Community Chair ggnazapc@gmail.com at least one week before the meeting date.

Nine (9) copies of the Project Data Sheet & requested architectural materials (listed below) should be brought to the meeting for the ZAPC members.

a.) Small scale context footprint. This should show how the project will fit in with the surrounding properties 100 ft. on each side. Pictures of the site and adjacent properties are helpful.

b.) A Site plan with setbacks (especially showing setbacks to adjacent neighboring properties), landscaping, fences, garages, parking, curb cuts and sidewalks

c.) Zoning Data as shown on the Project Data Sheet

d.) Measured site plan with the following:

New building(s) to be shaded gray

Landscaped areas to be shaded light green. Show proposed and existing trees and shrubbery on property and parkway.

Streets and alleys to be labeled.

Building(s) and setbacks to be clearly dimensioned.

Show outline of existing building(s) to remain on property and building(s) on properties adjacent to project. If not practical, a partial outline is acceptable for adjacent properties.

Clearly show dimensioned parking spaces, bike storage, trash containers/enclosures and fences.

e.) Floor plans with the following:

Provide floor plans of each floor with overall dimensions.

Label and dimension all rooms.

For floors with identical layouts, just provide one plan and note the floors in drawing label.

Label square footage of each unit and each floor.

f.) Exterior elevations with the following:

Provide exterior elevations showing doors, windows, railings and other architectural elements.

Dimension all elevations with overall heights, floor to floor heights and floor to ceiling heights.

Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

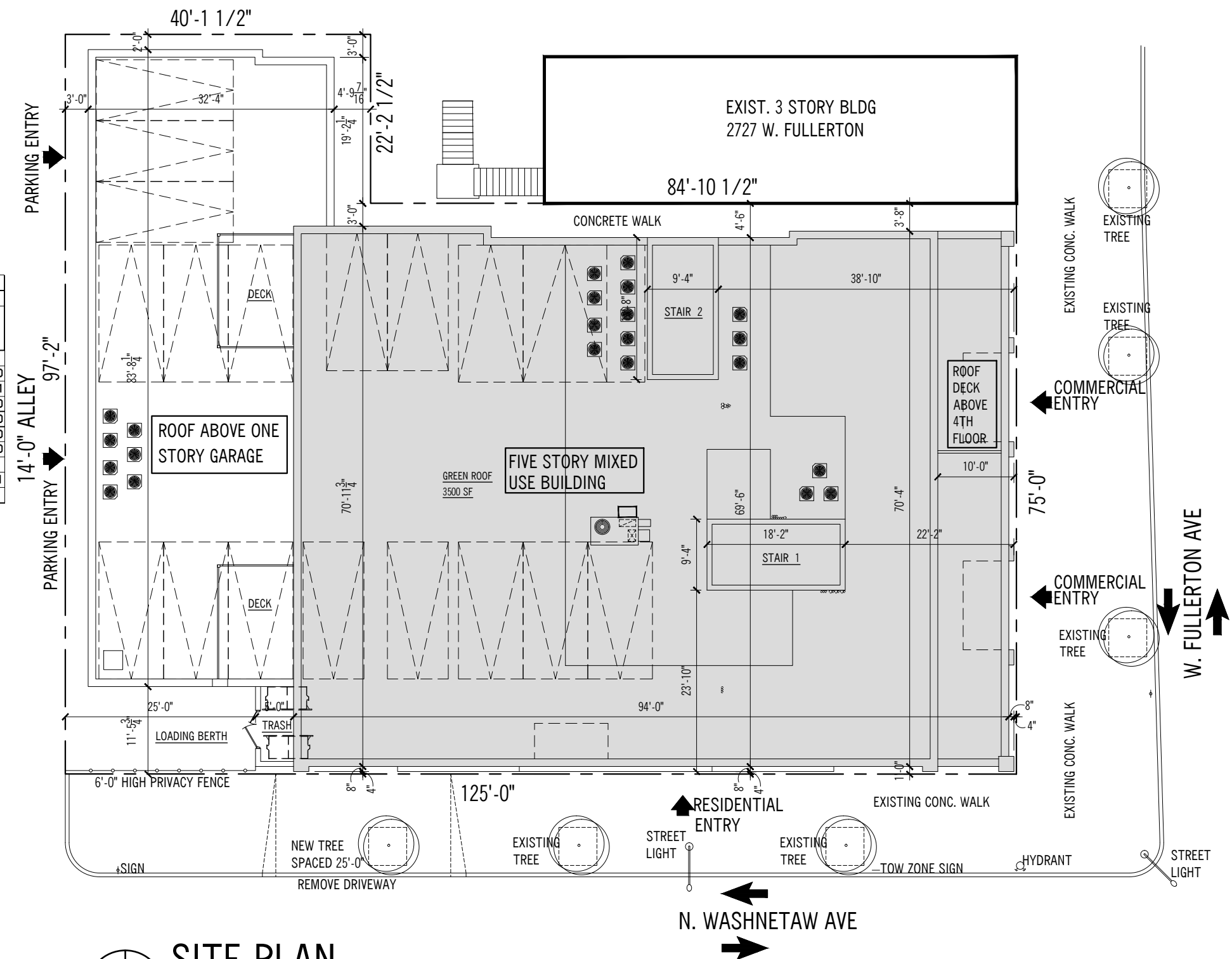
i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.

ZONING DATA		
2354 N. WASHTENAW SITE AREA: 10,264.00	REQUIRED PROPOSED ZONING B2-3 Max FAR: 3.0 MAX AREA: 30,792.00 SF	PROPOSED PROPOSED ZONING B2-3 ACTUAL FAR: 2.85 ACTUAL AREA: 29,228.00 SF

MAX HEIGHT	65'-0"	55'-11" AT MAIN BLDG
MIN. COMMERCIAL	20% LA (2,053.00 SF)	2,078.00 SF
MLA	400/STD UNIT	513.2/UNIT (20 UNITS)
FRONT YARD	0'-0"	0'-4"
WEST SIDE YARD	0'-0"	2'-0" AT GARAGE, 3'-0" / 4'-6" AT MAIN BLDG
EAST SIDE YARD	0'-0" AT BLDG	0'-4"
REAR YARD	30'-0" AT RES. / 0'-0" AT COMM.	3'-0" GRND FLR, 30'-0" AT FLOOR 2-5
VEHICLE PARKING	.5 PER UNIT (TSL) 10 REQ'D	18 SPACES
BIKE PARKING	1 PER 2 AUTO + 1 PER AUTO ELIMINATED (11 REQ)	38 BIKES SPACES
LOADING BERTH	1 REQ > 25,000 SF- RES.	(1) 10'-0" x 25'-0"

BUILDING DATA														
AREA														
FLOOR	USE	ELEV. ABOVE GRADE	FLOOR HEIGHT	# OF UNITS	GROSS SF	NET ZONING	NET UNIT	COMMON/ AMENITY	EFF.	# OF CARS	# OF BIKES	2 BED/ 2 BATH	1 BED/ 1 BATH	1 BED/ 1 BATH
ROOF	ROOF	58'-0"	6'-8" ROOF ACCESS	0	340	0	0	0	0	0	0	0	0	0
5	RES.	46'-8 1/2"	9'-0 3/8"	5	5,891	5,891	5,096	795	86.50%	0	0	3	1	1
4	RES.	35'-8 1/2"	9'-0 3/8"	5	6,420	6,415	5,625	795	87.62%	0	0	5	0	0
3	RES.	24'-8 1/2"	9'-0 3/8"	5	6,420	6,415	5,625	795	87.62%	0	0	5	0	0
2	RES.	13'-8"	9'-0 7/8"	5	6,420	6,415	5,625	795	87.62%	0	0	5	0	0
1	COM./PKG	0'-0"	11'-4"	0	8,922	4,092	2,340	1,752	26.23%	15	8			0
TOTAL				20	34,413	29,228	24,311	4,932		18	38	18	1	1



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES

PRELIMINARY	12-20-2021
REVIEW SUBMITTAL	01-10-2022
ROOF REVISION 2	01-21-2022
GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 20 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

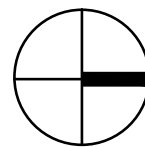
SHEET DESCRIPTION
ZONING DATA/
SITE PLAN

SHEET NUMBER

01



GROUND FLOOR PLAN



0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



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DEVELOPER:
 HIBERNIAN DEVELOPMENT

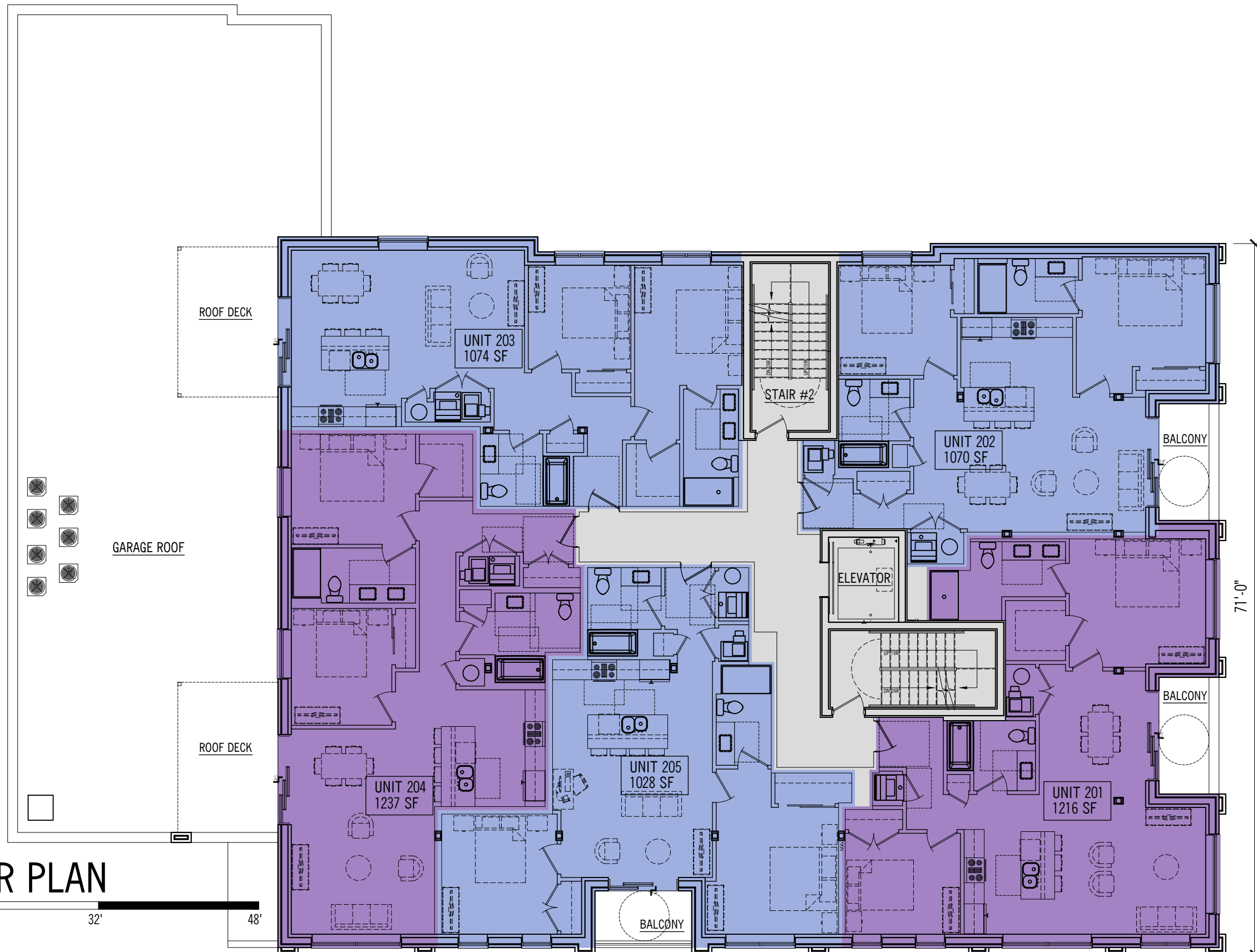
PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

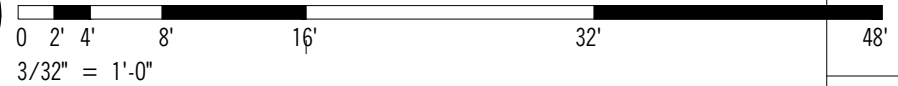
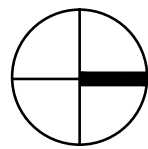
SHEET DESCRIPTION
 GROUND FLOOR PLAN

