

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____ Date: _____
Project Address: _____ Proposed Zoning: _____
Developer/Owner: _____ Current Zoning: _____
Architect: _____ Zoning of Adjacent Area: _____
Contact Phone Number _____ Email _____

Proposed Variences

Dwelling Units: _____ Type: _____
Lot Dimensions: _____ ft. x _____ ft. Lot Area: _____ s.f.

Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH SETBACK OFF FULLERTON 47'-8" AND 26'-6" OFF WASHTENAW

A PDF file of the Project Data Sheet & requested architectural materials (listed below) for each project should be e-mailed to Community Chair ggnazapc@gmail.com at least one week before the meeting date.

Nine (9) copies of the Project Data Sheet & requested architectural materials (listed below) should be brought to the meeting for the ZAPC members.

a.) Small scale context footprint. This should show how the project will fit in with the surrounding properties 100 ft. on each side. Pictures of the site and adjacent properties are helpful.

b.) A Site plan with setbacks (especially showing setbacks to adjacent neighboring properties), landscaping, fences, garages, parking, curb cuts and sidewalks

c.) Zoning Data as shown on the Project Data Sheet

d.) Measured site plan with the following:

New building(s) to be shaded gray

Landscaped areas to be shaded light green. Show proposed and existing trees and shrubbery on property and parkway.

Streets and alleys to be labeled.

Building(s) and setbacks to be clearly dimensioned.

Show outline of existing building(s) to remain on property and building(s) on properties adjacent to project. If not practical, a partial outline is acceptable for adjacent properties.

Clearly show dimensioned parking spaces, bike storage, trash containers/enclosures and fences.

e.) Floor plans with the following:

Provide floor plans of each floor with overall dimensions.

Label and dimension all rooms.

For floors with identical layouts, just provide one plan and note the floors in drawing label.

Label square footage of each unit and each floor.

f.) Exterior elevations with the following:

Provide exterior elevations showing doors, windows, railings and other architectural elements.

Dimension all elevations with overall heights, floor to floor heights and floor to ceiling heights.

Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.

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Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH SETBACK OFF FULLERTON 47'-8" AND 25'-6" OFF WASHTENAW

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Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.



CONTEXT PLAN



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL 60608
 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES

GGNA

03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION

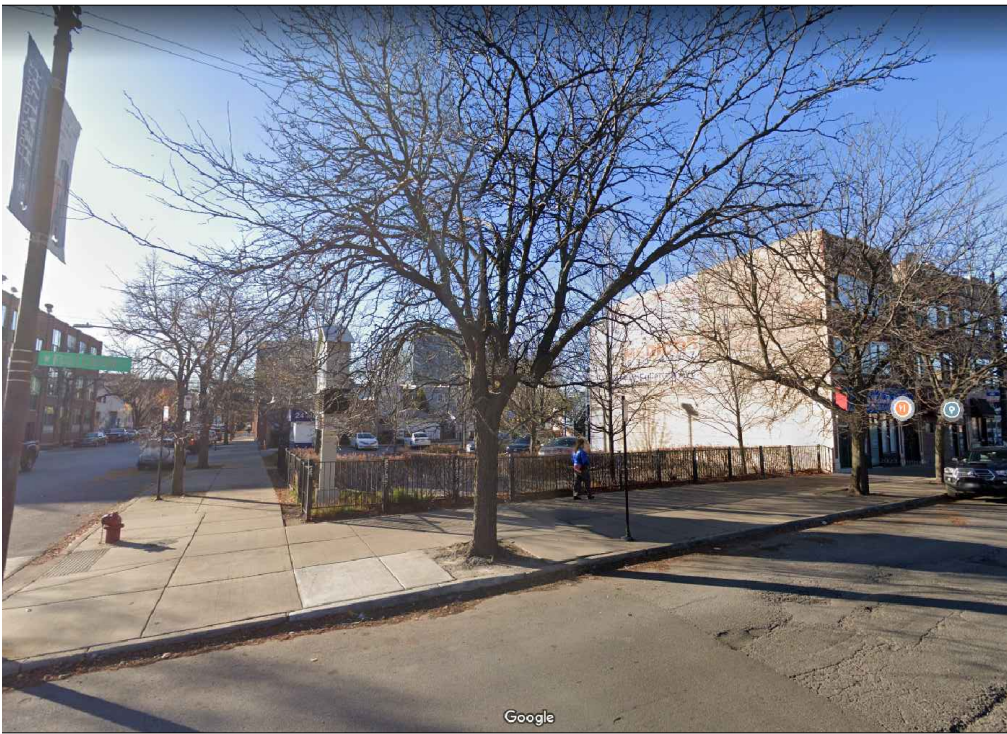
2354 NORTH WASHTENAW AVE.
 2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION

