

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____ Date: _____
Project Address: _____ Proposed Zoning: _____
Developer/Owner: _____ Current Zoning: _____
Architect: _____ Zoning of Adjacent Area: _____
Contact Phone Number _____ Email _____

Proposed Variences

Dwelling Units: _____ Type: _____
Lot Dimensions: _____ ft. x ^{ft}125. Lot Area: _____ s.f.

Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH SETBACK OFF FULLERTON 20'-0" AND 24'-9" OFF WASHTENAW

A PDF file of the Project Data Sheet & requested architectural materials (listed below) for each project should be e-mailed to Community Chair ggnazapc@gmail.com at least one week before the meeting date.

Nine (9) copies of the Project Data Sheet & requested architectural materials (listed below) should be brought to the meeting for the ZAPC members.

a.) Small scale context footprint. This should show how the project will fit in with the surrounding properties 100 ft. on each side. Pictures of the site and adjacent properties are helpful.

b.) A Site plan with setbacks (especially showing setbacks to adjacent neighboring properties), landscaping, fences, garages, parking, curb cuts and sidewalks

c.) Zoning Data as shown on the Project Data Sheet

d.) Measured site plan with the following:

New building(s) to be shaded gray

Landscaped areas to be shaded light green. Show proposed and existing trees and shrubbery on property and parkway.

Streets and alleys to be labeled.

Building(s) and setbacks to be clearly dimensioned.

Show outline of existing building(s) to remain on property and building(s) on properties adjacent to project. If not practical, a partial outline is acceptable for adjacent properties.

Clearly show dimensioned parking spaces, bike storage, trash containers/enclosures and fences.

e.) Floor plans with the following:

Provide floor plans of each floor with overall dimensions.

Label and dimension all rooms.

For floors with identical layouts, just provide one plan and note the floors in drawing label.

Label square footage of each unit and each floor.

f.) Exterior elevations with the following:

Provide exterior elevations showing doors, windows, railings and other architectural elements.

Dimension all elevations with overall heights, floor to floor heights and floor to ceiling heights.

Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.

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Architect: _____ Zoning of Adjacent Area: _____
Contact Phone Number _____ Email _____

Proposed Variences

Dwelling Units: _____ Type: _____
Lot Dimensions: _____ ft. x **125** ft. Lot Area: _____ s.f.

Proposed Floor Area: _____ s.f. (new) _____ s.f. (existing) _____ s.f. (addition)

FAR: _____ (existing) _____ (proposed) Building area excluded from FAR: _____ s.f.

Green space (unpaved): _____ s.f. _____ % of lot area

Proposed MLA: _____ Allowed MLA: _____

Proposed Parking: _____ spaces Zoning Required Parking: _____ spaces

Building Height Proposed: _____ ft. Allowed: _____ ft. At highest point: _____ ft.

Proposed front yard setback: _____ ft. Required front yard setback: _____ ft.

Proposed side yard setback: _____ ft. Required side yard setback: _____ ft.

Proposed rear yard setback: _____ ft. Required rear yard setback: _____ ft.

Are there any existing buildings on site? _____ describe: _____

Will any (or all) be demolished? _____

Other Remarks: _____

ROOF ACCESS STAIRS ARE 66.83' HIGH SETBACK OFF FULLERTON 20'-0" AND 18'-4" OFF WASHTENAW

A PDF file of the Project Data Sheet & requested architectural materials (listed below) for each project should be e-mailed to Community Chair ggnazapc@gmail.com at least one week before the meeting date.

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Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

h.) Ultimate property use and type of ownership

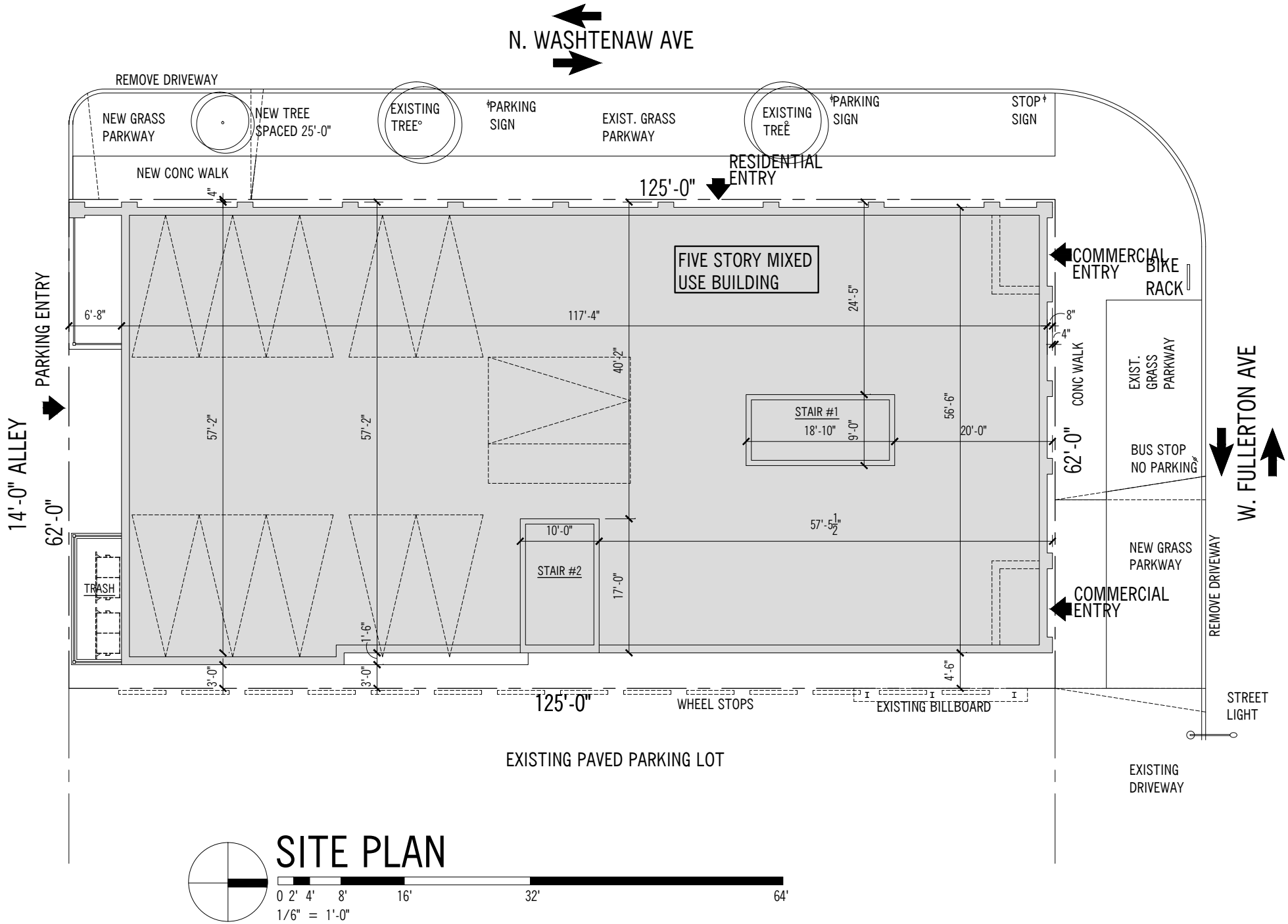
i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.