SHEET NUMBER

02



SECOND FLOOR PLAN



2453 S. ARCHER AVE
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 p. 312.842.2225
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PRELIMINARY	12-20-2021
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GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

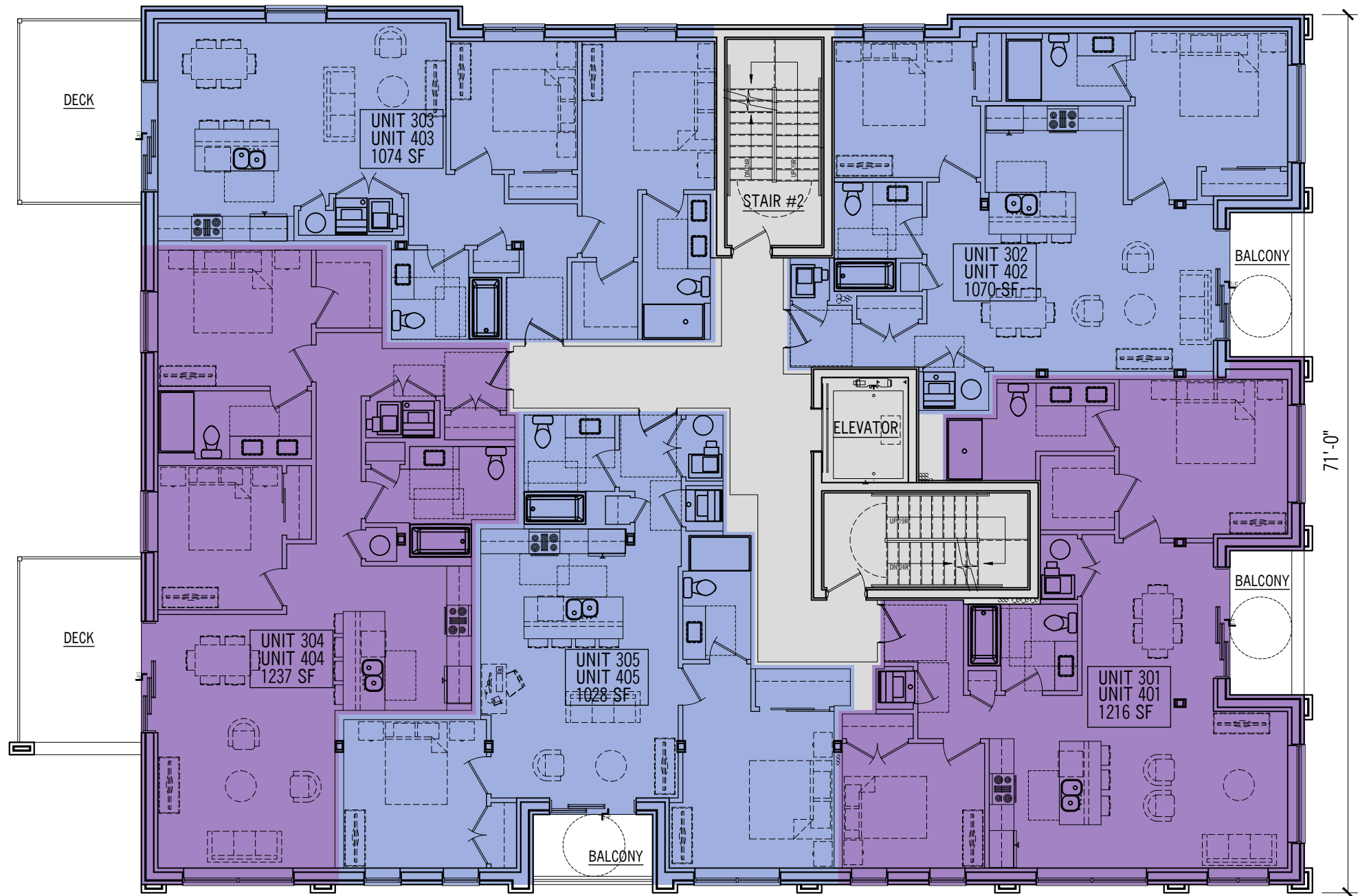
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

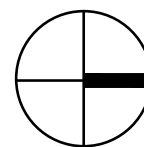
PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 SECOND FLOOR PLAN

SHEET NUMBER
03



THIRD-FOURTH FLOOR PLAN



0 2' 4' 8' 16' 32' 48'
3/32" = 1'-0"



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REVIEW SUBMITTAL	01-10-2022
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	06-02-2022

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

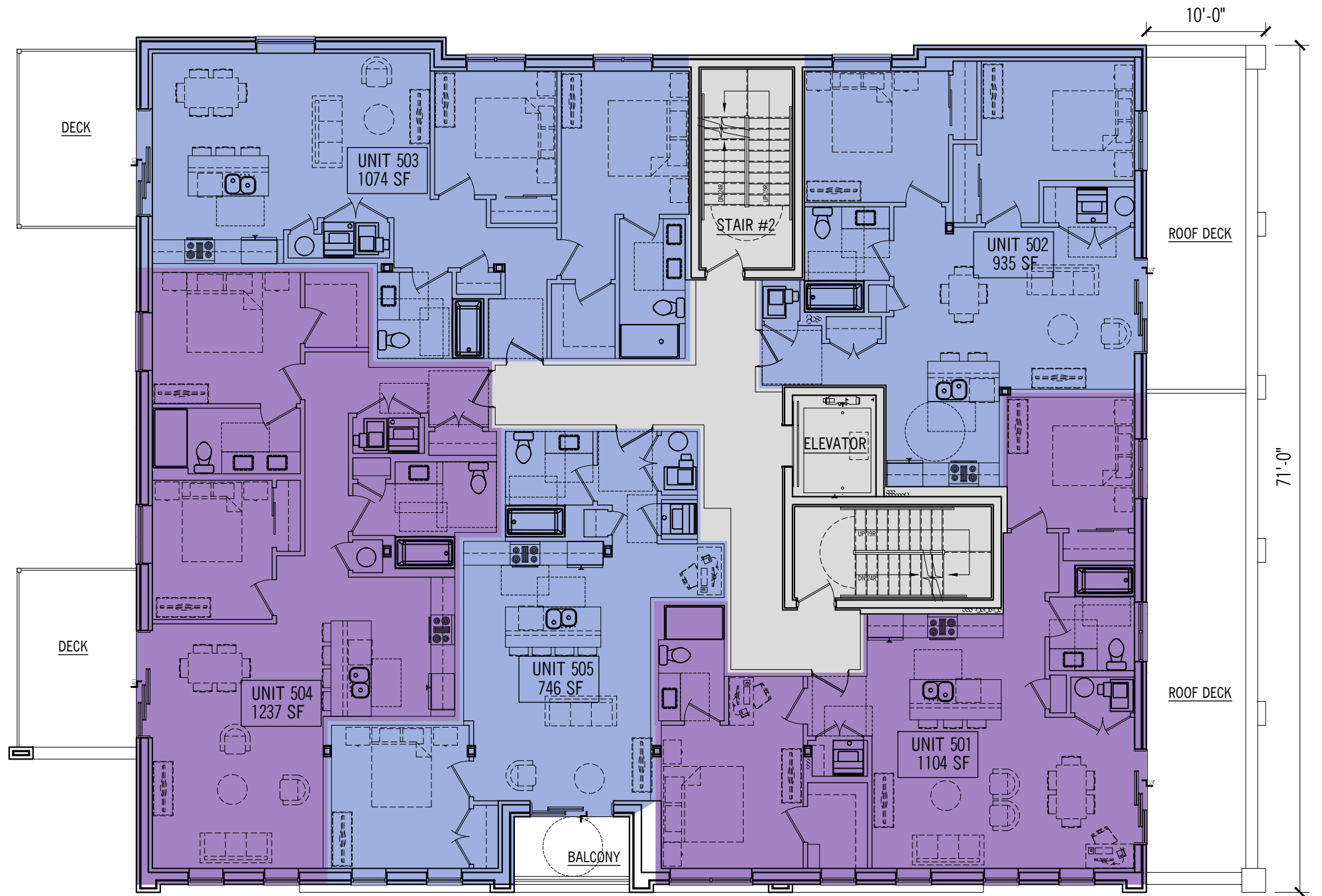
FIVE STORY 20 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

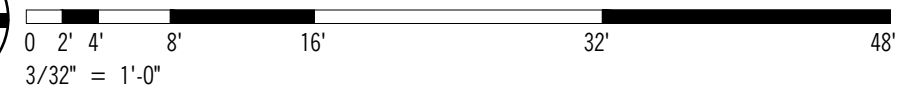
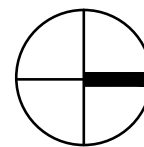
THIRD & FOURTH
FLOOR PLAN

SHEET NUMBER

04



FIFTH FLOOR PLAN



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES

PRELIMINARY
REVIEW SUBMITTAL
ROOF REVISION 2
GGNA
REVISION 3 GGNA COMMENTS

12-20-2021
01-10-2022
01-21-2022
02-01-2022
03-31-2022
06-02-2022

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

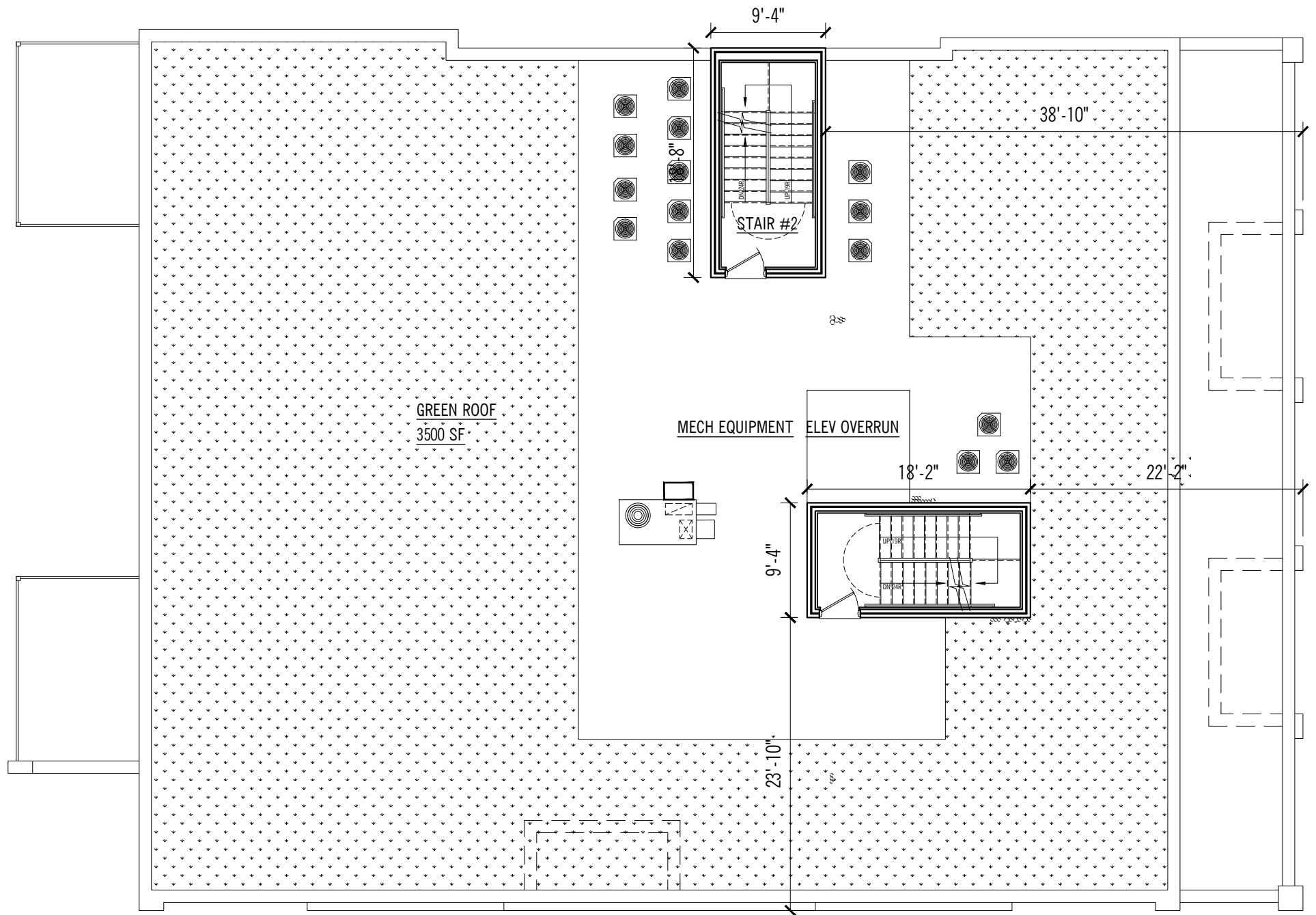
FIVE STORY 20 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