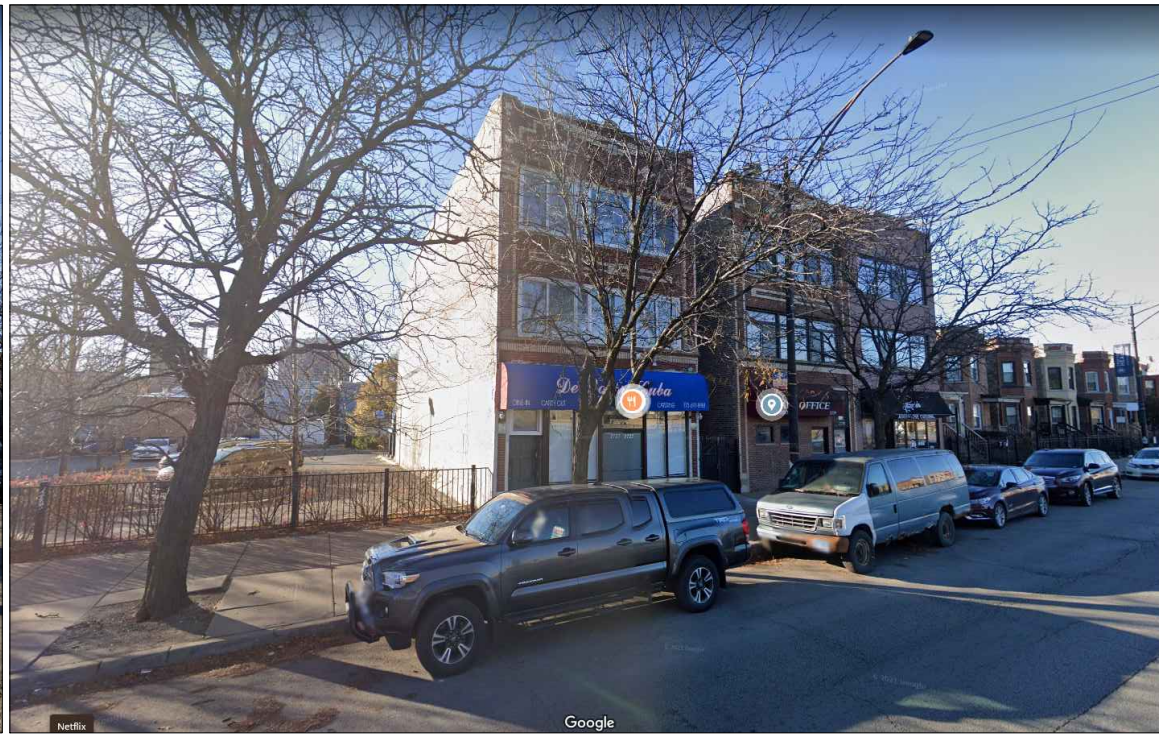
CONTEXT PLAN

SHEET NUMBER

A0.1



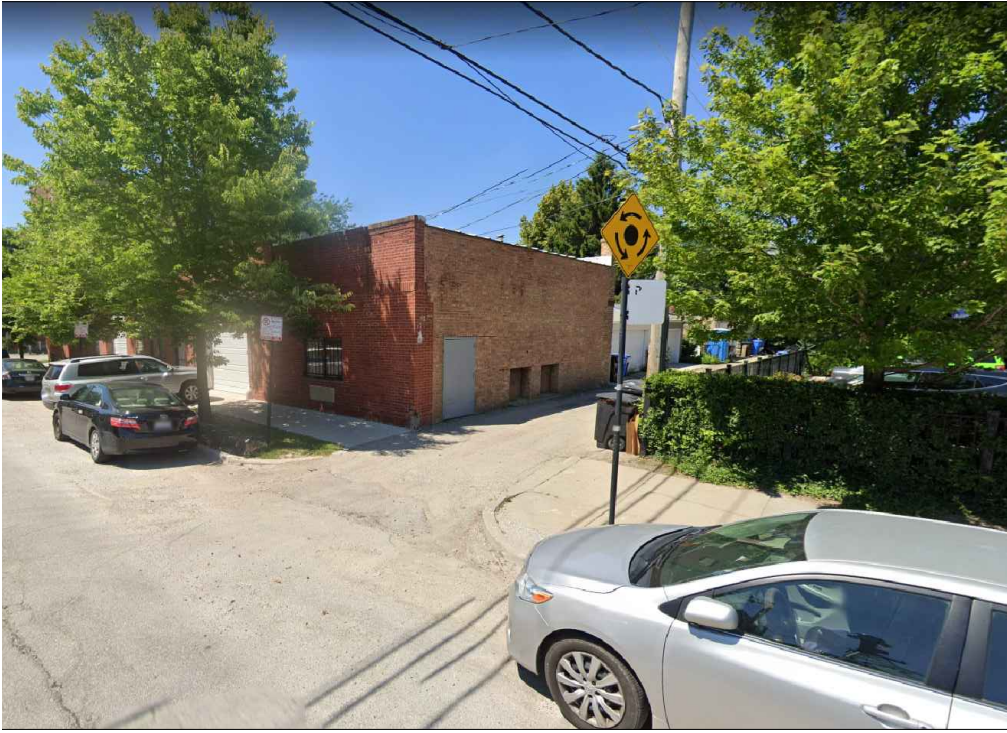
A SITE PHOTO



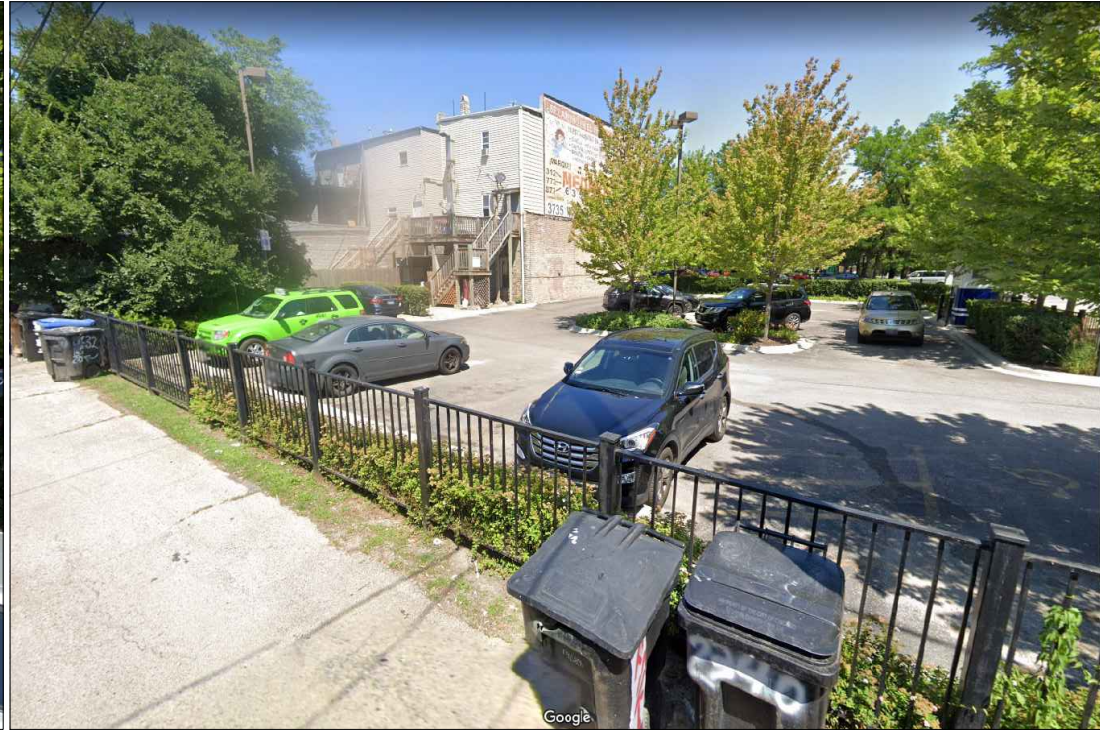
B SITE PHOTO



C SITE PHOTO



D SITE PHOTO



E SITE PHOTO



F SITE PHOTO



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL 60608
 p. 312.842.2225
 f. 312.842.2253

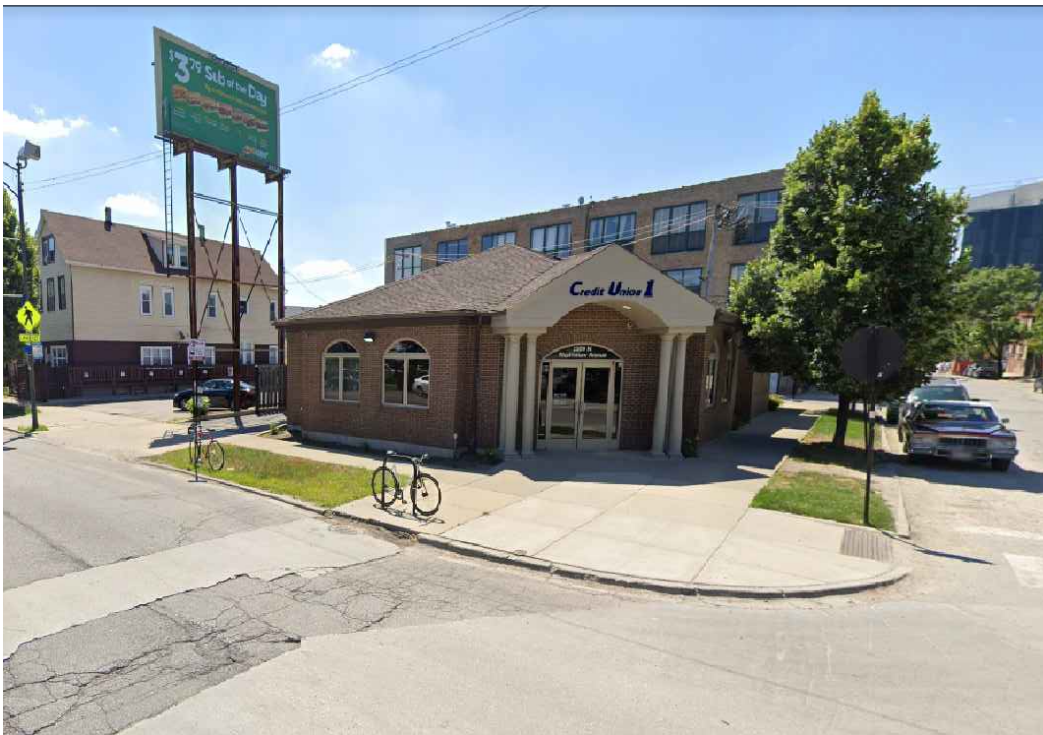
SUBMITTAL DATES
 GGNA 03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION
 2354 NORTH WASHTENAW AVE.
 2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION
 SITE PHOTOS
 2354 N. WASHTENAW

SHEET NUMBER
A0.3



A SITE PHOTO



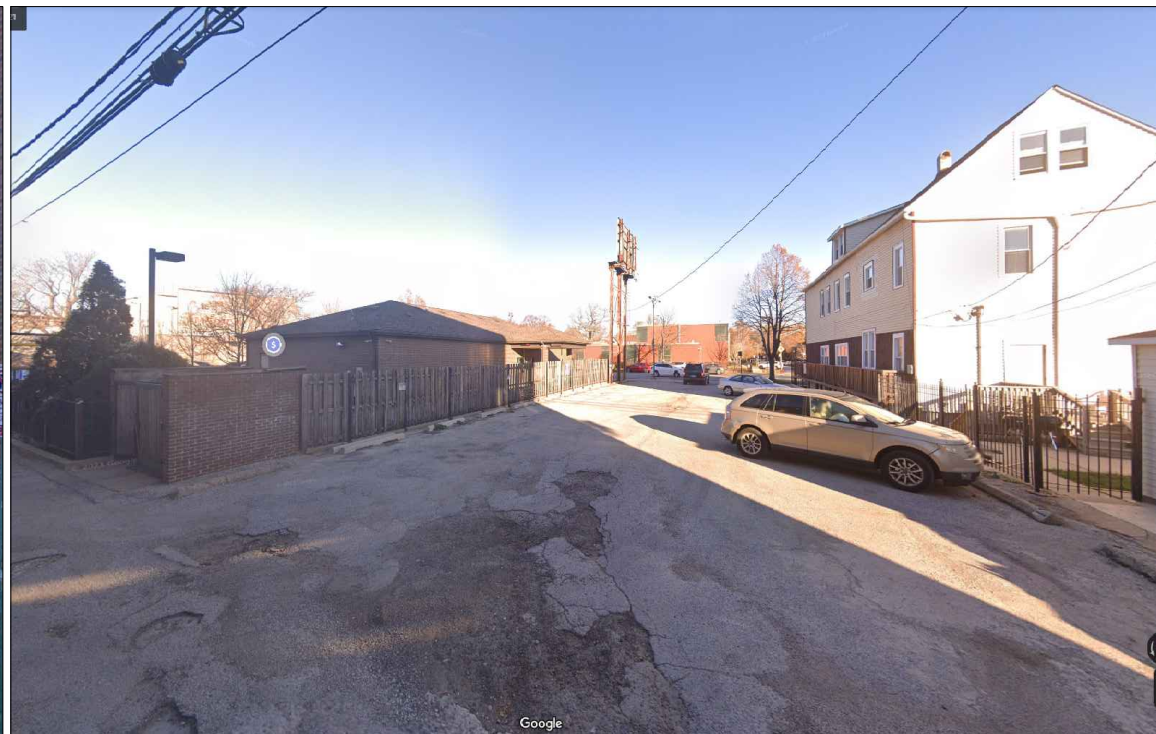
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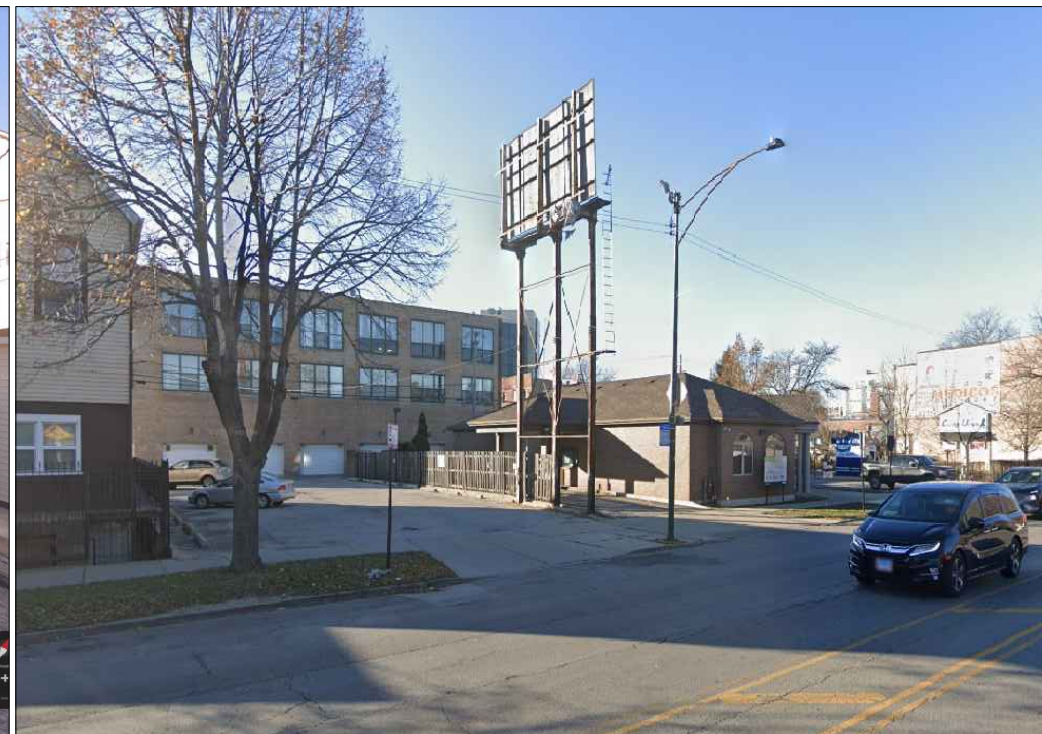
C SITE PHOTO