| ZONING DATA | | |
|--|------------------------|---------------------------|
| 2355 N. WASHTENAW SITE AREA: 7,750.00 | REQUIRED | PROPOSED |
| | PROPOSED ZONING B2-5 | PROPOSED ZONING B2-5 |
| | Max FAR: 5.0 | ACTUAL FAR: 3.84 |
| | MAX AREA: 38,750.00 SF | ACTUAL AREA: 29,708.00 SF |

| | | |
|-----------------|---------------------------------|-------------------------------------|
| MAX HEIGHT | 70'-0" | 55'-11" AT MAIN BLDG |
| MIN. COMMERCIAL | 20% LA (1,550.00 SF) | 1,570.00 SF |
| MLA | 200/ STD UNIT | 387.5/UNIT (20 UNITS) |
| FRONT YARD | 0'-0" | 0'-0" |
| WEST SIDE YARD | 0'-0" | 0'-4" |
| EAST SIDE YARD | 0'-0" AT BLDG | 3'-0" AT GARAGE, 4'-6" AT MAIN BLDG |
| REAR YARD | 30'-0" AT RES./ 0'-0" AT COMM. | 0'-0" (VARIATION) |
| VEHICLE PARKING | .5 PER UNIT (TSL) 10 REQ'D | 11 SPACES |
| BIKE PARKING | 1 PER 2 AUTO (6 REQ'D) & | |
| BIKE PARKING | 1 PER AUTO ELIMINATED (9 REQ'D) | 18 BIKES SPACES |
| LOADING BERTH | 1 REQ'D RES > 24,999 ASF | NONE PROVIDED (VARIATION) |

| BUILDING DATA | | | | | | | | | | | | |
|---------------|--------------|-------------------|-------------------|------------|---------------|---------------|---------------|----------------------|-----------|------------|----------------|--|
| FLOOR | USE | ELEV. ABOVE GRADE | FLOOR HEIGHT | # OF UNITS | AREA | | | | # OF CARS | # OF BIKES | 2 BED / 2 BATH | |
| | | | | | GROSS SF | NET ZONING | NET UNIT | COMMON/ AMENITY EFF. | | | | |
| ROOF | NA | 58'-0" | 6'-8" ROOF ACCESS | 0 | 340 | 0 | 0 | 0 | 0 | 0 | 0 | |
| 5 | RES. | 46'-8 1/2" | 9'-0 3/8" | 5 | 6,577 | 6,577 | 5,721 | 856 | 86.98% | 0 | 5 | |
| 4 | RES. | 35'-8 1/2" | 9'-0 3/8" | 5 | 6,577 | 6,577 | 5,721 | 856 | 86.98% | 0 | 5 | |
| 3 | RES. | 24'-8 1/2" | 9'-0 3/8" | 5 | 6,577 | 6,577 | 5,721 | 856 | 86.98% | 0 | 5 | |
| 2 | RES. | 13'-8" | 9'-0 7/8" | 5 | 6,577 | 6,577 | 5,721 | 856 | 86.98% | 0 | 5 | |
| 1 | COM./PKG | 0'-0" | 11'-4" | 0 | 6,895 | 3,400 | 3,400 | 3,495 | 49.31% | 11 | 18 | |
| | TOTAL | | | 20 | 33,543 | 29,708 | 26,284 | 6,919 | | 11 | 18 | |