FIFTH FLOOR PLAN

SHEET NUMBER

05



ROOF PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

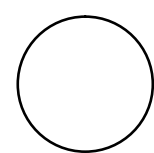
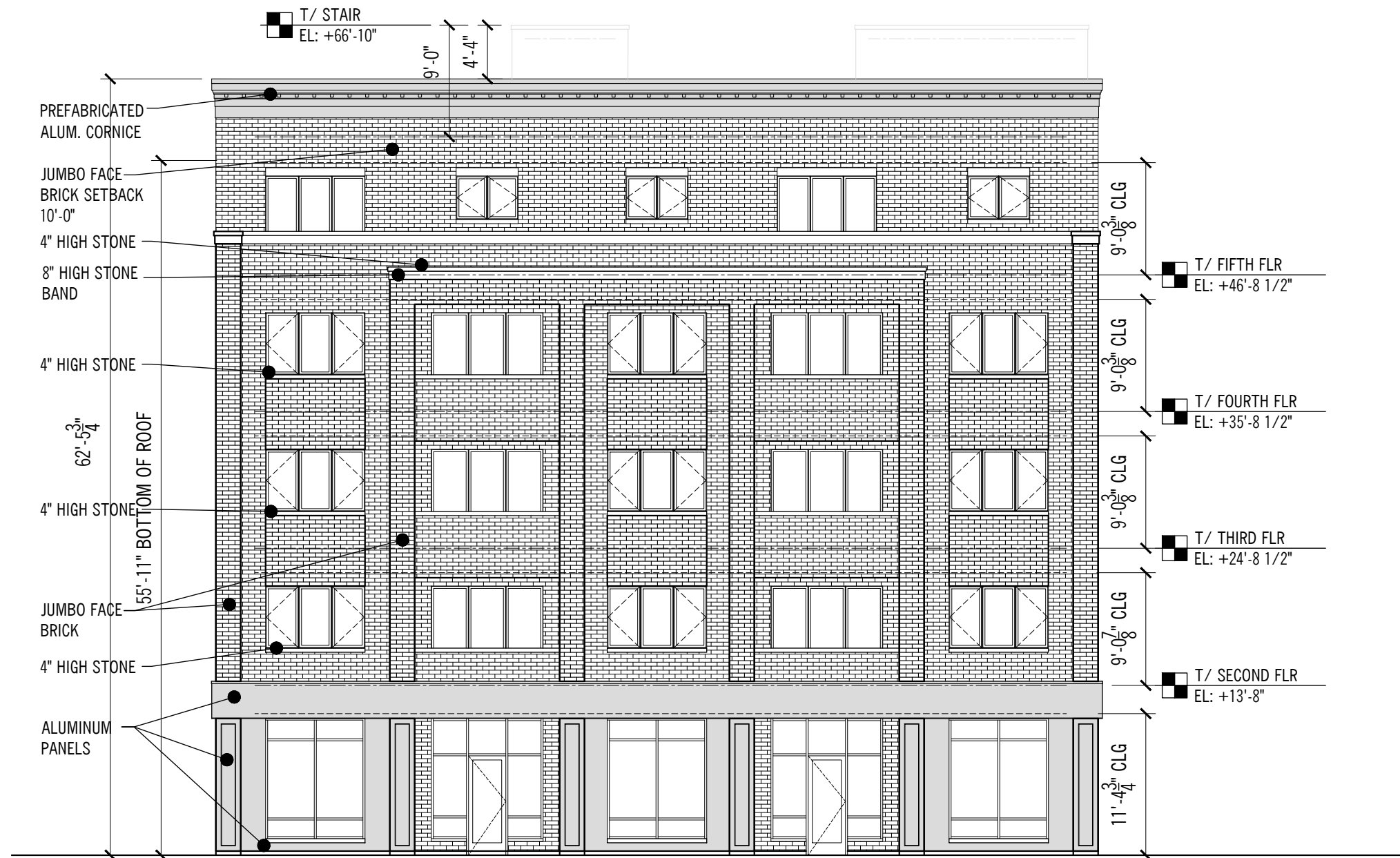
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 ROOF PLAN

SHEET NUMBER
 06



NORTH ELEVATION



2453 S. ARCHER AVE
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	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

NORTH ELEVATION

SHEET NUMBER

07



EAST ELEVATION

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

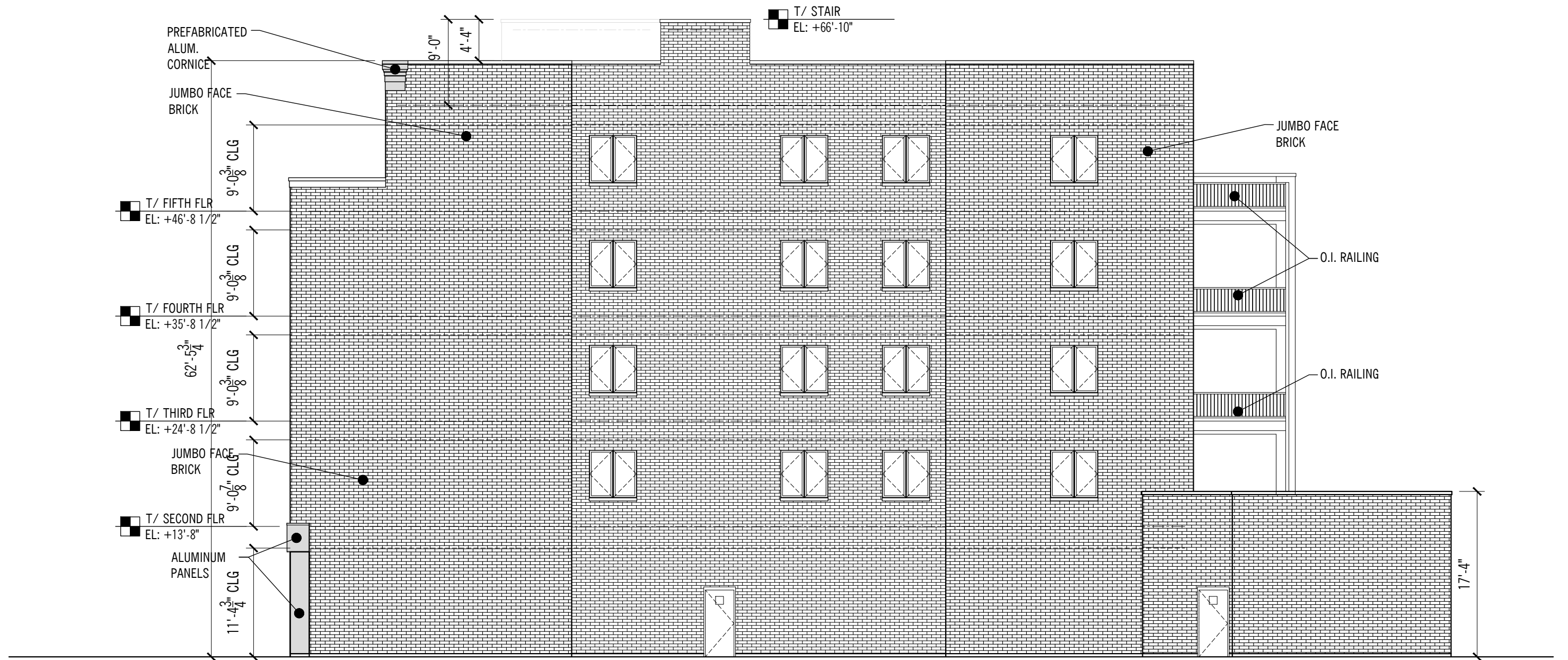
FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

EAST ELEVATION

SHEET NUMBER

08



○
WEST ELEVATION

0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



2453 S. ARCHER AVE
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SUBMITTAL DATES	
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REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

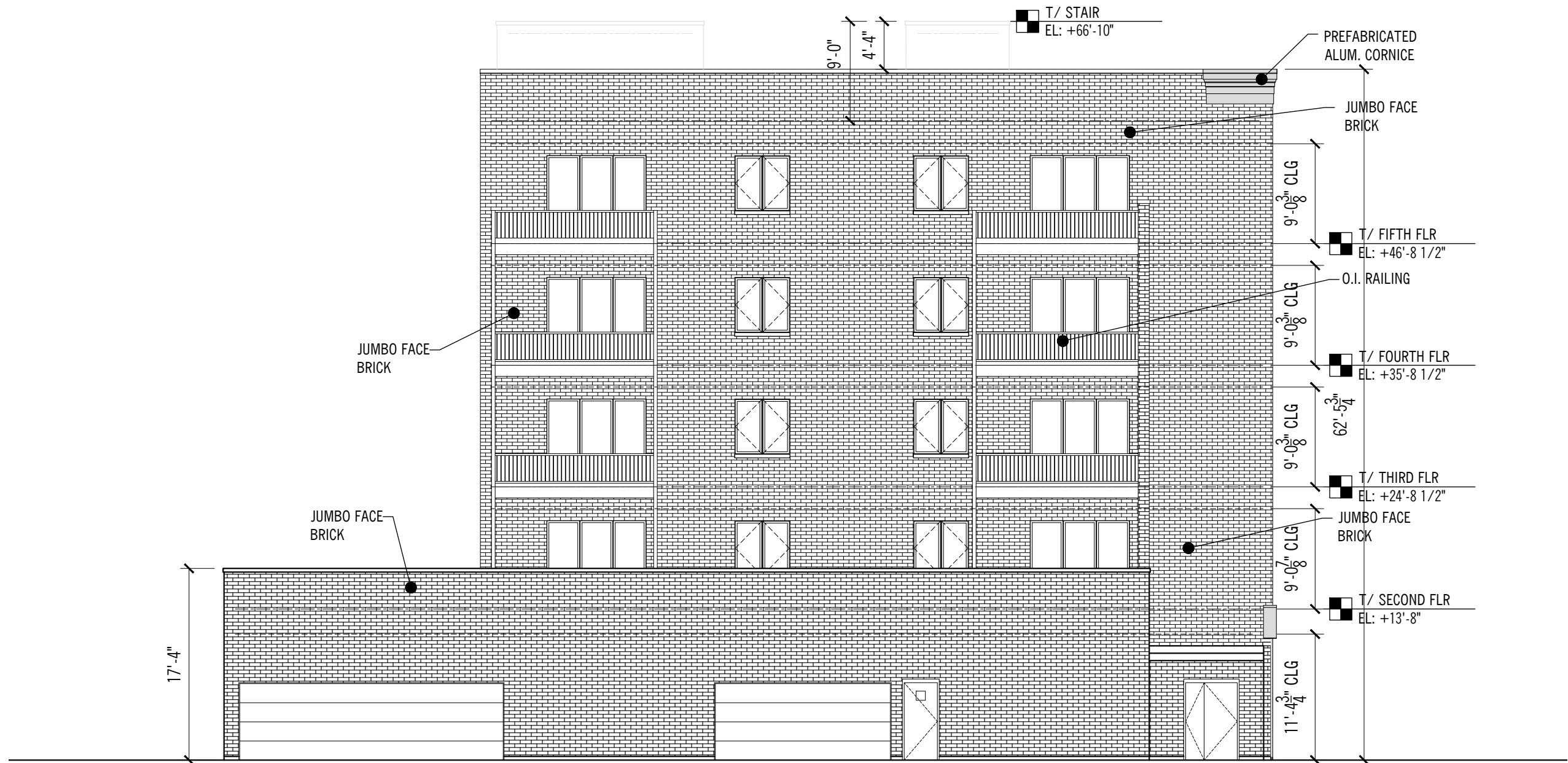
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 WEST ELEVATION

SHEET NUMBER
09




SOUTH ELEVATION
 0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



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	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 SOUTH ELEVATION

SHEET NUMBER
10



CONTEXT PLAN



2453 S. ARCHER AVE
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 CHICAGO, IL 60608
 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES

GGNA

03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION

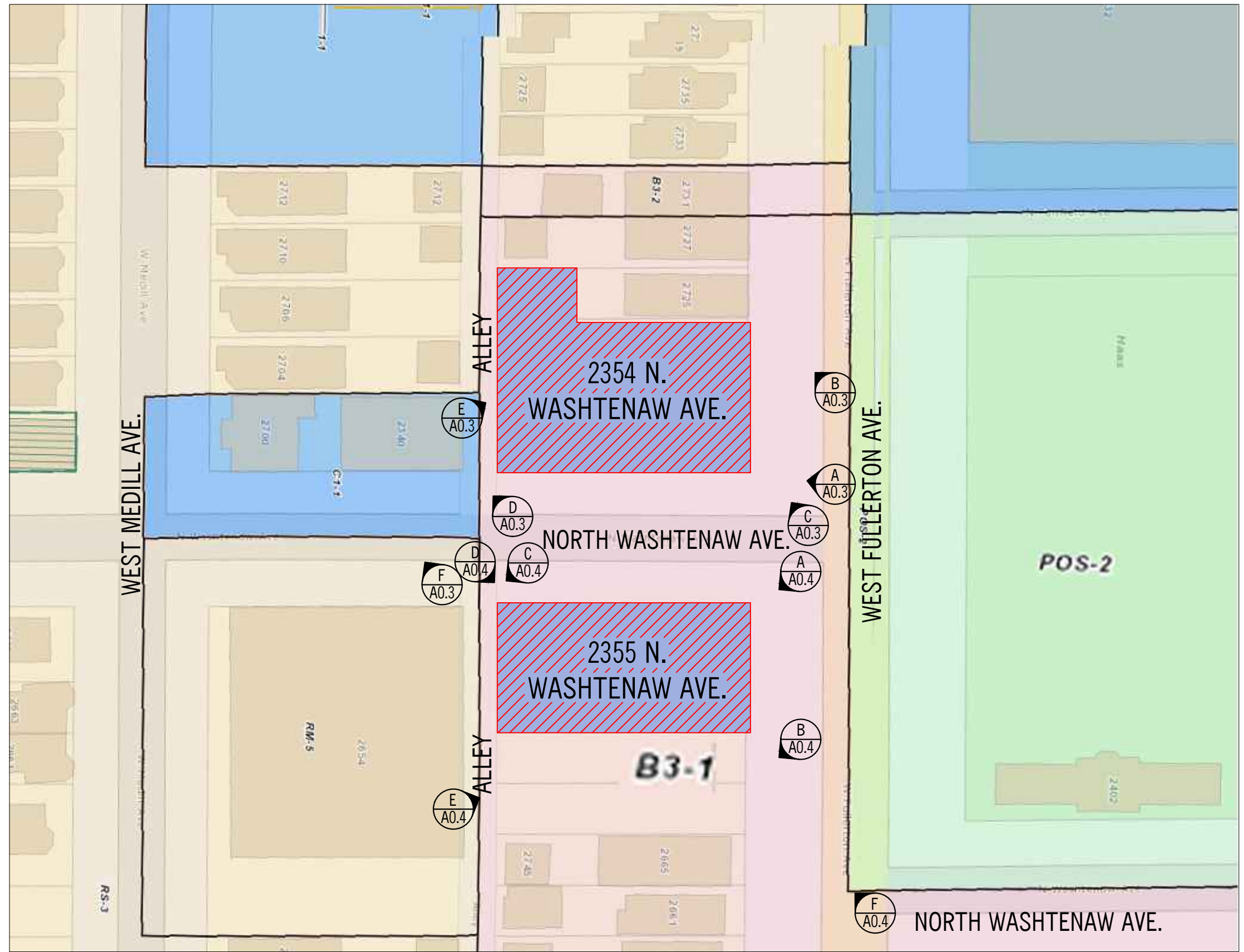
2354 NORTH WASHTENAW AVE.
 2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION

CONTEXT PLAN

SHEET NUMBER

A0.1



ZONING/PHOTO PLAN



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL 60608
 p. 312.842.2225
 f. 312.842.2253

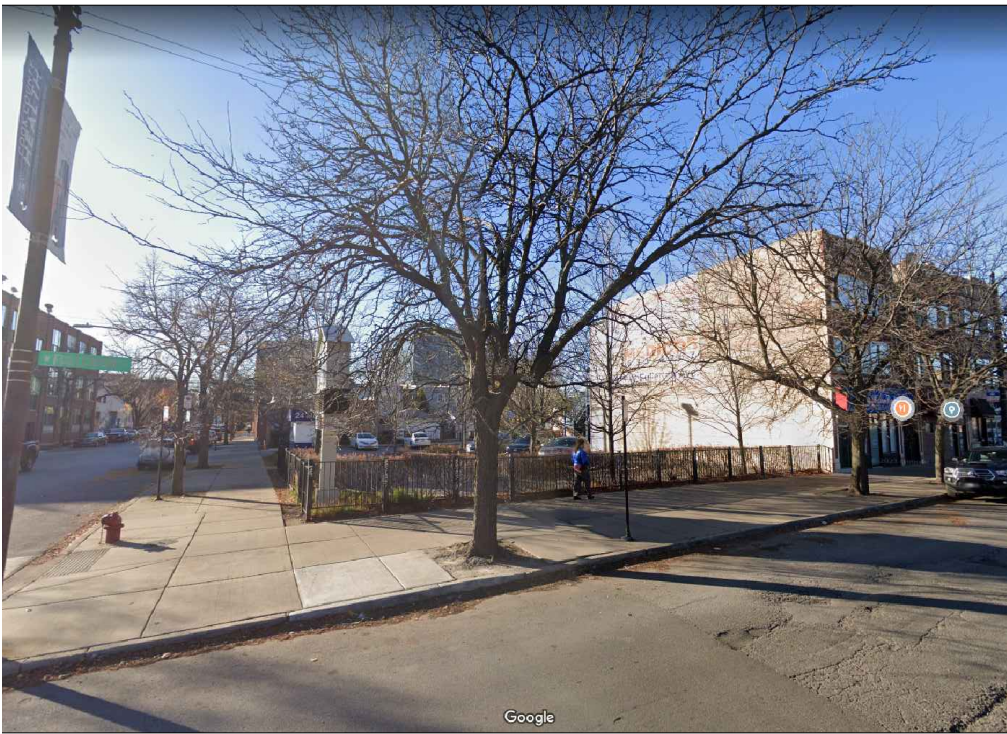
SUBMITTAL DATES
 GGNA 03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

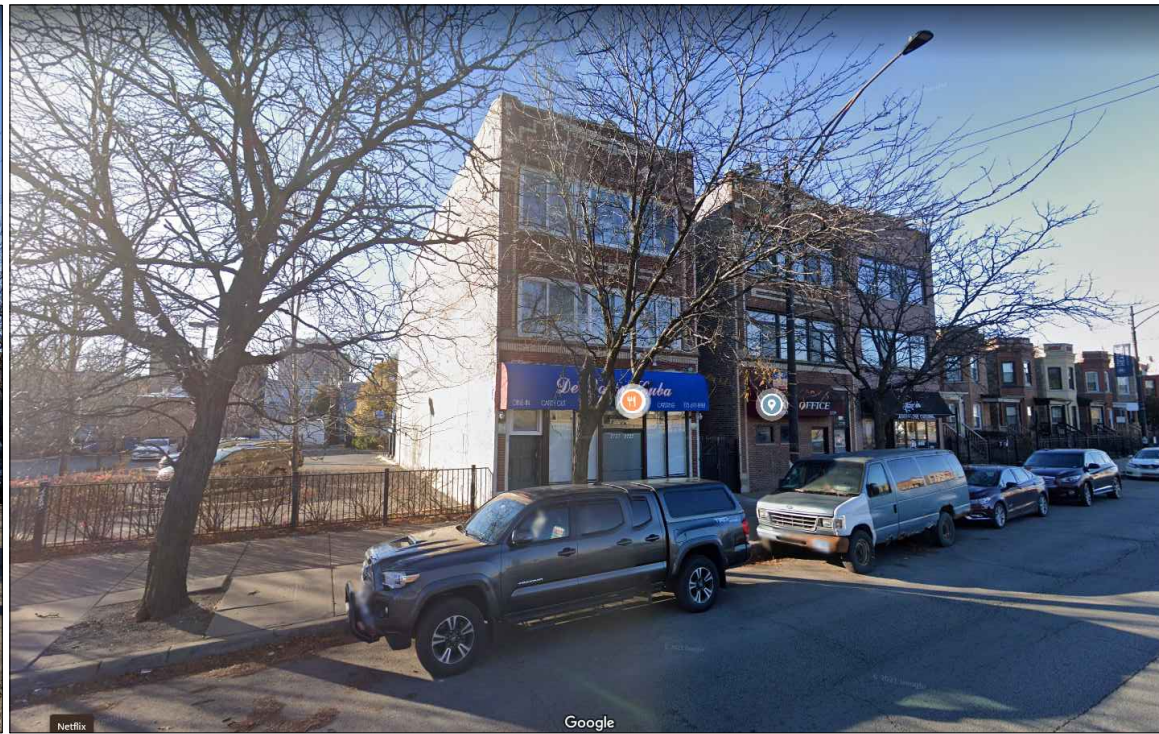
PROJECT DESCRIPTION
 2354 NORTH WASHTENAW AVE.
 2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION
 ZONING/PHOTO PLAN