D SITE PHOTO



E SITE PHOTO



F SITE PHOTO



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES

GGNA

03-31-2022

DEVELOPER:
HIBERNIAN DEVELOPEMNT

PROJECT DESCRIPTION

2354 NORTH WASHTENAW AVE.
2355 NORTH WASHTENAW AVE.

SHEET DESCRIPTION

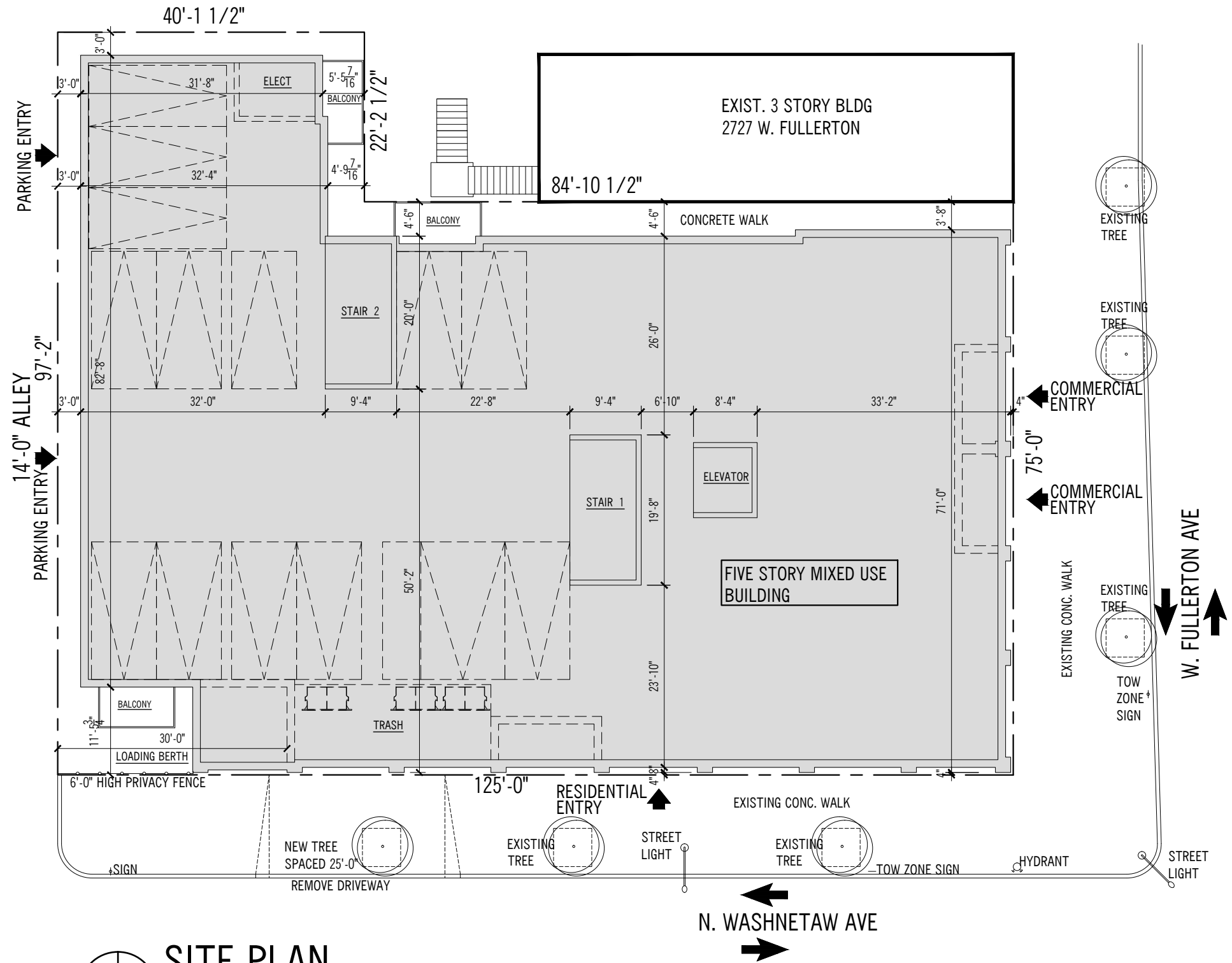
SITE PHOTOS
2355 N. WASHTENAW

SHEET NUMBER

A0.4

ZONING DATA		
2354 N. WASHTENAW SITE AREA: 10,264.00	REQUIRED PROPOSED ZONING B2-5 Max FAR: 5.0 MAX AREA: 51,320.00 SF	PROPOSED PROPOSED ZONING B2-5 ACTUAL FAR: 3.85 ACTUAL AREA: 39,481.00 SF
MAX HEIGHT	70'-0"	55'-11" AT MAIN BLDG
MIN. COMMERCIAL	20% LA (2,053.00 SF)	2,306.00 SF
MLA	200/STD UNIT	366/UNIT (28 UNITS)
FRONT YARD	0'-0"	0'-4"
WEST SIDE YARD	0'-0"	3'-0" MIN.
EAST SIDE YARD	0'-0" AT BLDG	0'-4"
REAR YARD	30'-0" AT RES./0'-0" AT COMM.	3'-0" BY VARIANCE
VEHICLE PARKING	.5 PER UNIT (TSL) 12 REQ'D	14 SPACES
BIKE PARKING	1 PER 2 AUTO (7.5 REQ'D) & 1 PER AUTO ELIMINATED (14)	26 BIKES SPACES
LOADING BERTH	1 REQ > 25,000 SF- RES.	(1) 10'-0" x 25'-0"

BUILDING DATA													
FLOOR	USE	ELEV. ABOVE GRADE	FLOOR HEIGHT	# OF UNITS	AREA				# OF CARS	# OF BIKES	2 BED / 2 BATH	1 BED / 1 BATH	
					GROSS SF	NET ZONING	NET UNIT	COMMON/AMENITY EFF.					
ROOF	ROOF	58'-0"	6'-8" ROOF ACCESS	0	340	0	0	0	0	0	0	0	
5	RES.	46'-8 1/2"	9'-0 3/8"	7	8,714	8,714	7,828	886	89.83%	0	0	6	
4	RES.	35'-8 1/2"	9'-0 3/8"	7	8,714	8,714	7,828	886	89.83%	0	0	6	
3	RES.	24'-8 1/2"	9'-0 3/8"	7	8,714	8,714	7,828	886	89.83%	0	0	6	
2	RES.	13'-8"	9'-0 7/8"	7	8,714	8,714	7,828	886	89.83%	0	0	6	
1	COM./PKG	0'-0"	11'-4"	0	8,765	4,625	2,306	2,319	26.31%	14	26	0	
TOTAL				28	43,961	39,481	33,618	5,863		14	26	24	



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES	
PRELIMINARY	11-19-2021
REVISION	12-08-2021
REVISION	12-15-2021
REVIEW SUBMITTAL	01-11-2022
ROOF REVISION	01-21-2022
ROOF REVISION 2	02-01-2022
BUILDING REVISED	02-14-2022
GGNA	03-31-2022

DEVELOPER:
HIBERNIAN DEVELOPEMNT

PREMISES:
2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 28 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
ZONING DATA/
SITE PLAN

SHEET NUMBER
01



GROUND FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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BUILDING REVISED	02-14-2022
GGNA	03-31-2022

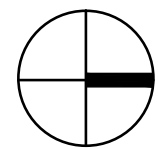
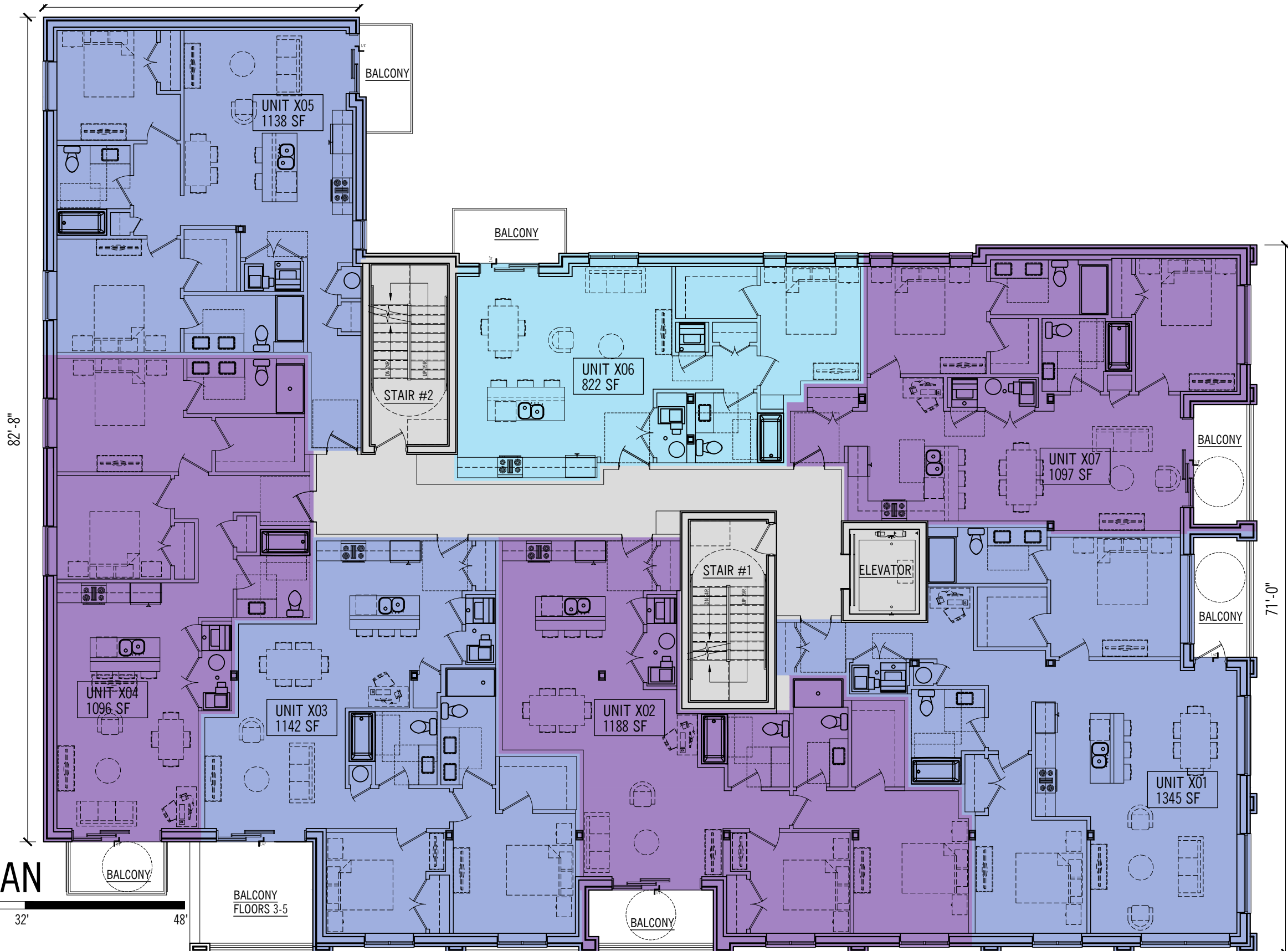
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 28 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 GROUND FLOOR PLAN