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

SUBMITTAL DATES

| | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

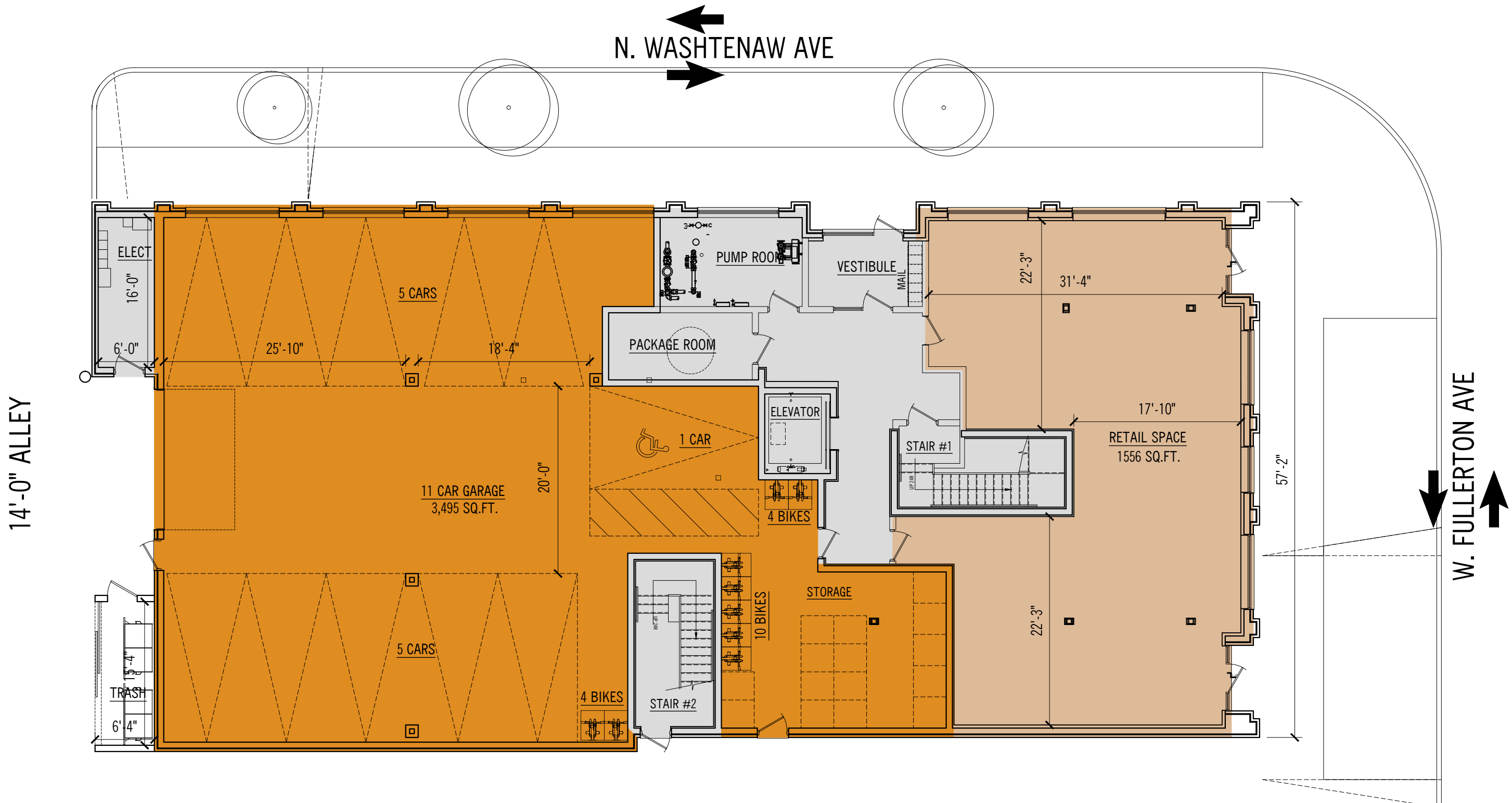
PROJECT DESCRIPTION
FIVE STORY 20 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

ZONING DATA/
SITE PLAN

SHEET NUMBER

01



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL. 60608
 p. 312.842.2225
 f. 312.842.2253

| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

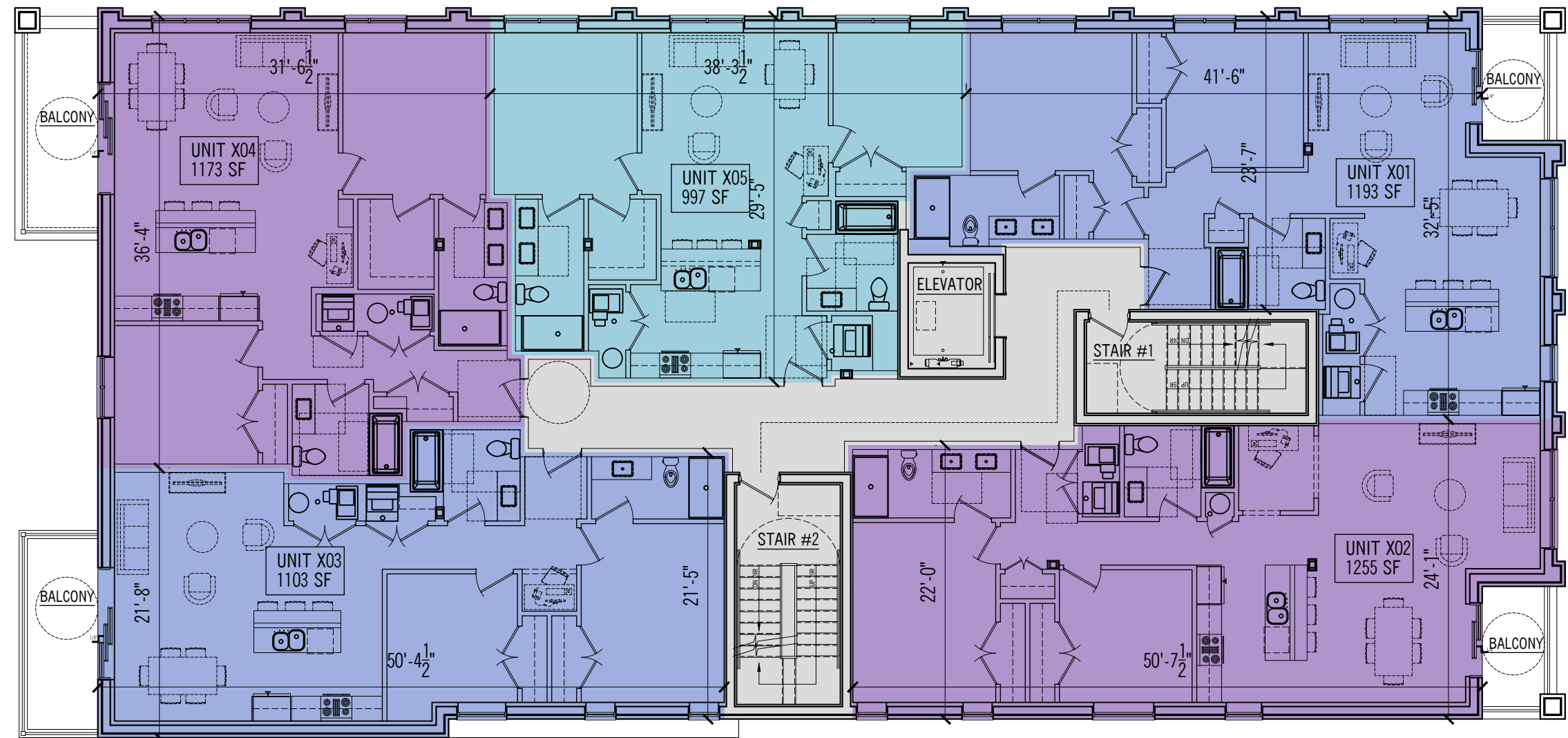
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 GROUND FLOOR

SHEET NUMBER
02



TYPICAL FLOORS 2-5

0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



2453 S. ARCHER AVE
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| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