SHEET NUMBER
A0.2



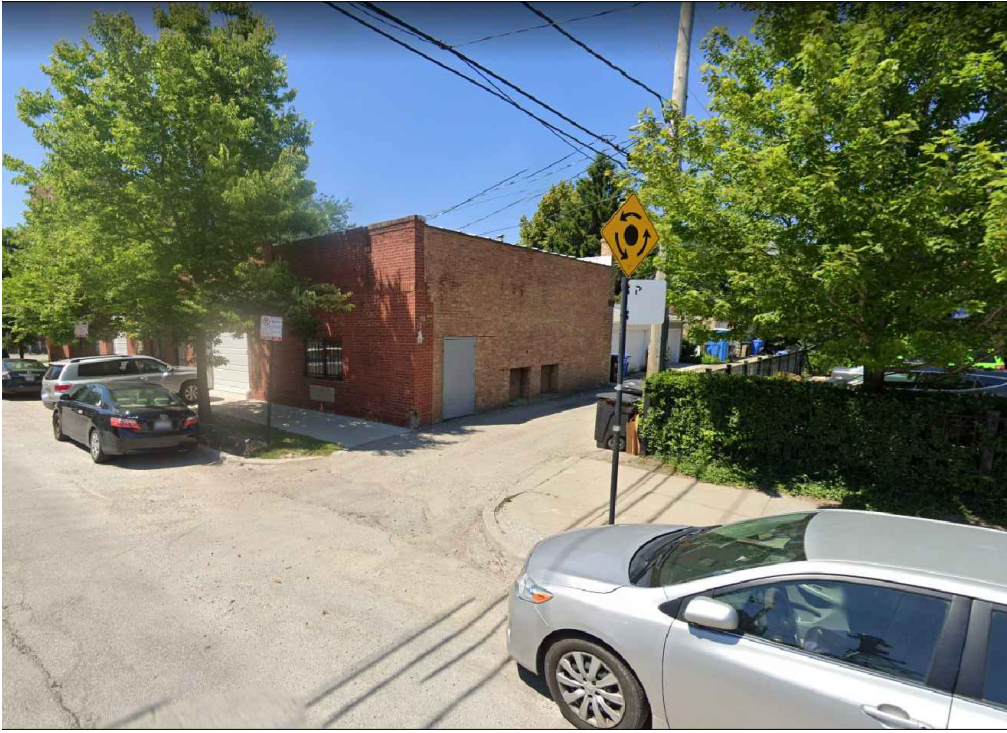
A SITE PHOTO



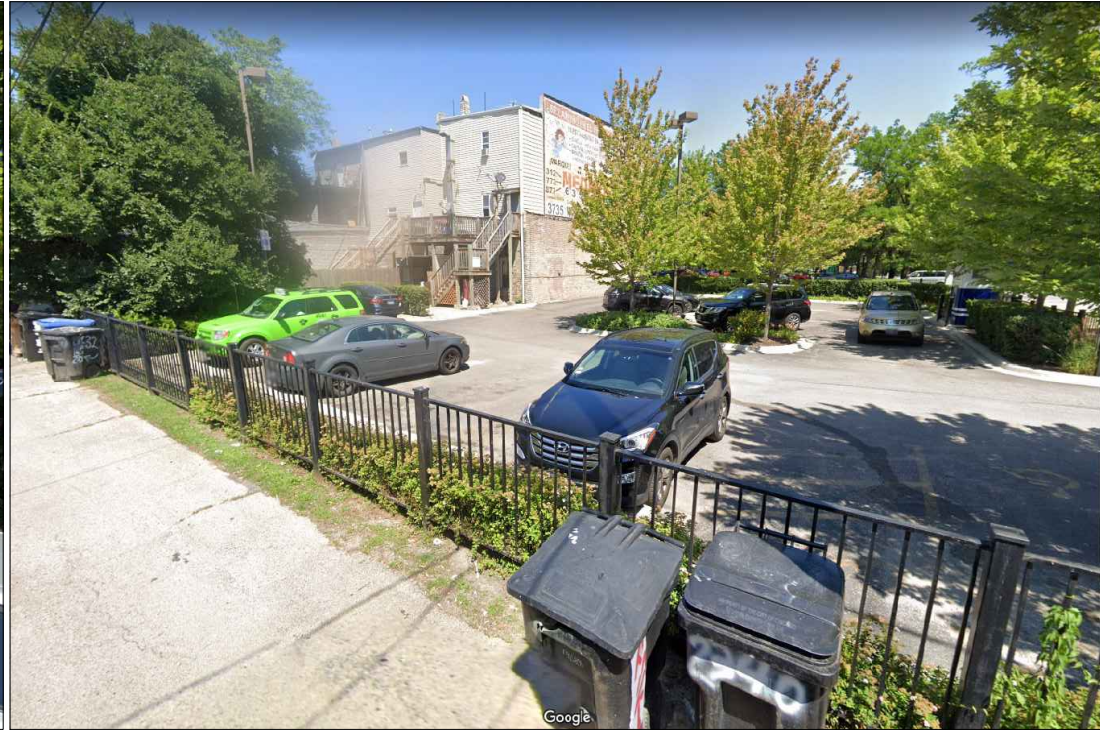
B SITE PHOTO



C SITE PHOTO



D SITE PHOTO



E SITE PHOTO



F SITE PHOTO



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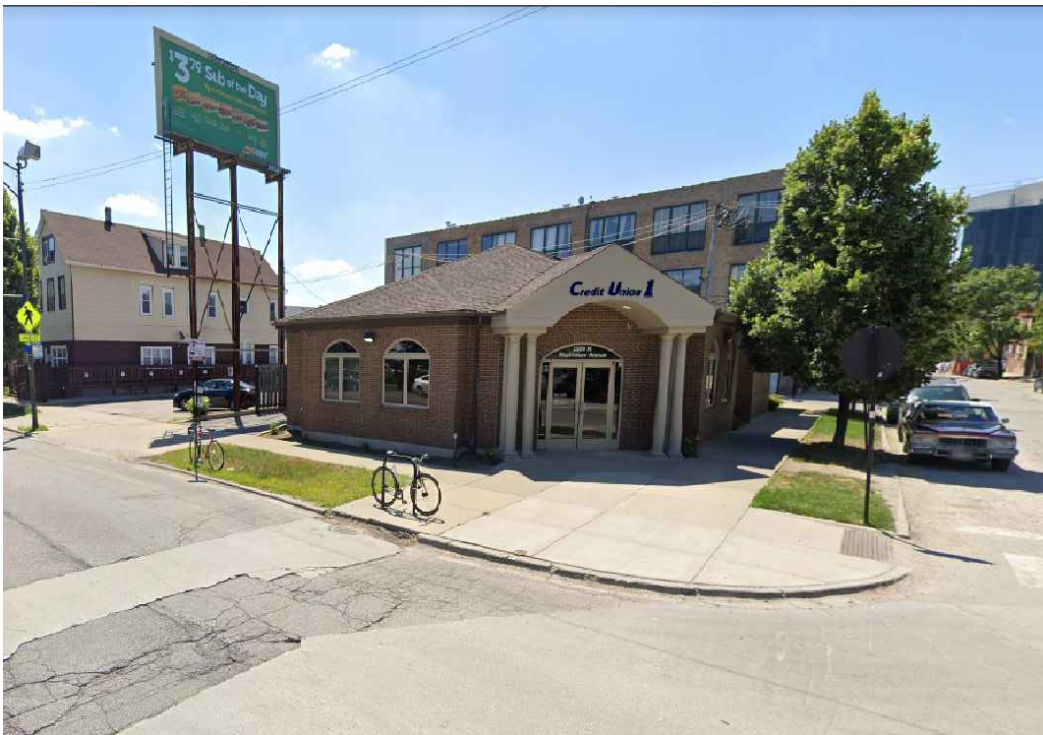
SUBMITTAL DATES
 GGNA 03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION
 2354 NORTH WASHTENAW AVE.
 2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION
 SITE PHOTOS
 2354 N. WASHTENAW

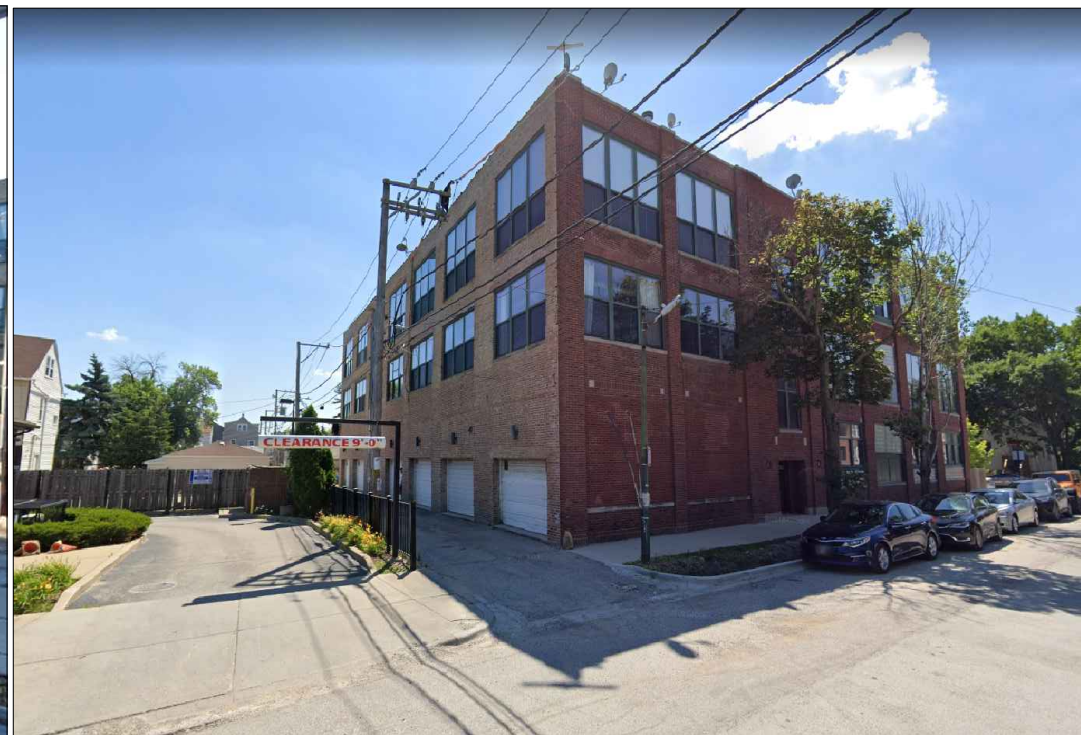
SHEET NUMBER
A0.3



A SITE PHOTO



B SITE PHOTO



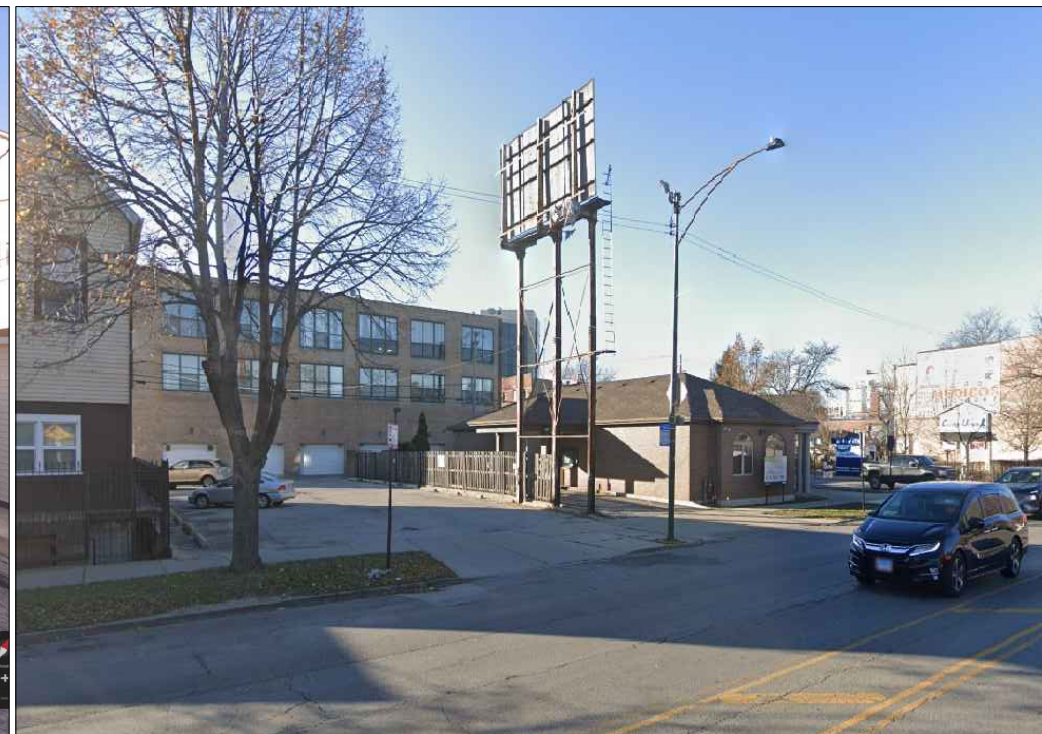
C SITE PHOTO



D SITE PHOTO



E SITE PHOTO



F SITE PHOTO



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SUBMITTAL DATES

GGNA

03-31-2022

DEVELOPER:
HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION

2354 NORTH WASHTENAW AVE.
2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION

SITE PHOTOS
2355 N. WASHTENAW

SHEET NUMBER

A0.4

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____ Date: _____
Project Address: _____ Proposed Zoning: _____
Developer/Owner: _____ Current Zoning: _____
Architect: _____ Zoning of Adjacent Area: _____
Contact Phone Number _____ Email _____

Proposed Variences

Dwelling Units: _____ Type: _____
Lot Dimensions: _____ ft. x **125** ft. Lot Area: _____ s.f.

Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH

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Streets and alleys to be labeled.

Building(s) and setbacks to be clearly dimensioned.

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Clearly show dimensioned parking spaces, bike storage, trash containers/enclosures and fences.

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Label and dimension all rooms.

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f.) Exterior elevations with the following:

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Dimension all elevations with overall heights, floor to floor heights and floor to ceiling heights.

Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

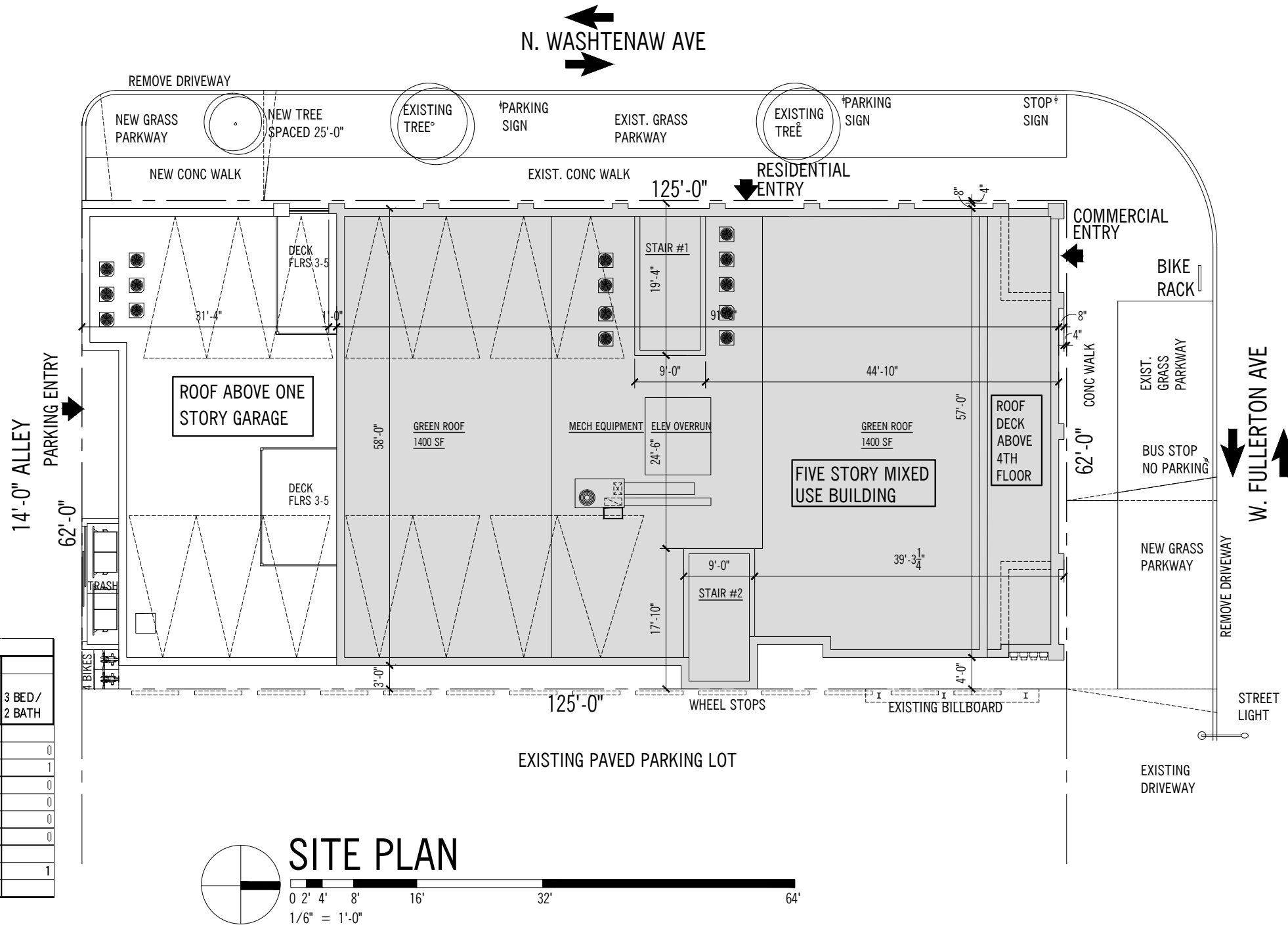
i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.

ZONING DATA		
2355 N. WASHTENAW SITE AREA: 7,750.00	REQUIRED	PROPOSED
	PROPOSED ZONING B2-3	PROPOSED ZONING B2-3
	Max FAR: 3.0	ACTUAL FAR: 3.0
	MAX AREA: 23,250.00 SF	ACTUAL AREA: 23,248.00 SF

MAX HEIGHT	65'-0"	55'-11" AT MAIN BLDG
MIN. COMMERCIAL	20% LA (1,550.00 SF)	1,551.00 SF
MLA	400/ STD UNIT	516/UNIT (15 UNITS)
FRONT YARD	0'-0"	0'-0"
WEST SIDE YARD	0'-0"	0'-4"
EAST SIDE YARD	0'-0" AT BLDG	3'-0" AT GARAGE, 0'-0", 4'-0", 4'-6" AT MAIN BLDG
REAR YARD	30'-0" AT RES./ 0'-0" AT COMM.	0'-0" GRND FLR, 31'-4" AT FLOOR 2-5
VEHICLE PARKING	.5 PER UNIT (TSL) 6 REQ'D	14 SPACES
BIKE PARKING	1 PER 2 AUTO +	
BIKE PARKING	1 PER AUTO ELIMINATED (8 REQ)	20 BIKES SPACES
LOADING BERTH	NA RES < 24,999 ASF	N.R.

BUILDING DATA														
FLOOR	USE	ELEV. ABOVE GRADE	FLOOR HEIGHT	# OF UNITS	AREA				COMMON/ AMENITY	EFF.	# OF CARS	# OF BIKES	2 BED/ 2 BATH	3 BED/ 2 BATH
					GROSS SF	NET ZONING	NET UNIT							
ROOF	NA	58'-0"	6'-8" ROOF ACCESS	0	340	0	0	0	0	0	0	0	0	
5	RES.	46'-8 1/2"	9'-0 3/8"	3	4756	4756	4079	677	86.09%	0	0	2	1	
4	RES.	35'-8 1/2"	9'-0 3/8"	4	5168	5168	4447	721	86.05%	0	0	4	0	
3	RES.	24'-8 1/2"	9'-0 3/8"	4	5168	5168	4447	721	86.05%	0	0	4	0	
2	RES.	13'-8"	9'-0 7/8"	4	5168	5168	4447	721	86.05%	0	0	4	0	
1	COM./PKG	0'-0"	11'-4"	0	6872	2988	3004	3884	43.71%	14	16	0	0	
	TOTAL			15	27,472	23,248	20,424	6,724			14	20	14	



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES

PRELIMINARY 12-20-2021
REVIEW SUBMITTAL 01-10-2022
ROOF REVISION 2 01-21-2022
GGNA 02-01-2022
REVISION 3 GGNA COMMENTS 03-31-2022
06-02-2022

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 15 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
ZONING DATA/
SITE PLAN

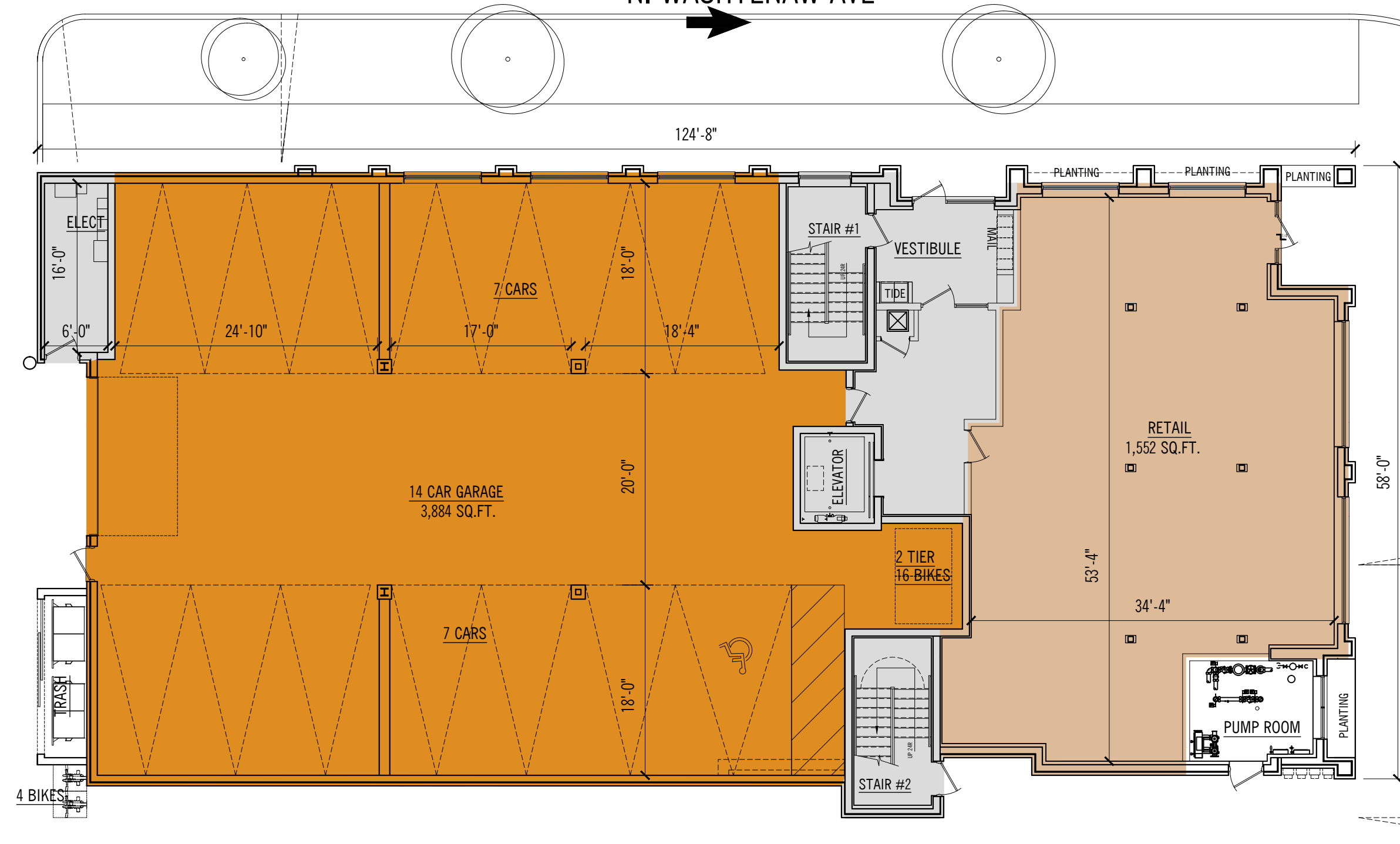
SHEET NUMBER

01

N. WASHTENAW AVE

14'-0" ALLEY

W. FULLERTON AVE



GROUND FLOOR PLAN



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ROOF REVISION 2	01-21-2022
GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

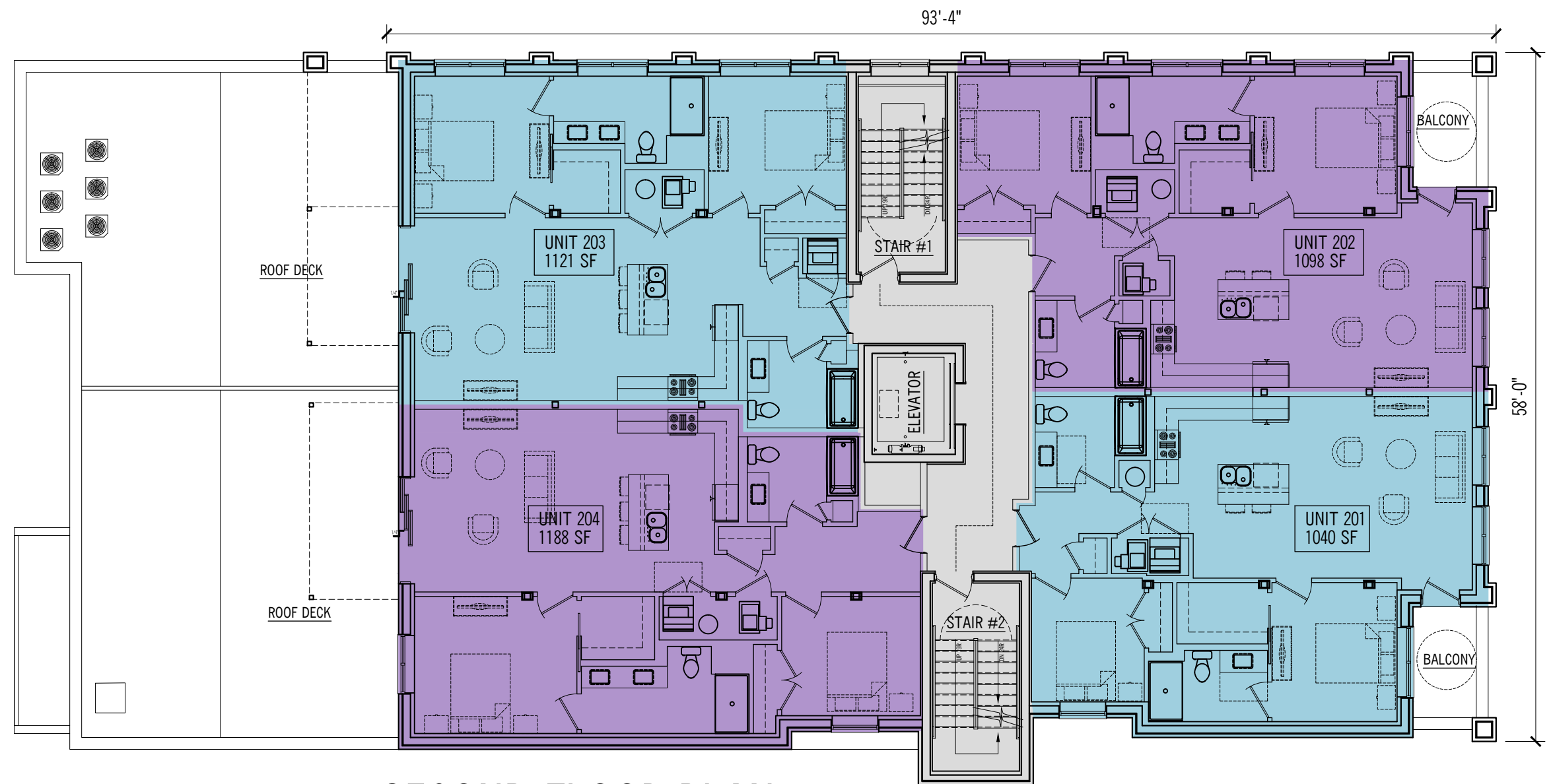
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 GROUND FLOOR