SHEET NUMBER
 02



2ND-5TH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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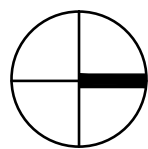
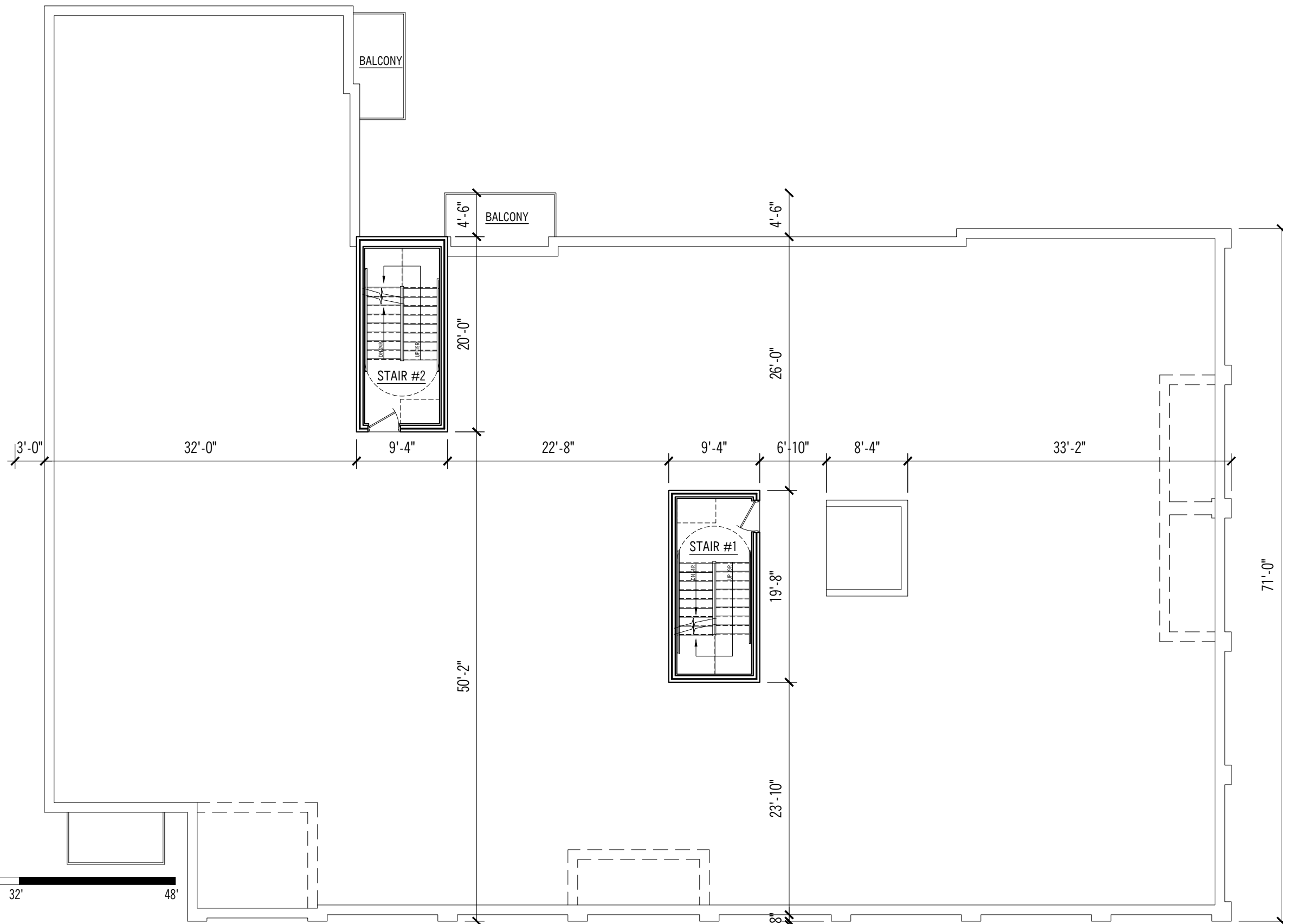
SUBMITTAL DATES	
PRELIMINARY	11-19-2021
REVISION	12-08-2021
REVISION	12-15-2021
REVIEW SUBMITTAL	01-11-2022
ROOF REVISION	01-21-2022
ROOF REVISION 2	02-01-2022
BUILDING REVISED	02-14-2022
GGNA	03-31-2022

DEVELOPER: HIBERNIAN DEVELOPEMNT
PREMISES: 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION FIVE STORY 28 UNIT BUILDING W/ GROUND FLOOR COMMERCIAL
--

SHEET DESCRIPTION SECOND TO THIRD FLOOR PLAN
--

SHEET NUMBER 03



ROOF PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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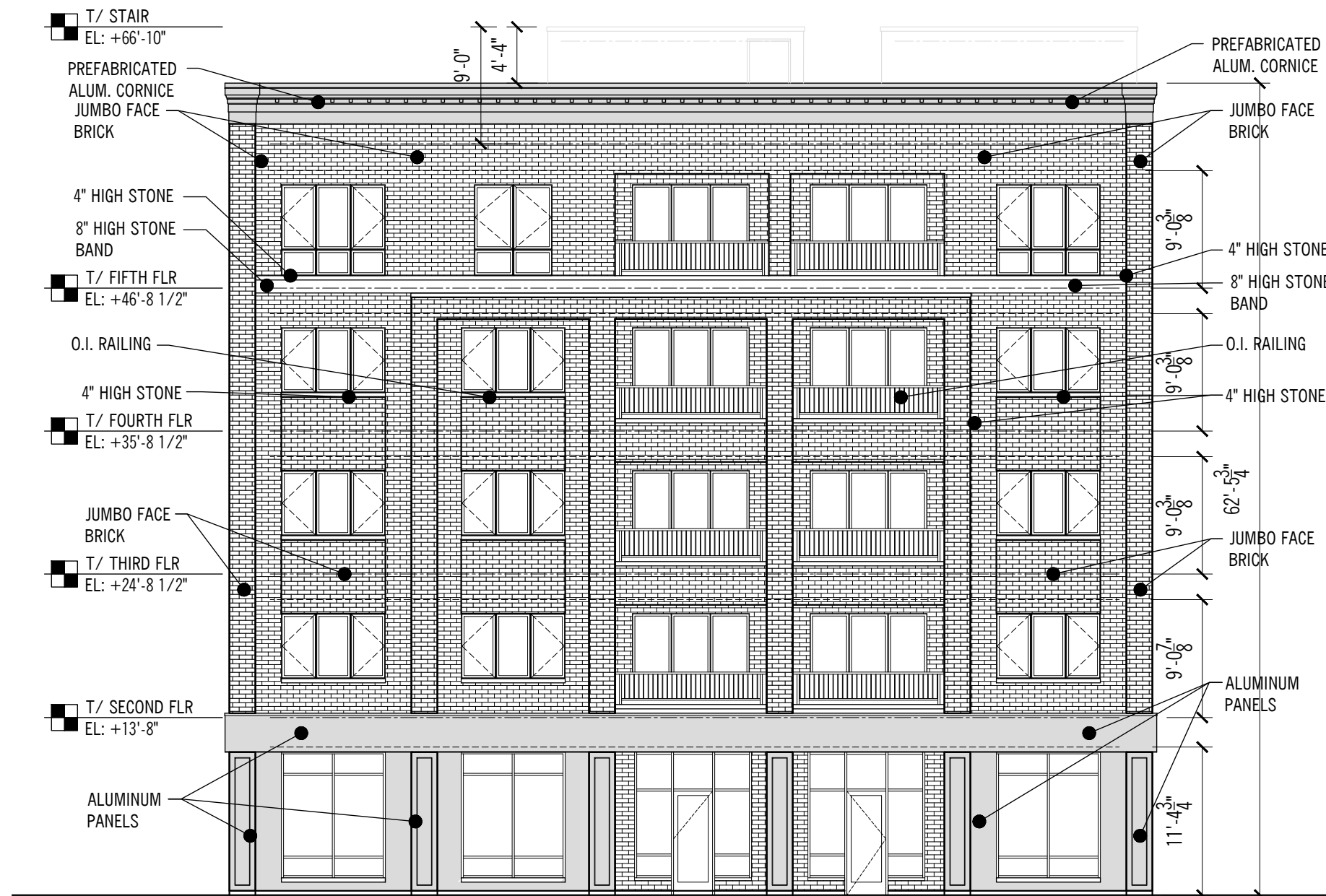
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BUILDING REVISED	02-14-2022
GGNA	03-31-2022

DEVELOPER: HIBERNIAN DEVELOPEMNT
PREMISES: 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION FIVE STORY 28 UNIT BUILDING W/ GROUND FLOOR COMMERCIAL
--

SHEET DESCRIPTION ROOF PLAN

SHEET NUMBER 04



NORTH ELEVATION

 3/32" = 1'-0"



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BUILDING REVISED	02-14-2022
GGNA	03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

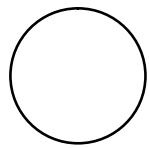
PROJECT DESCRIPTION
 FIVE STORY 28 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 NORTH ELEVATION

SHEET NUMBER
05



EAST ELEVATION



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BUILDING REVISED	02-14-2022
GGNA	03-31-2022

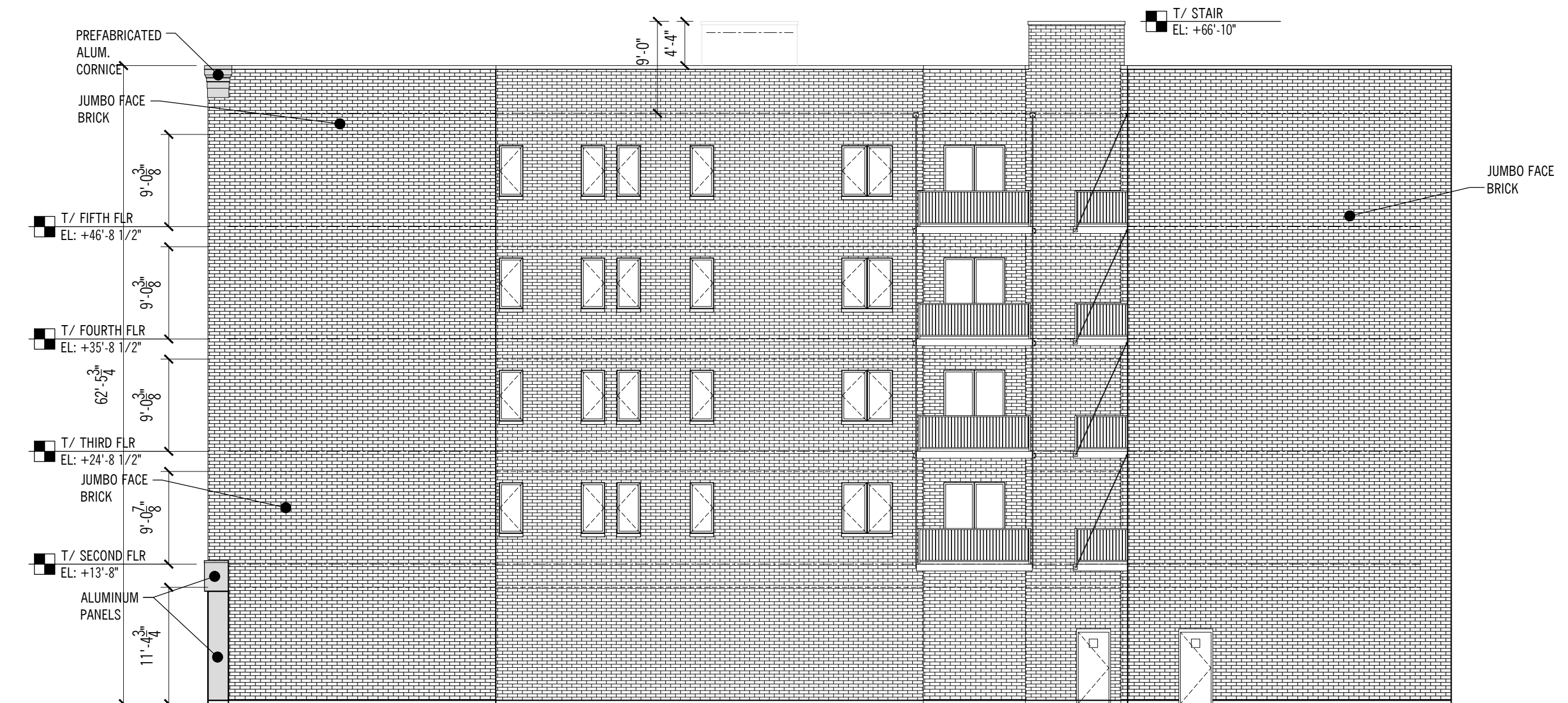
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 28 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 EAST ELEVATION