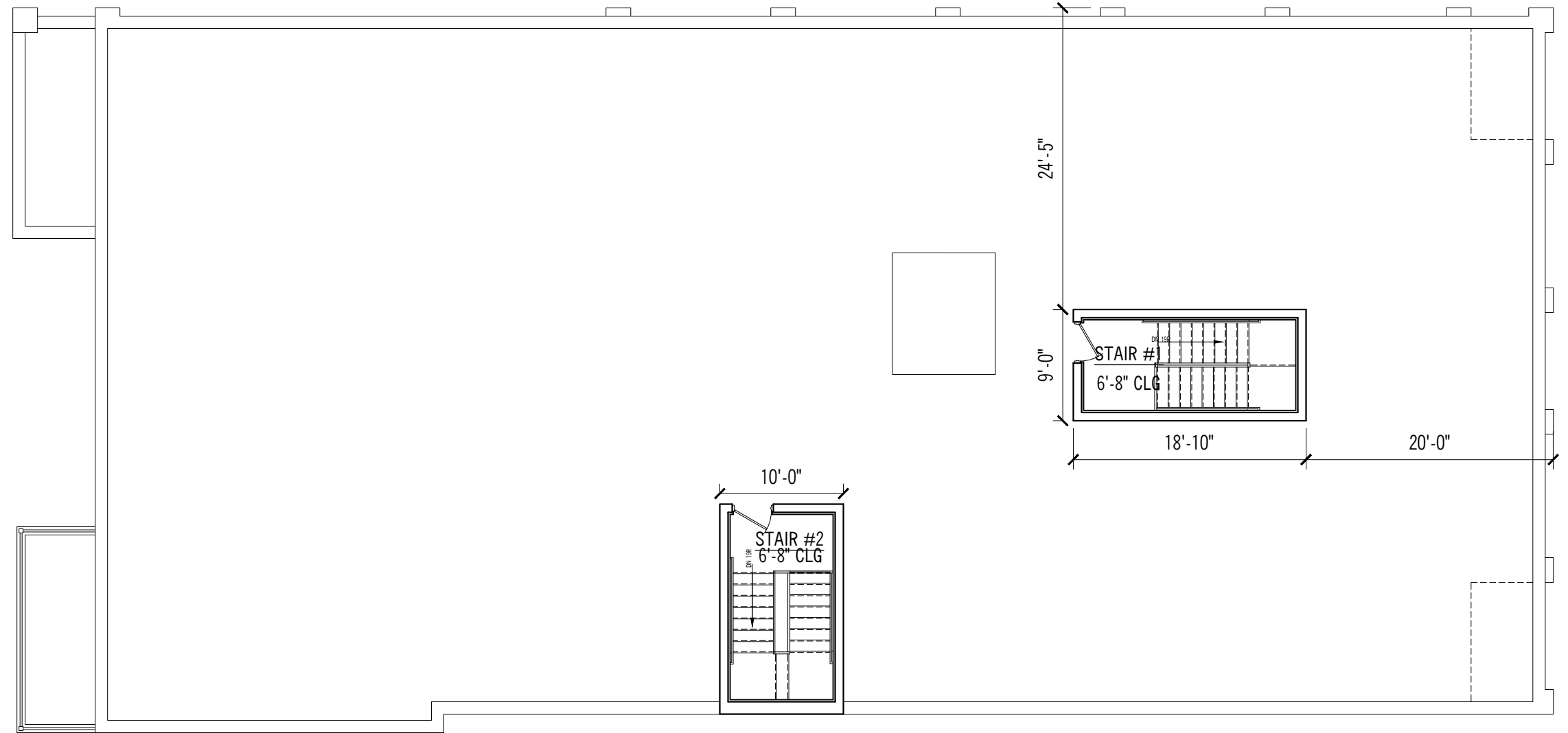
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 2ND FLOOR PLAN

SHEET NUMBER
03




ROOF PLAN
 0 2' 4' 8' 16' 32' 48'
 3/32" = 1'-0"