SHEET NUMBER
02



2453 S. ARCHER AVE
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f. 312.842.2253

SUBMITTAL DATES

PRELIMINARY	12-20-2021
REVIEW SUBMITTAL	01-10-2022
ROOF REVISION 2	01-21-2022
GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
HIBERNIAN DEVELOPMENT

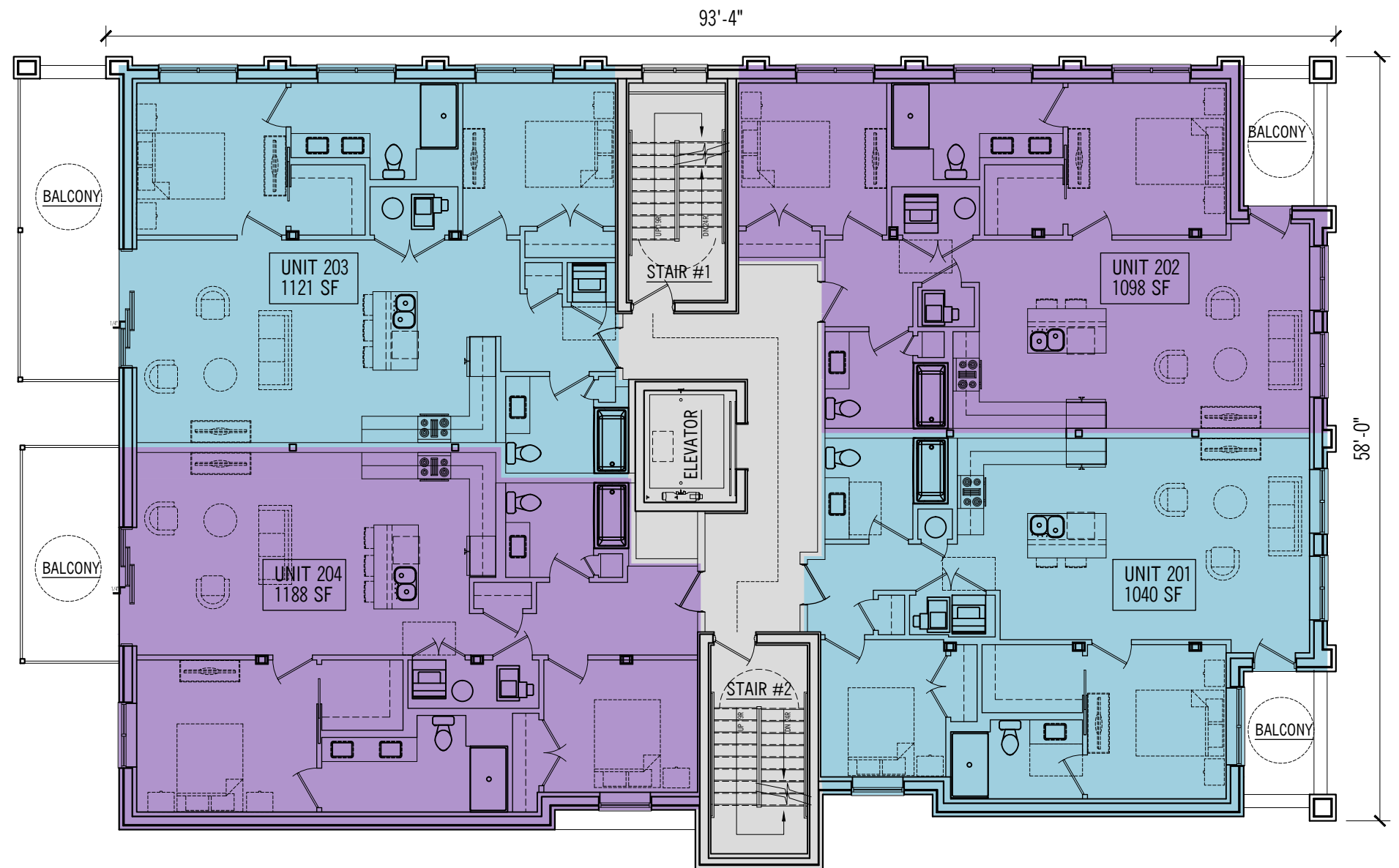
PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 15 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
2ND FLOOR PLAN

SHEET NUMBER

03



THIRD-FOURTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

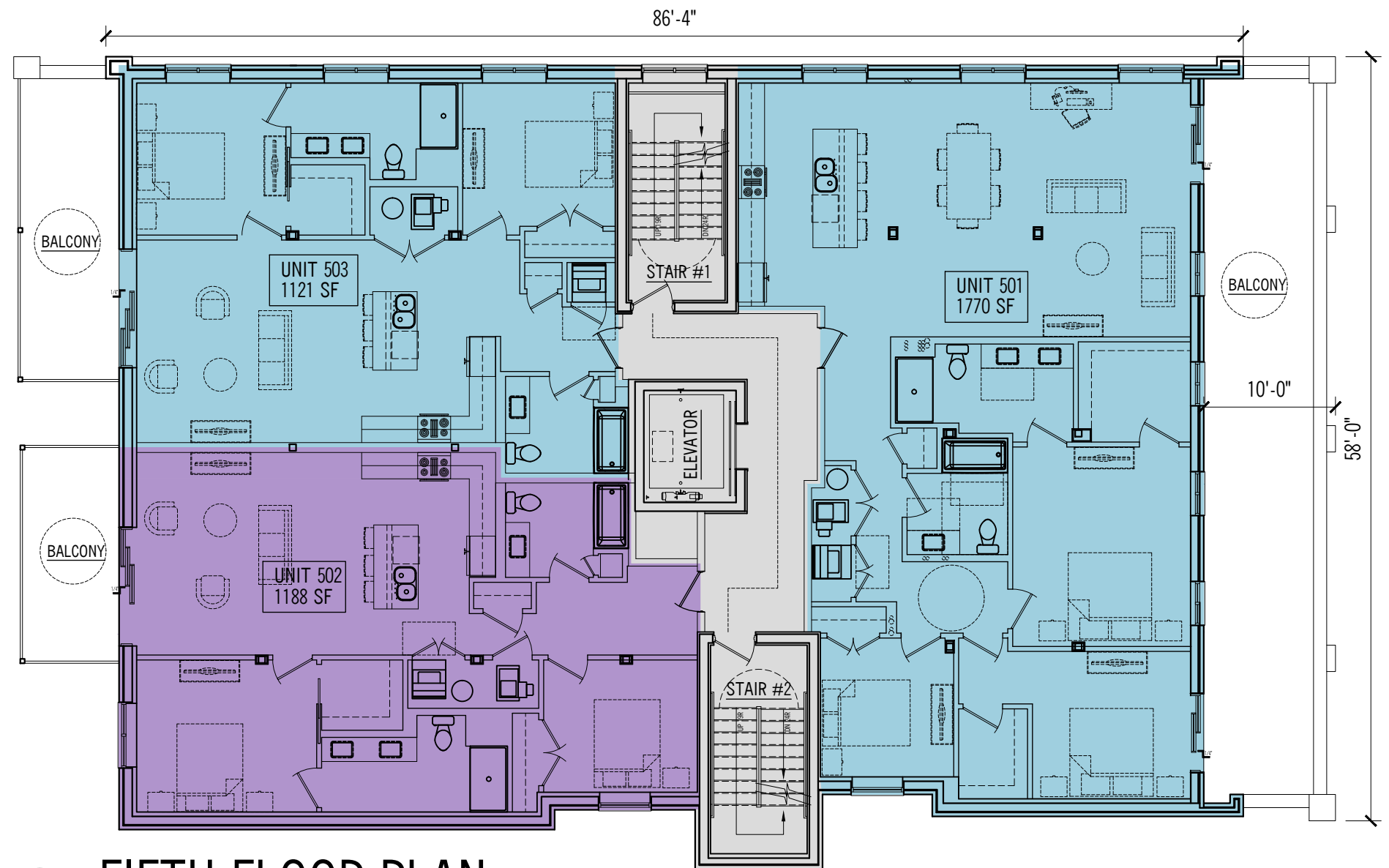
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 3RD-4TH FLOOR PLAN

SHEET NUMBER
04



FIFTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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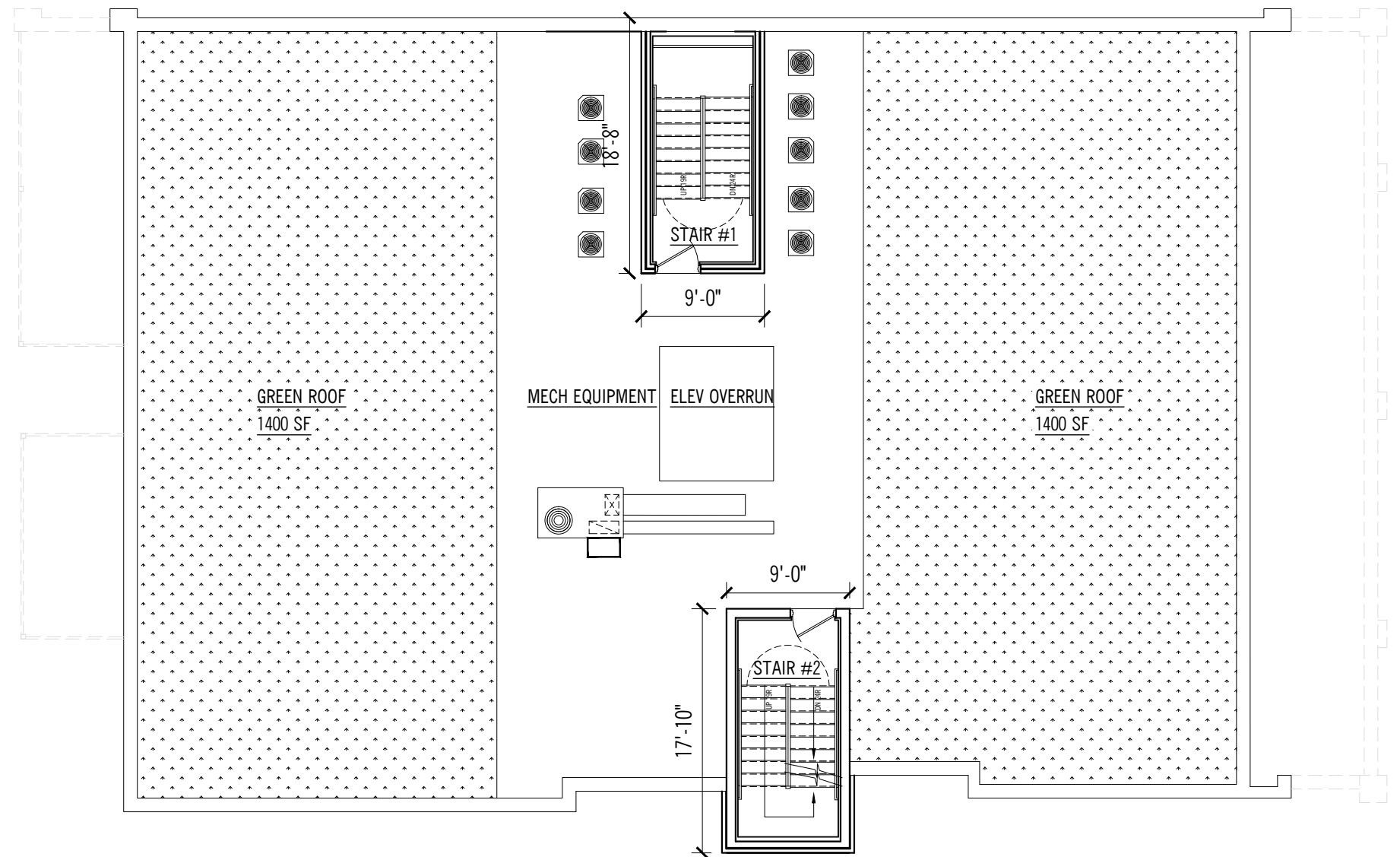
SUBMITTAL DATES	
PRELIMINARY	12-20-2021
REVIEW SUBMITTAL	01-10-2022
ROOF REVISION 2	01-21-2022
GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER: HIBERNIAN DEVELOPMENT
PREMISES: 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION FIVE STORY 15 UNIT BUILDING W/ GROUND FLOOR COMMERCIAL
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SHEET DESCRIPTION 5TH FLOOR PLAN