SHEET NUMBER
 06




WEST ELEVATION
 0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



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BUILDING REVISED	02-14-2022
GGNA	03-31-2022

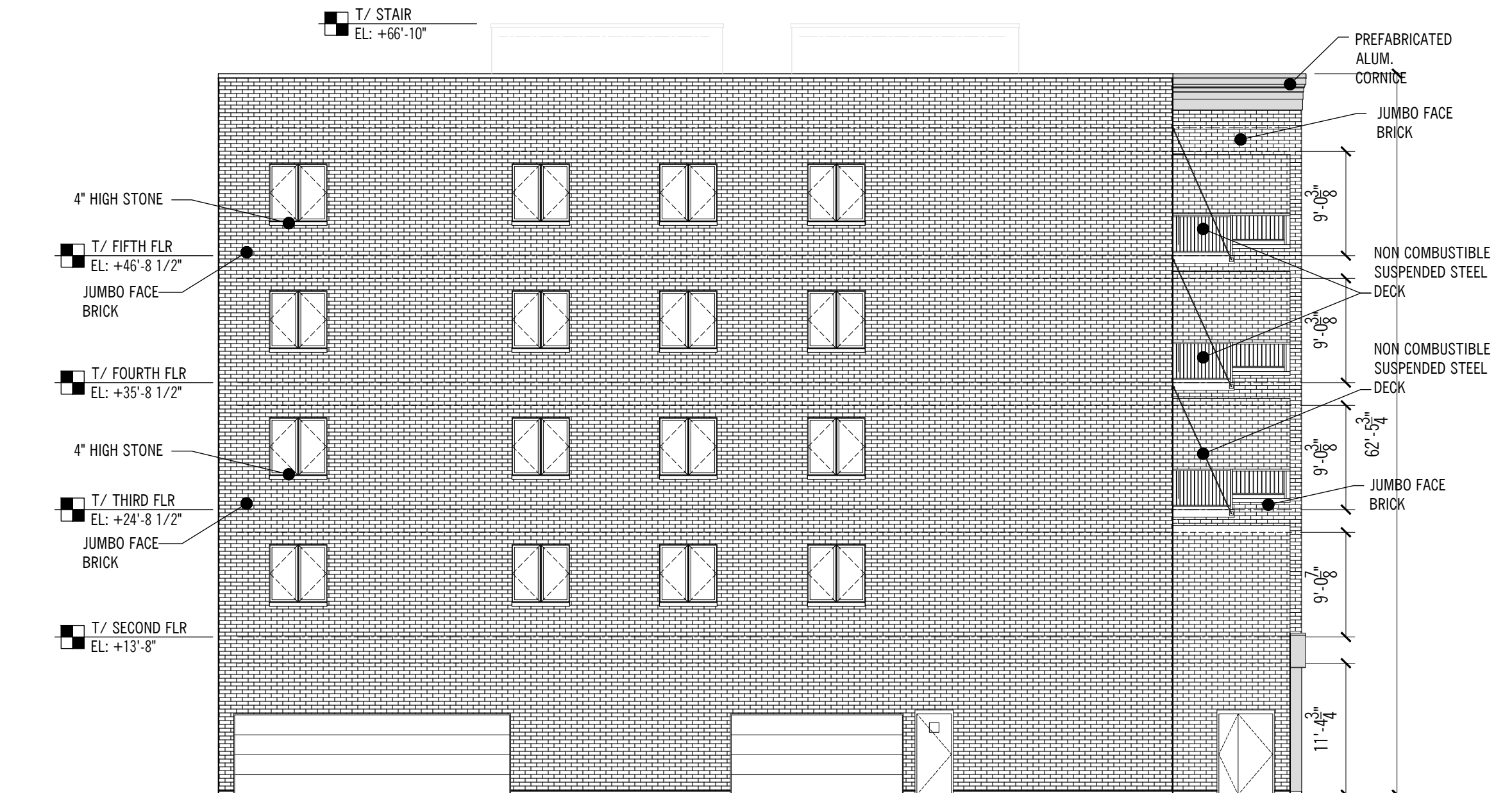
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 28 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 WEST ELEVATION

SHEET NUMBER
07



○
SOUTH ELEVATION

3/32" = 1'-0"



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DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 28 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

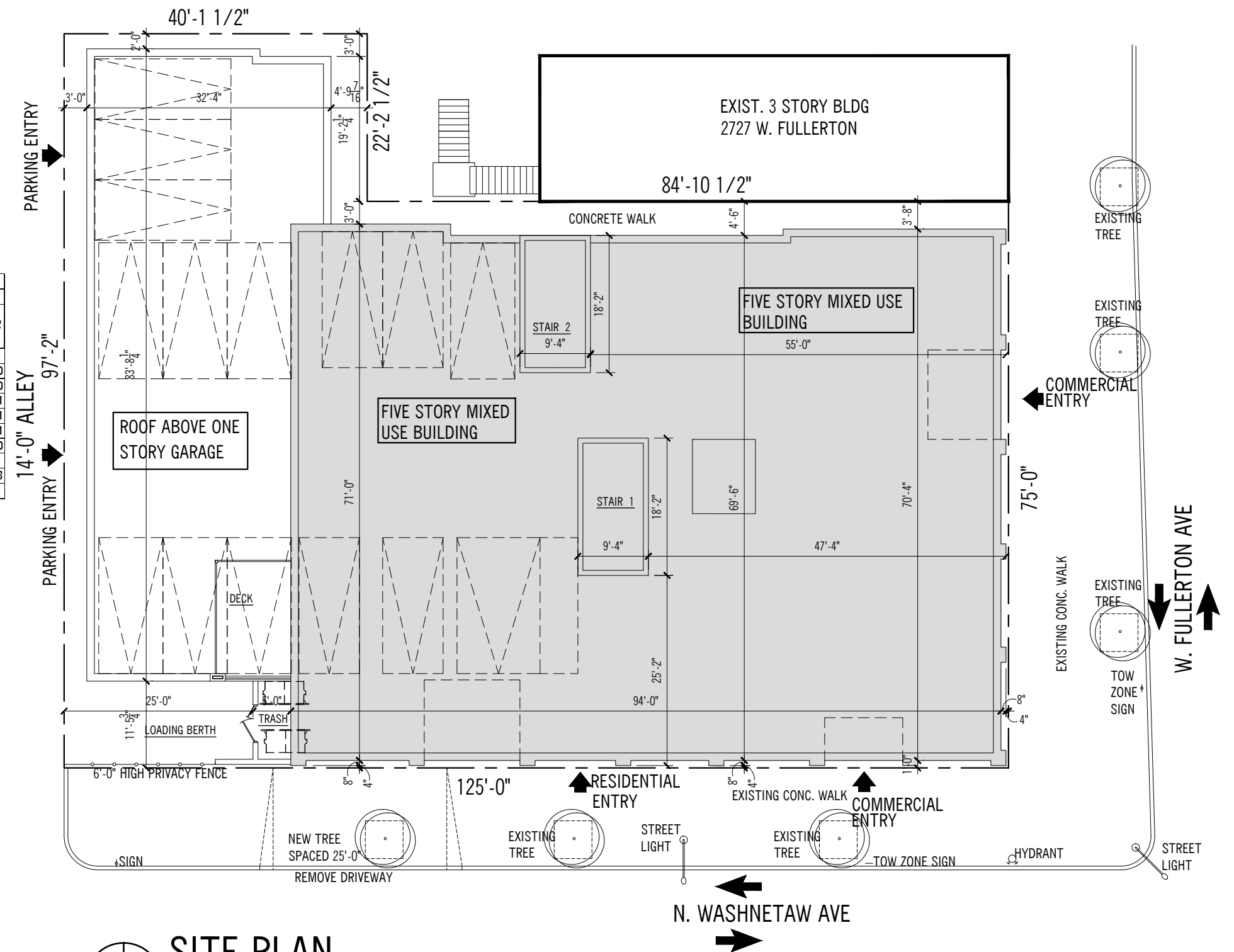
SHEET DESCRIPTION
 SOUTH ELEVATION

SHEET NUMBER
08

ZONING DATA		
2354 N. WASHNETAW SITE AREA: 10,264.00	REQUIRED PROPOSED ZONING B2-3 Max FAR: 3.0 MAX AREA: 30,792.00 SF	PROPOSED PROPOSED ZONING B2-3 ACTUAL FAR: 2.965 ACTUAL AREA: 30,440.00 SF

MAX HEIGHT	65'-0"	55'-11" AT MAIN BLDG
MIN. COMMERCIAL	20% LA (2,053.00 SF)	2,770.00 SF
MLA	400/ STD UNIT	684.2/UNIT (15 UNITS)
FRONT YARD	0'-0"	0'-4"
WEST SIDE YARD	0'-0"	2'-0" AT GARAGE, 3'-0" / 4'-6" AT MAIN BLDG
EAST SIDE YARD	0'-0" AT BLDG	0'-4"
REAR YARD	30'-0" AT RES. / 0'-0" AT COMM.	3'-0" GRND FLR, 30'-0" AT FLOOR 2-5
VEHICLE PARKING	.5 PER UNIT (TSL) 8 REQ'D	15 SPACES
BIKE PARKING	1 PER 2 AUTO (8 REQ'D)	8 BIKES SPACES
LOADING BERTH	1 REQ. > 25,000 SF- RES.	(1) 10'-0" x 25'-0"

BUILDING DATA															
FLOOR	USE	ELEV. ABOVE GRADE	FLOOR HEIGHT	# OF UNITS	AREA					# OF CARS	# OF BIKES	3 BED / 3 BATH	3 BED / 2 BATH	2 BED / 2 BATH	
					GROSS SF	NET ZONING	NET UNIT	COMMON/ AMENITY	EFF.						
ROOF	ROOF	58'-0"	6'-8" ROOF ACCESS	0	340	0	0	0	0	0	0	0	0	0	
5	RES.	46'-8 1/2"	9'-0 3/8"	3	6,340	6,340	5,650	690	89.12%	0	0	3	0	0	
4	RES.	35'-8 1/2"	9'-0 3/8"	4	6,470	6,470	4,340	2,130	67.08%	0	0	0	3	1	
3	RES.	24'-8 1/2"	9'-0 3/8"	4	6,470	6,470	4,340	2,130	67.08%	0	0	0	3	1	
2	RES.	13'-8"	9'-0 7/8"	4	6,470	6,470	4,340	2,130	67.08%	0	0	0	3	1	
1	COM./PKG	0'-0"	11'-4"	0	8,891	4,690	3,068	1,622	34.51%	15	8	3	9	3	
TOTAL					15	34,981	30,440	21,738	8,702		15	8	3	9	3