2453 S. ARCHER AVE
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 f. 312.842.2253

| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

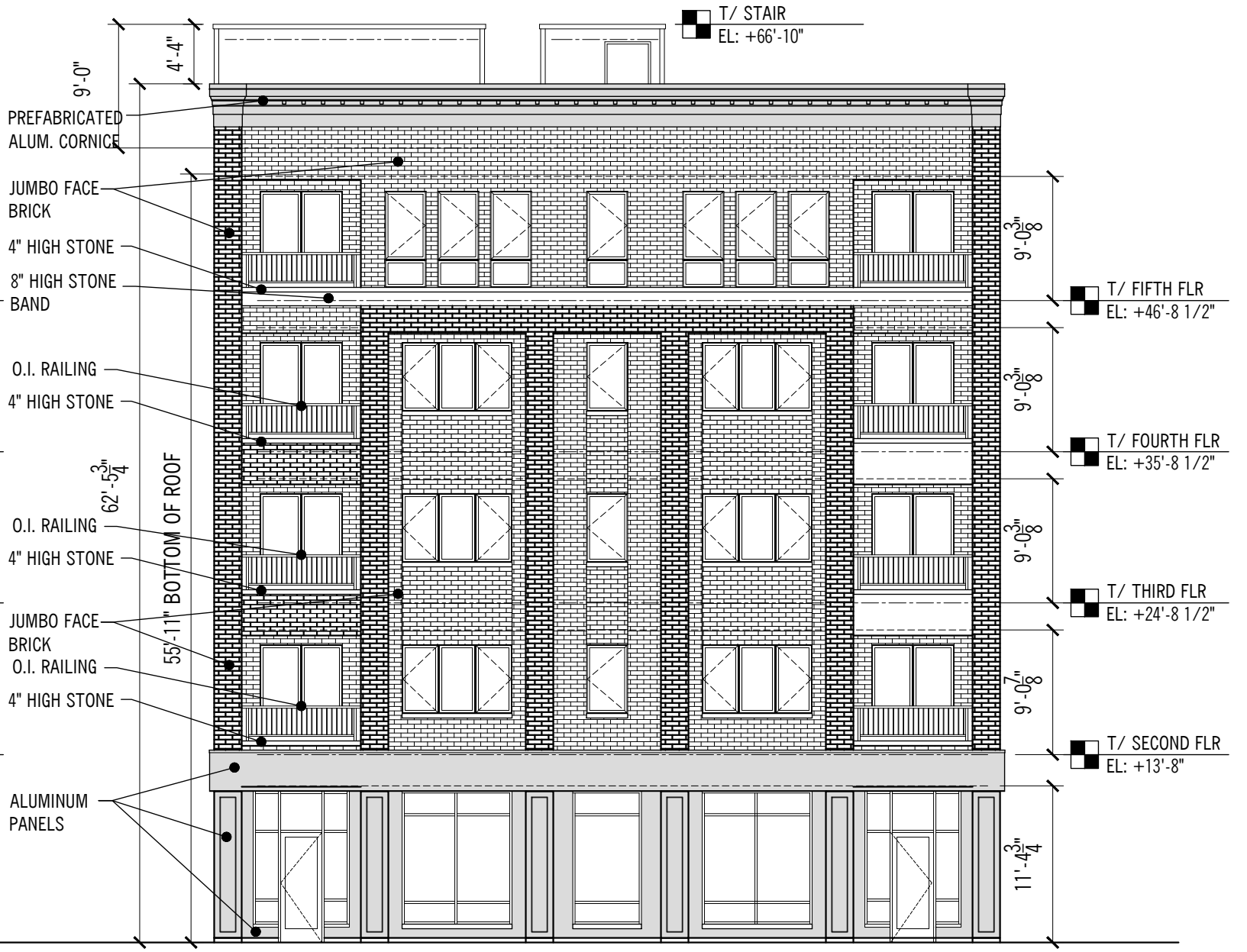
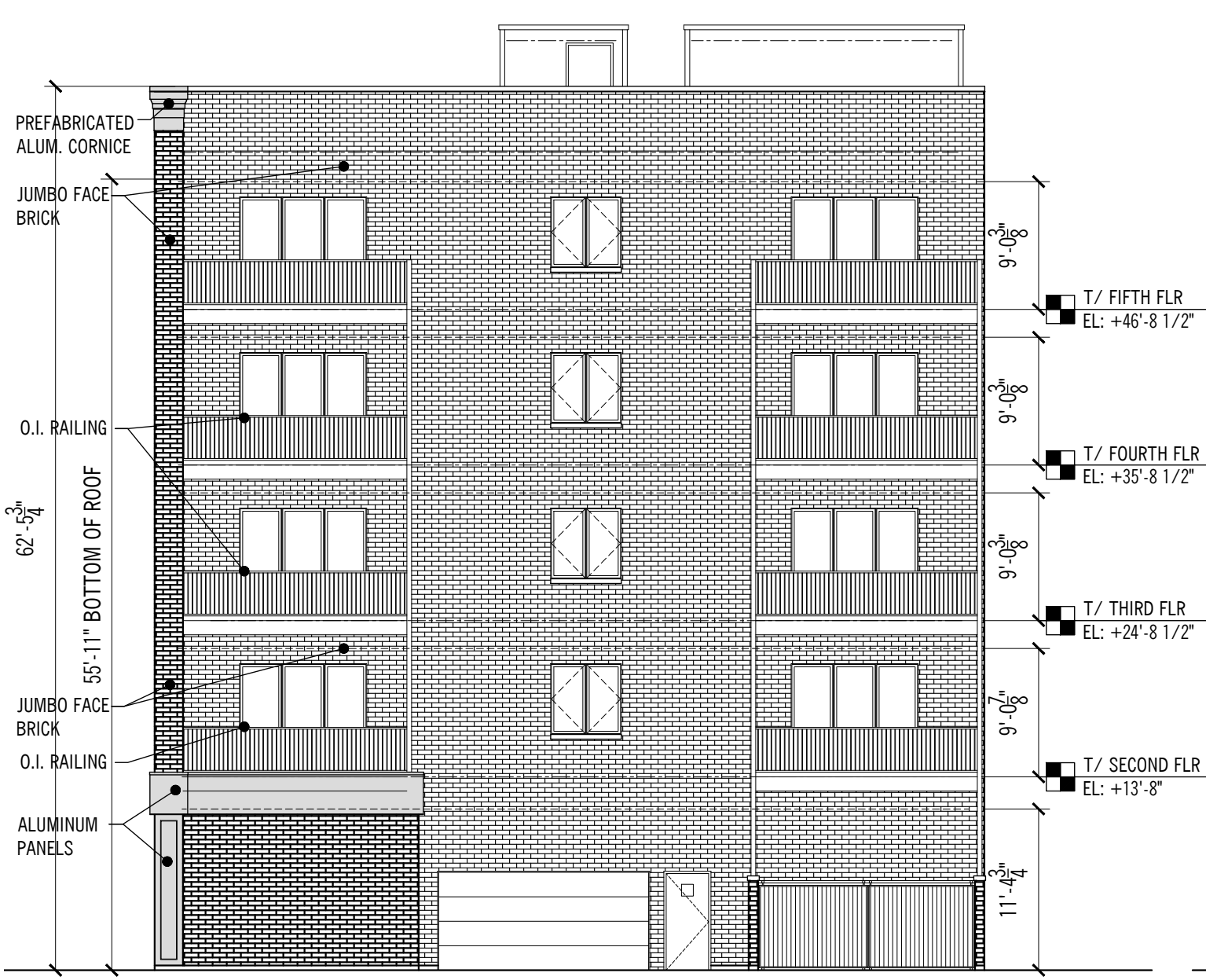
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 ROOF PLAN

SHEET NUMBER
04



SOUTH ELEVATION



NORTH ELEVATION



2453 S. ARCHER AVE
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| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 NORTH & SOUTH
 ELEVATIONS

SHEET NUMBER
05



WEST ELEVATION



2453 S. ARCHER AVE
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| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