SHEET NUMBER 05



ROOF PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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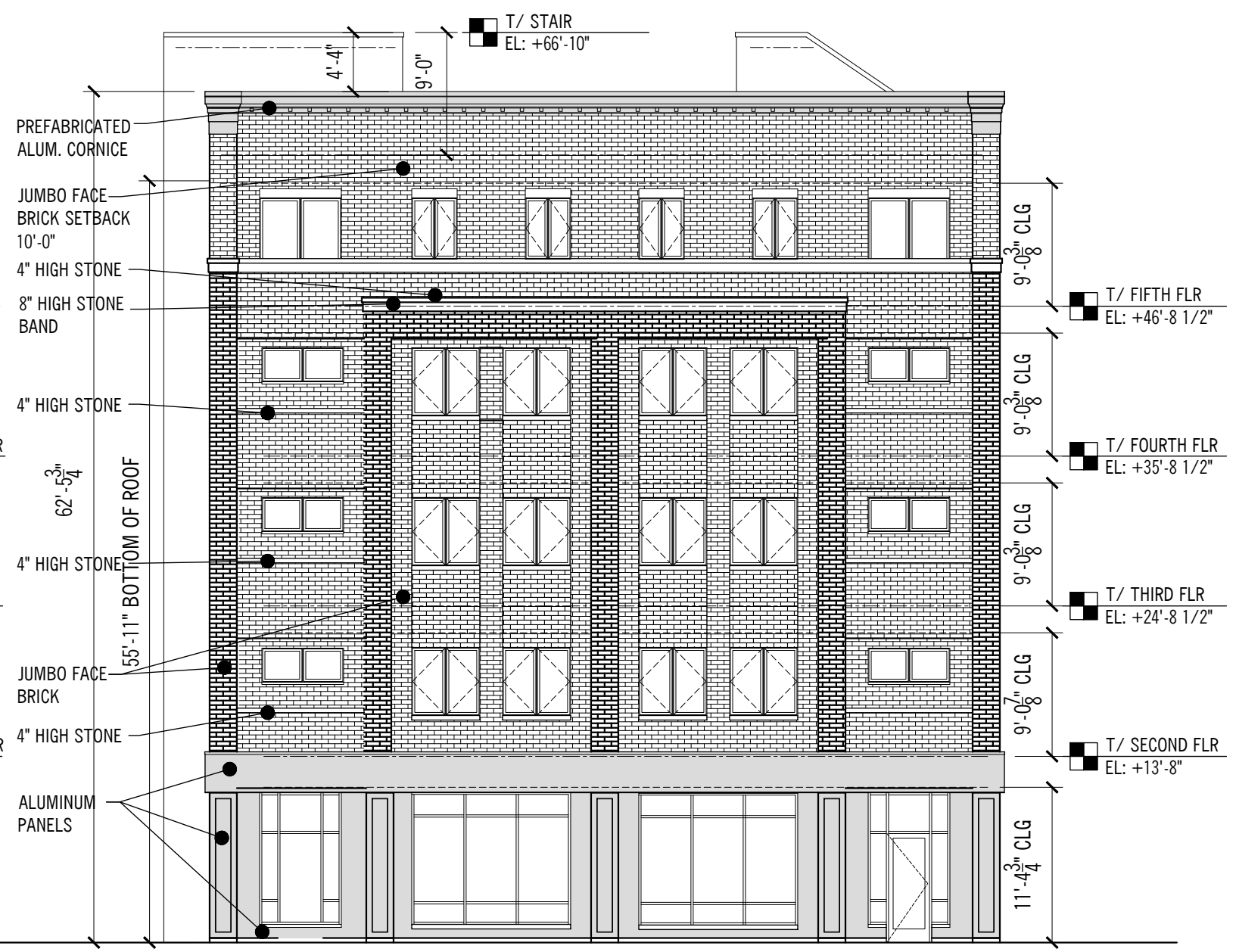
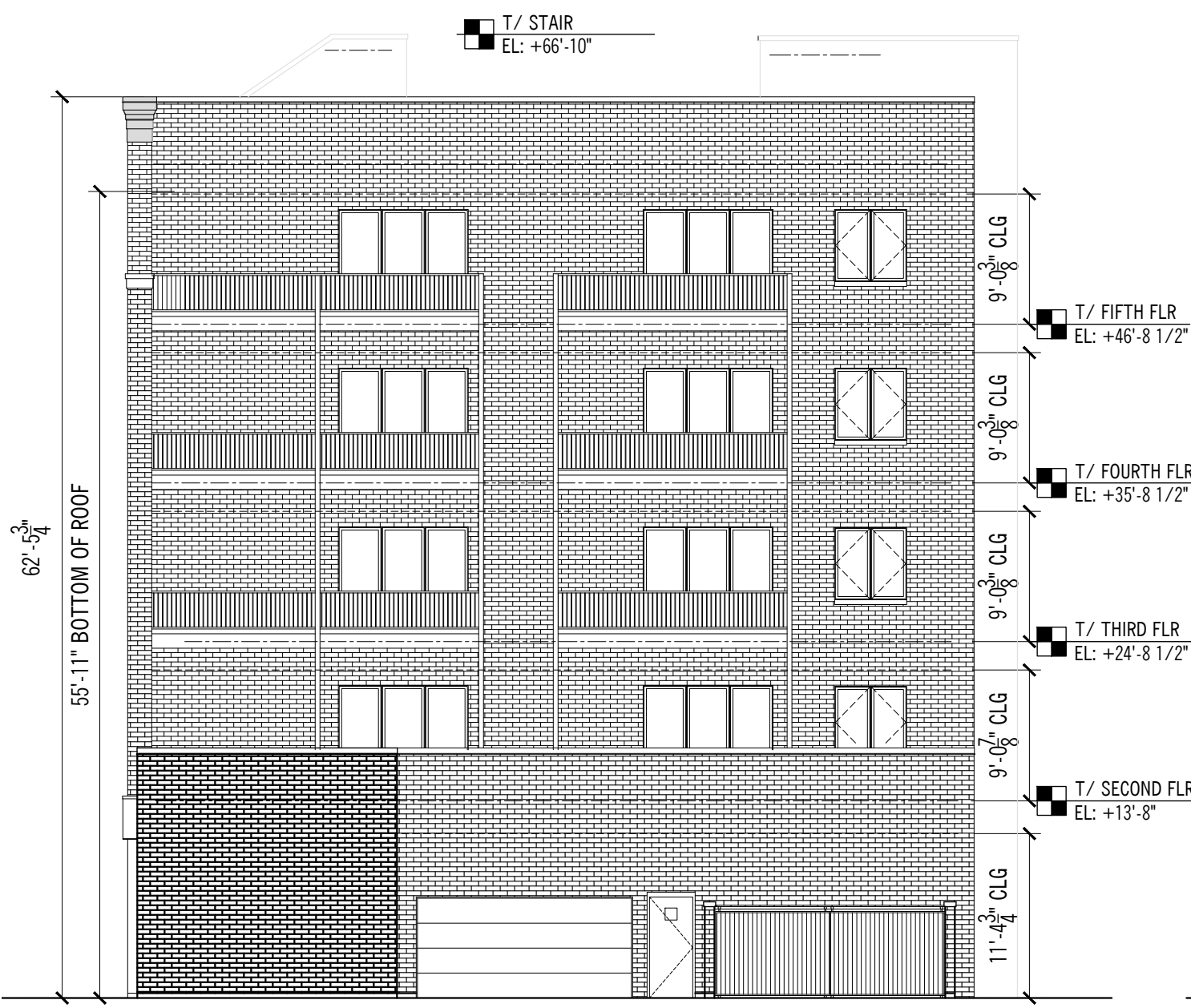
SUBMITTAL DATES	
PRELIMINARY	12-20-2021
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ROOF REVISION 2	01-21-2022
GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER: HIBERNIAN DEVELOPMENT
PREMISES: 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION FIVE STORY 15 UNIT BUILDING W/ GROUND FLOOR COMMERCIAL
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SHEET DESCRIPTION ROOF PLAN

SHEET NUMBER 06



SOUTH ELEVATION



NORTH ELEVATION



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REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 NORTH & SOUTH
 ELEVATIONS

SHEET NUMBER
07



WEST ELEVATION



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GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

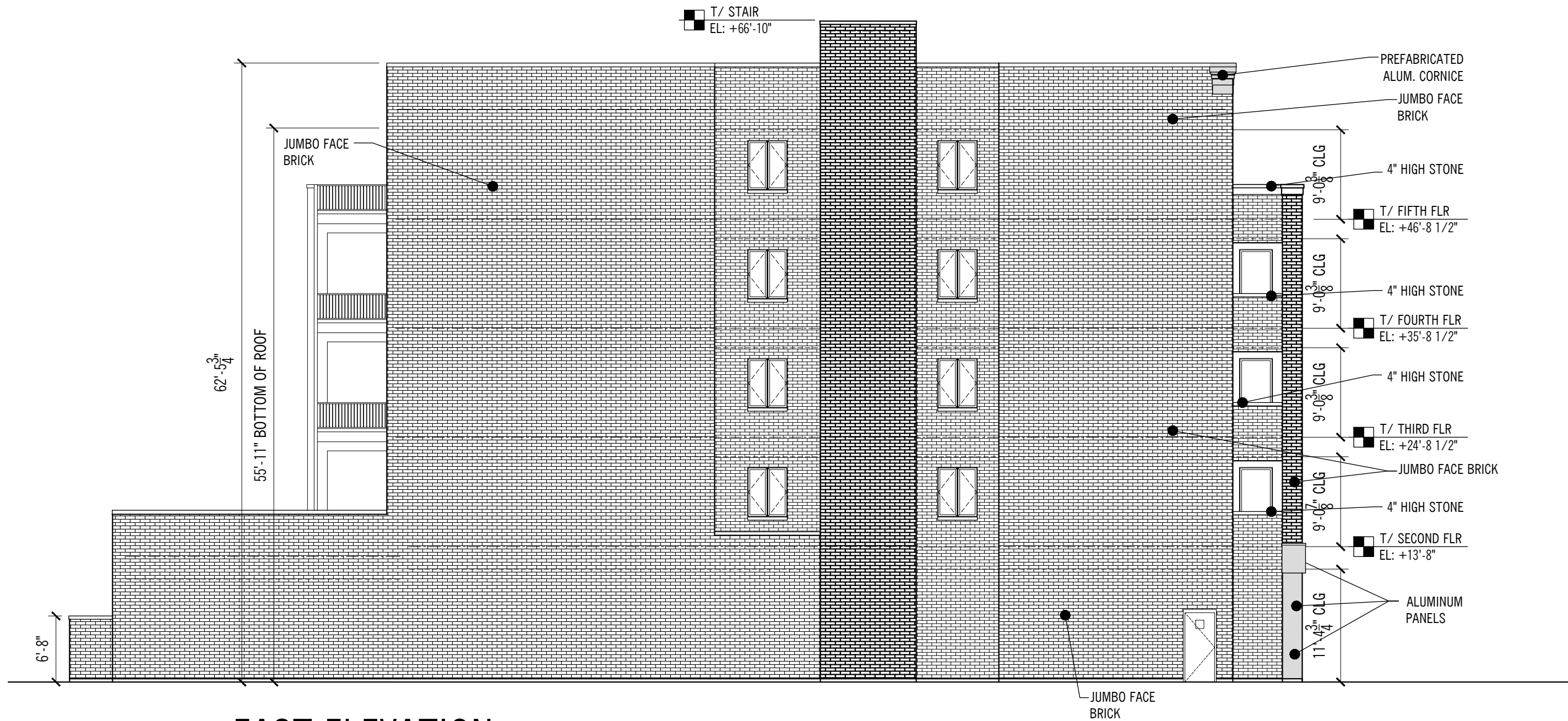
FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

WEST
 ELEVATION

SHEET NUMBER

08



EAST ELEVATION



2453 S. ARCHER AVE
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REVIEW SUBMITTAL	01-10-2022
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GGNA	02-01-2022
REVISION 3 GGNA COMMENTS	03-31-2022
	06-02-2022

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

EAST
 ELEVATION

SHEET NUMBER

09