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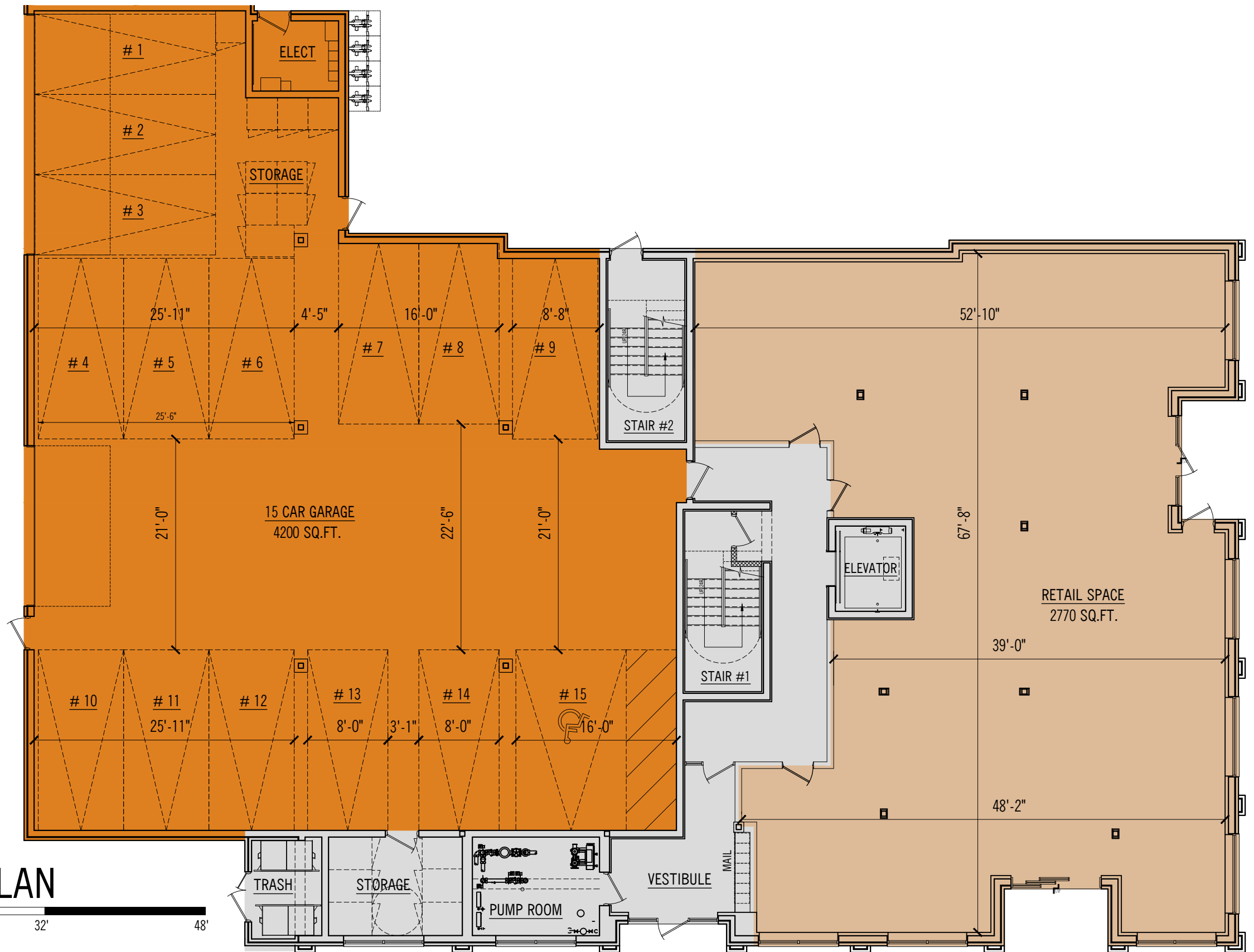
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHNETAW AVE. CHICAGO, IL.

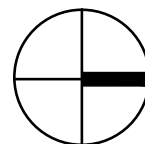
PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 ZONING DATA/
 SITE PLAN

SHEET NUMBER
01



GROUND FLOOR PLAN



0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



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SUBMITTAL DATES

PRELIMINARY	11-19-2021
REVISION	12-08-2021
REVISION	12-15-2021
REVIEW SUBMITTAL	01-11-2022
ROOF REVISION	01-21-2022
ROOF REVISION 2	02-01-2022
GGNA	03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

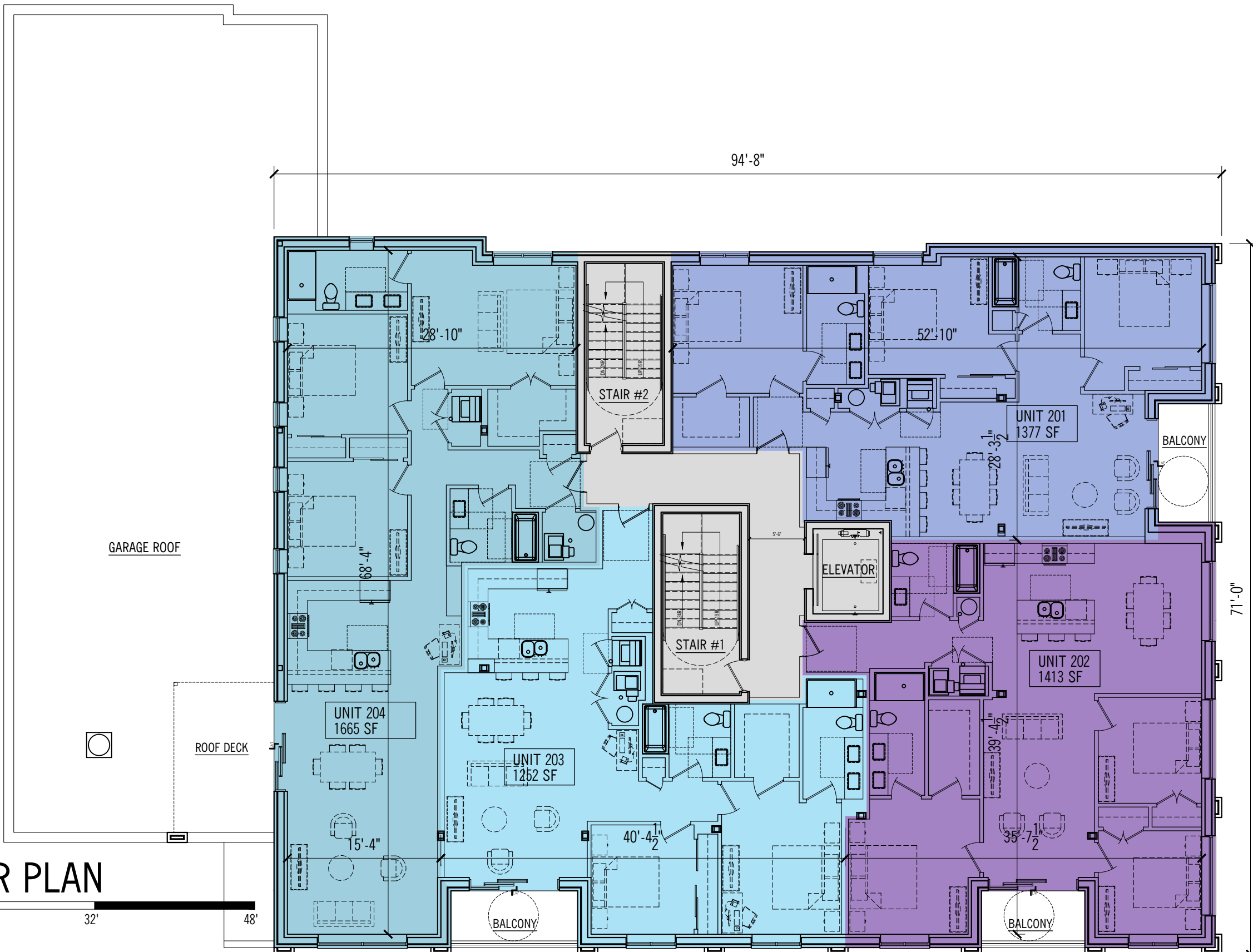
PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

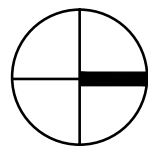
SHEET DESCRIPTION
 GROUND FLOOR PLAN

SHEET NUMBER

02



SECOND FLOOR PLAN



2453 S. ARCHER AVE
 UNIT C
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 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES	
PRELIMINARY	11-19-2021
REVISION	12-08-2021
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REVIEW SUBMITTAL	01-11-2022
ROOF REVISION	01-21-2022
ROOF REVISION 2	02-01-2022
GGNA	03-31-2022