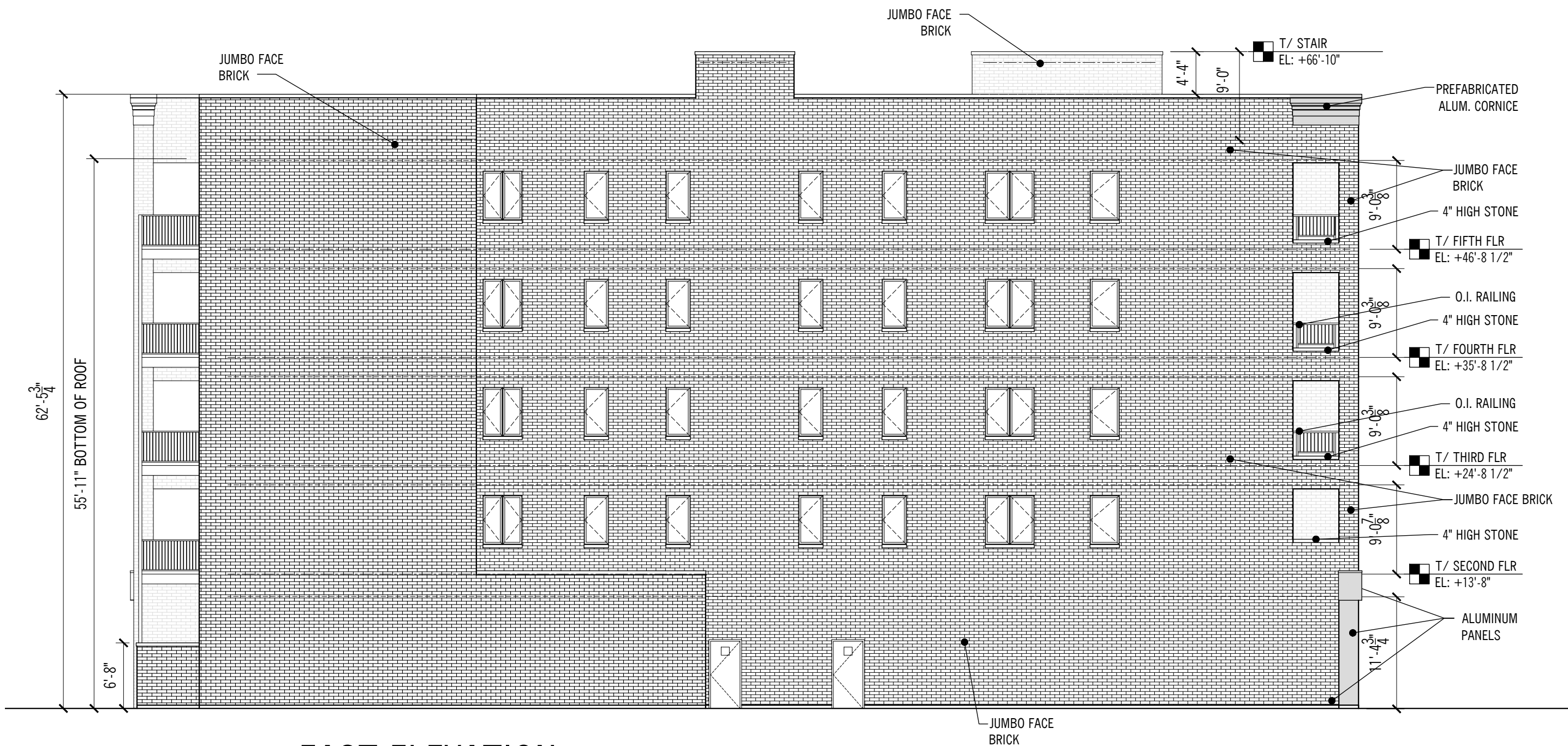
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTEAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 20 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 WEST
 ELEVATION

SHEET NUMBER
 06



EAST ELEVATION



2453 S. ARCHER AVE
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 f. 312.842.2253

| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

| |
|--|
| DEVELOPER: HIBERNIAN DEVELOPMENT |
| PREMISES: 2355 N. WASHTENAW AVE. CHICAGO, IL. |

| |
|--|
| PROJECT DESCRIPTION FIVE STORY 20 UNIT BUILDING W/ GROUND FLOOR COMMERCIAL |
|--|

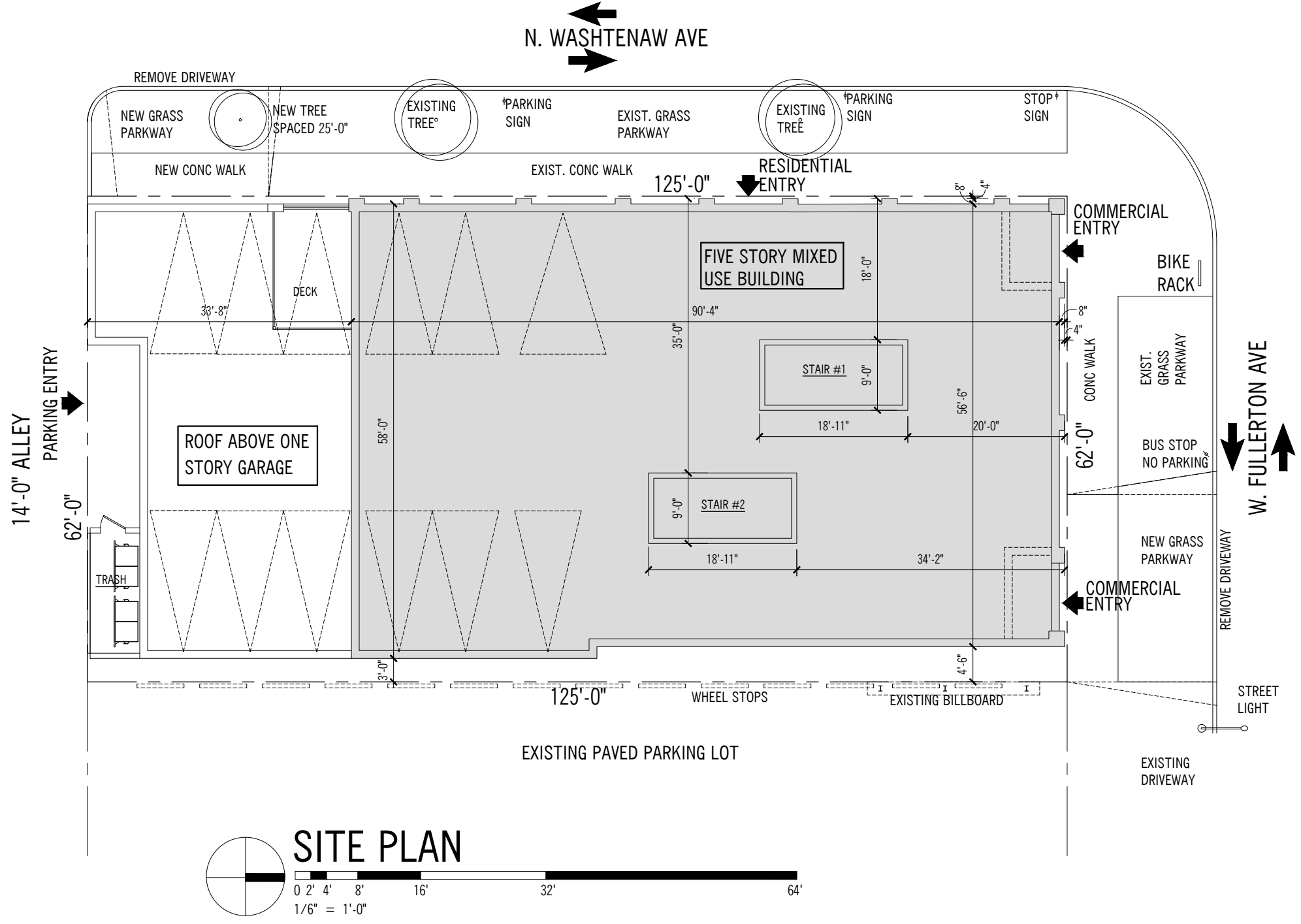
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| SHEET DESCRIPTION WEST ELEVATION |
|--|