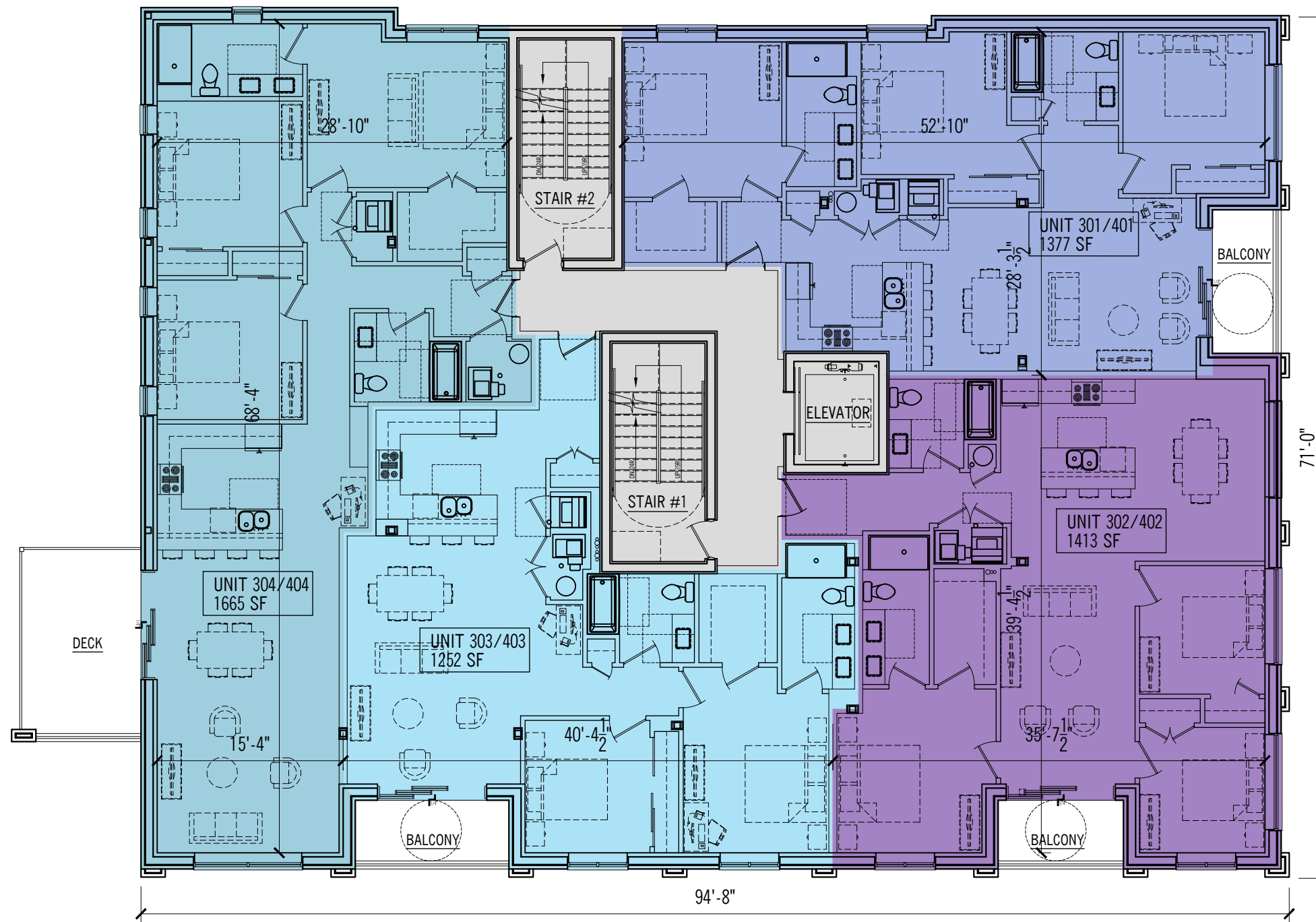
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 SECOND FLOOR PLAN

SHEET NUMBER
03



THIRD-FOURTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	03-31-2022

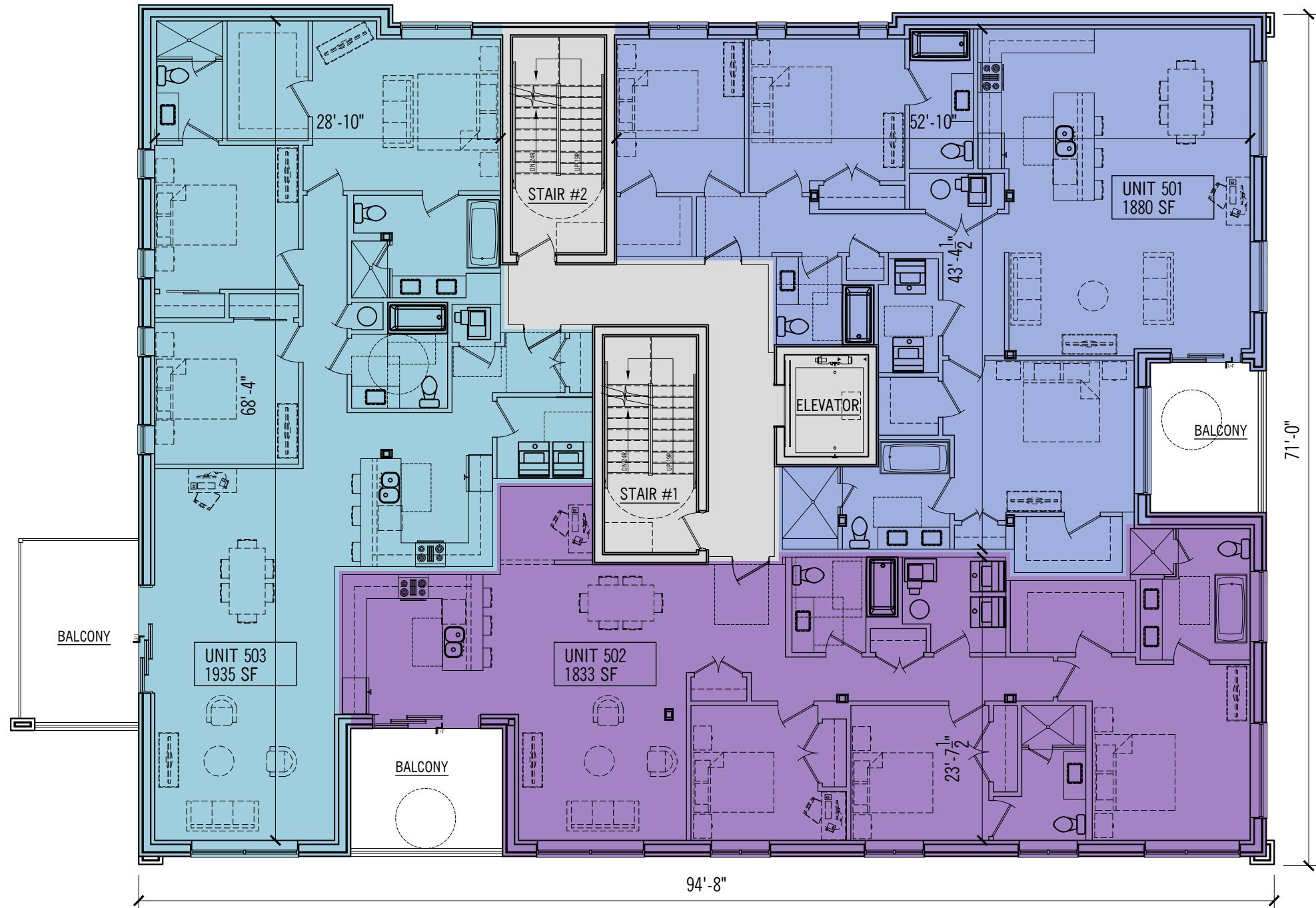
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 THIRD & FOURTH
 FLOOR PLAN

SHEET NUMBER
04



FIFTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

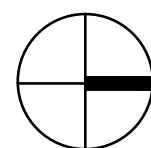
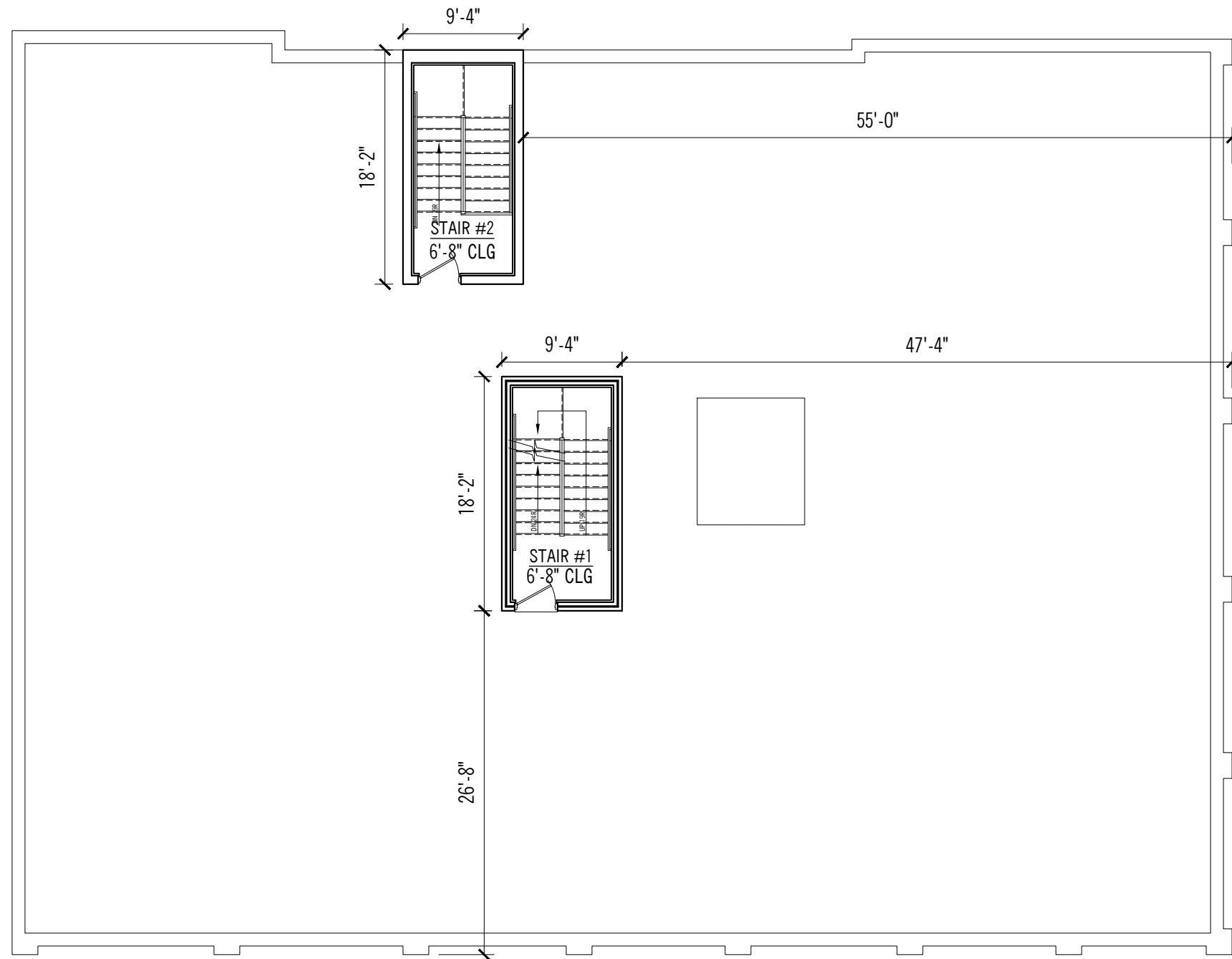
FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