| |
|-------------------------------|
| SHEET NUMBER 07 |
|-------------------------------|

| ZONING DATA | | |
|---|--|--|
| 2355 N. WASHTENAW SITE AREA: 7,750.00 | REQUIRED PROPOSED ZONING B2-3 Max FAR: 3.0 MAX AREA: 23,250.00 SF | PROPOSED PROPOSED ZONING B2-3 ACTUAL FAR: 2.996 ACTUAL AREA: 23,214.00 SF |

| | | |
|-----------------|--------------------------------|-------------------------------------|
| MAX HEIGHT | 65'-0" | 55'-11" AT MAIN BLDG |
| MIN. COMMERCIAL | 20% LA (1,550.00 SF) | 1,570.00 SF |
| MLA | 400/ STD UNIT | 645.8/UNIT (12 UNITS) |
| FRONT YARD | 0'-0" | 0'-0" |
| WEST SIDE YARD | 0'-0" | 0'-4" |
| EAST SIDE YARD | 0'-0" AT BLDG | 3'-0" AT GARAGE, 4'-6" AT MAIN BLDG |
| REAR YARD | 30'-0" AT RES./ 0'-0" AT COMM. | 0'-0" GRND FLR, 33'-8" AT FLOOR 2-5 |
| VEHICLE PARKING | .5 PER UNIT (TSL) 6 REQ'D | 12 SPACES |
| BIKE PARKING | 1 PER 2 AUTO (6 REQ'D) | 6 BIKES SPACES |
| LOADING BERTH | NA RES < 24,999 ASF | N.R. |

| BUILDING DATA | | | | | | | | | | | | |
|---------------|----------|-------------------|-------------------|------------|---------------|---------------|---------------|--------------|----------------------|-----------|------------|---------------|
| FLOOR | USE | ELEV. ABOVE GRADE | FLOOR HEIGHT | # OF UNITS | AREA | | | | COMMON/ AMENITY EFF. | # OF CARS | # OF BIKES | 3 BED/ 2 BATH |
| | | | | | GROSS SF | NET ZONING | NET UNIT | | | | | |
| ROOF | NA | 58'-0" | 6'-8" ROOF ACCESS | 0 | 340 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| 5 | RES. | 46'-8 1/2" | 9'-0 3/8" | 3 | 5,020 | 5,020 | | | | | | |
| 4 | RES. | 35'-8 1/2" | 9'-0 3/8" | 3 | 5,042 | 5,042 | 4,340 | 702 | 86.08% | 0 | 0 | 3 |
| 3 | RES. | 24'-8 1/2" | 9'-0 3/8" | 3 | 5,042 | 5,042 | 4,340 | 702 | 86.08% | 0 | 0 | 3 |
| 2 | RES. | 13'-8" | 9'-0 7/8" | 3 | 5,042 | 5,042 | 4,340 | 702 | 86.08% | 0 | 0 | 3 |
| 1 | COM./PKG | 0'-0" | 11'-4" | 0 | 6,803 | 3,068 | 3,068 | 3,735 | 45.10% | 12 | 6 | 3 |
| TOTAL | | | | 12 | 27,289 | 23,214 | 16,088 | 5,841 | | 12 | 6 | 12 |



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| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 12 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