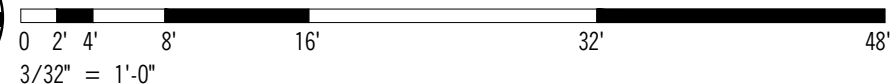
FIFTH FLOOR PLAN

SHEET NUMBER

05



ROOF PLAN



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GGNA	03-31-2022

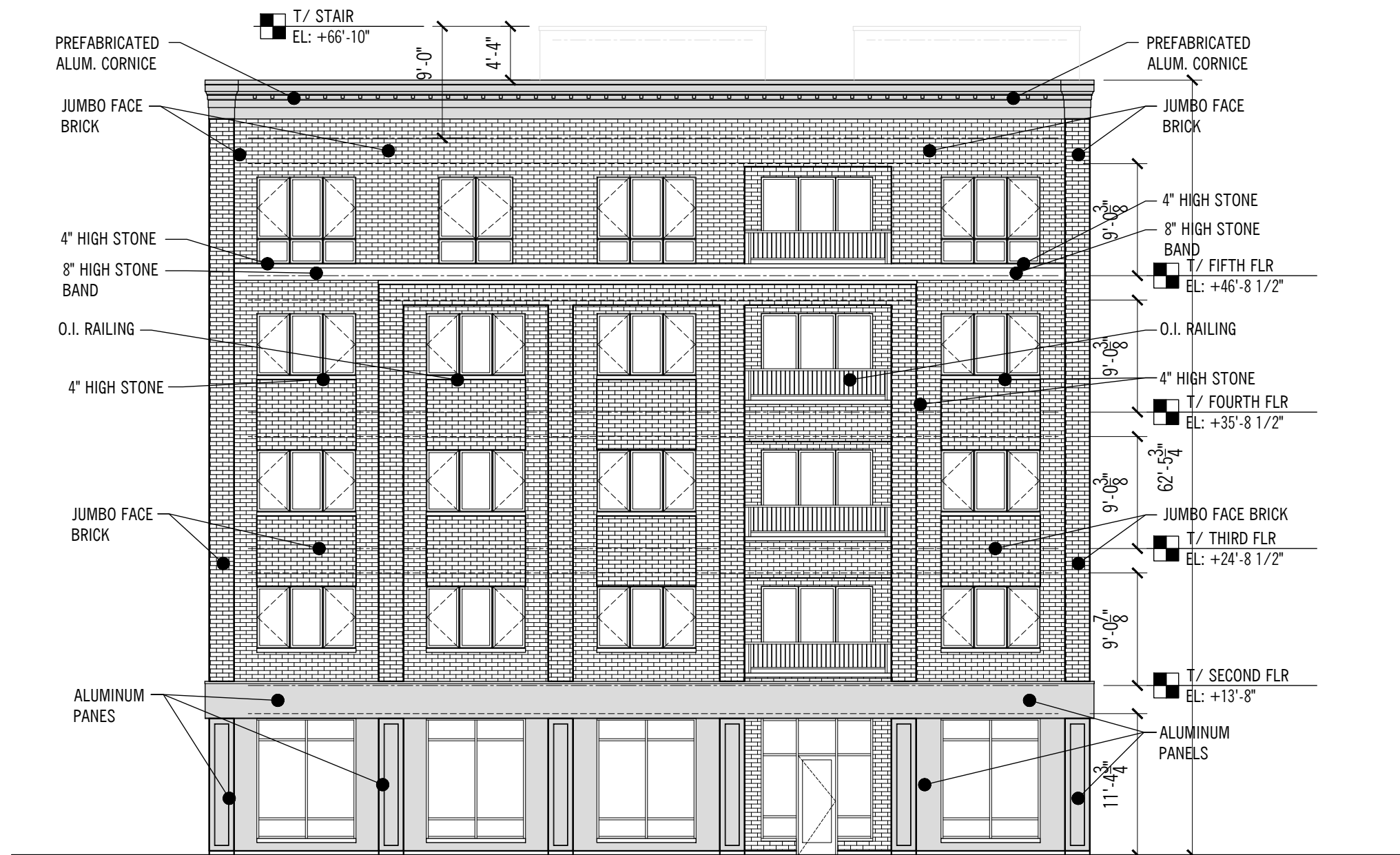
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 ROOF PLAN

SHEET NUMBER
 06



NORTH ELEVATION
 0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



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GGNA	03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 NORTH ELEVATION

SHEET NUMBER
07



EAST ELEVATION

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	03-31-2022

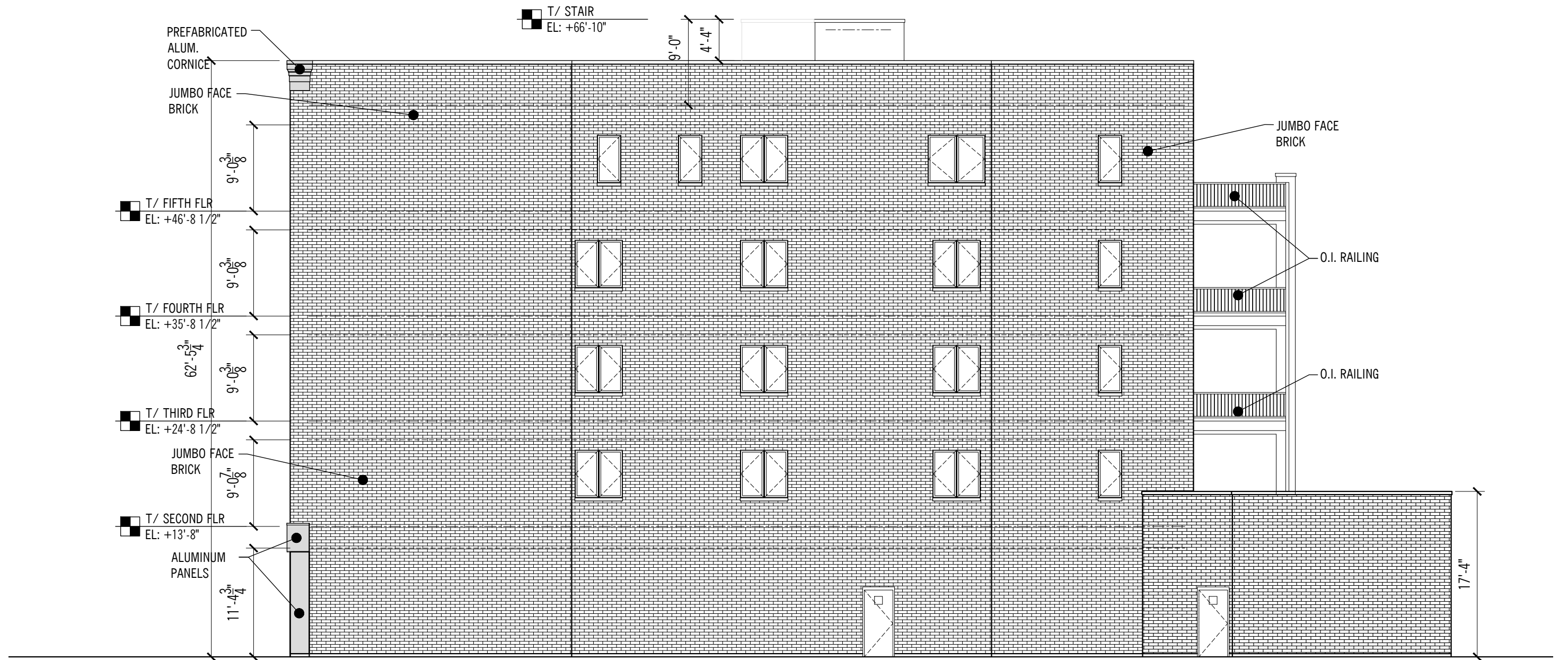
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 EAST ELEVATION

SHEET NUMBER
 08



WEST ELEVATION
0 2' 4' 8' 16' 32' 48'
3/32" = 1'-0"



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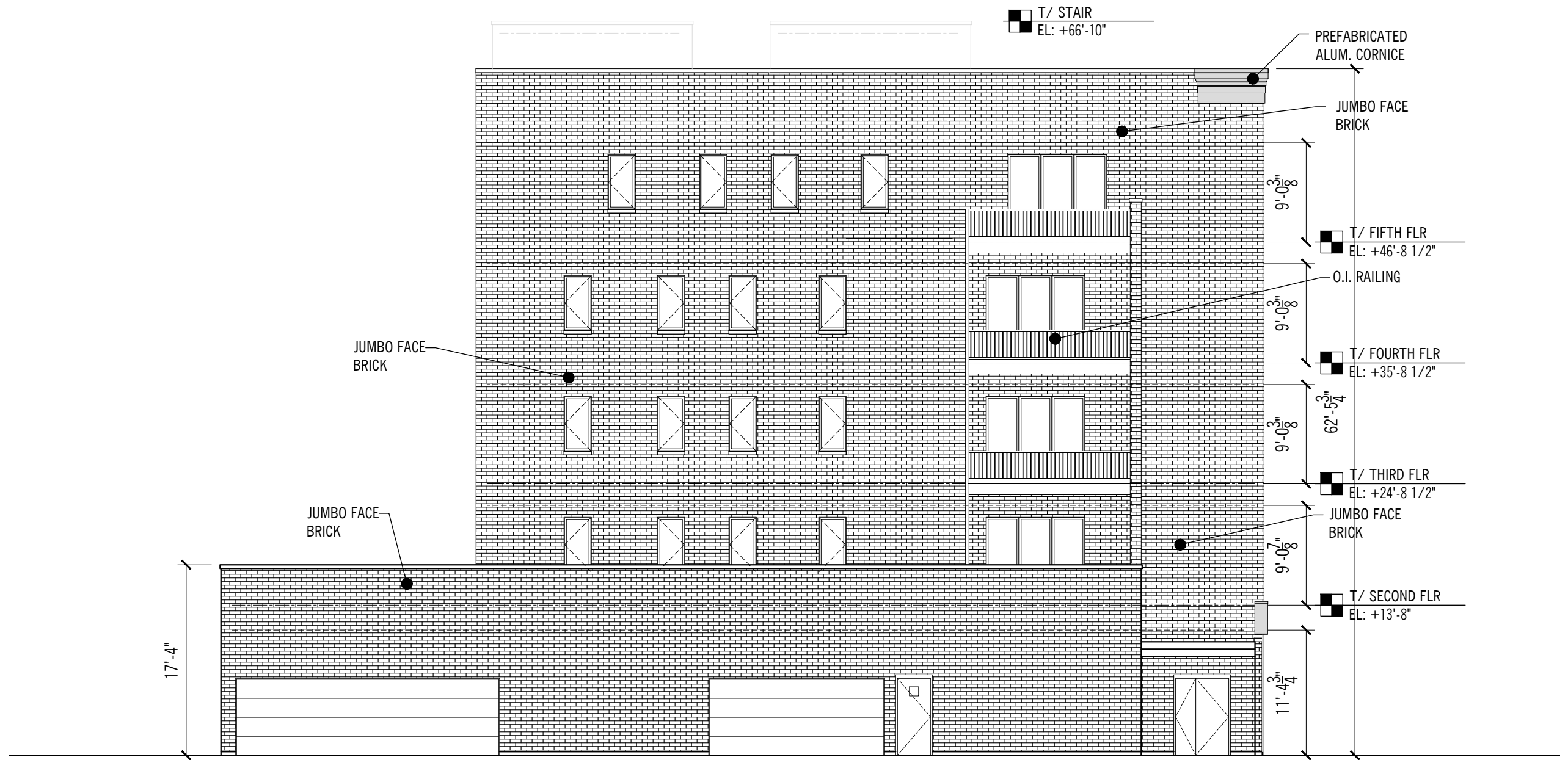
DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 WEST ELEVATION

SHEET NUMBER
09



SOUTH ELEVATION

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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GGNA	03-31-2022

DEVELOPER:
 HIBERNIAN DEVELOPEMNT

PREMISES:
 2354 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

FIVE STORY 15 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

SOUTH ELEVATION

SHEET NUMBER

10