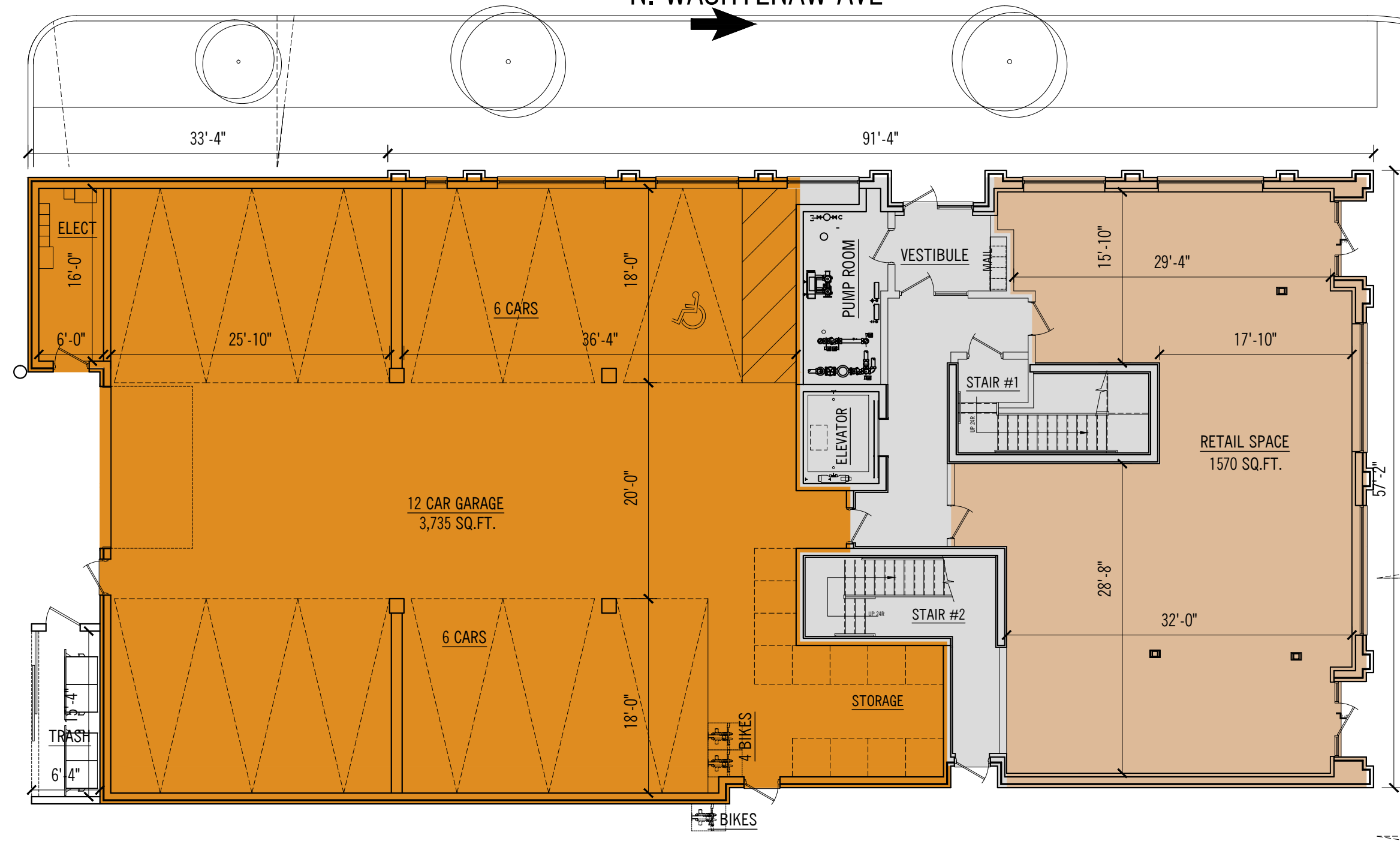
SHEET DESCRIPTION
ZONING DATA/
SITE PLAN

SHEET NUMBER
01

N. WASHTENAW AVE

14'-0" ALLEY

W. FULLERTON AVE



GROUND FLOOR PLAN



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| SUBMITTAL DATES | |
|------------------|------------|
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| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

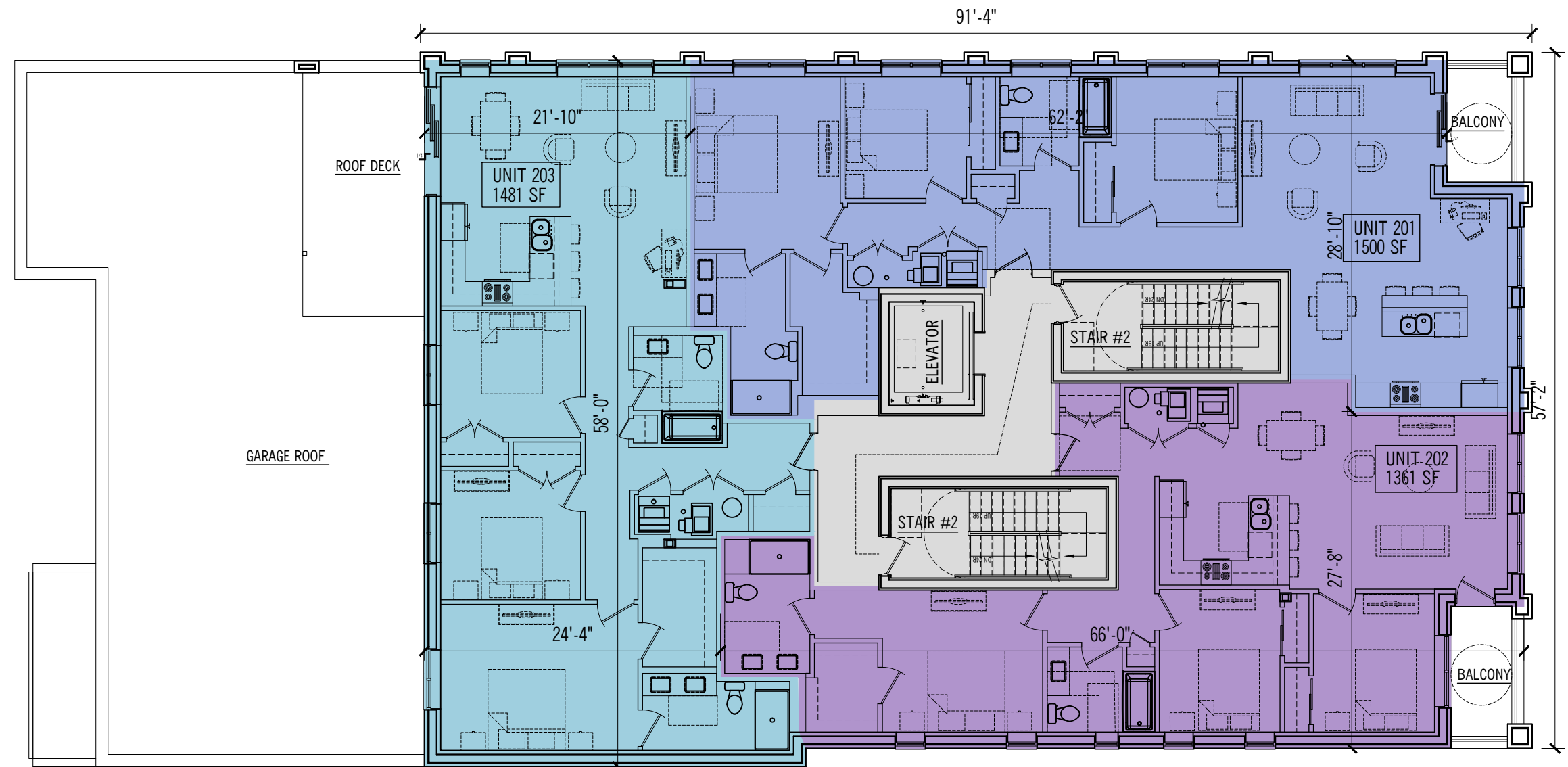
DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 12 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
GROUND FLOOR

SHEET NUMBER
02



SECOND FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



2453 S. ARCHER AVE
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SUBMITTAL DATES

| | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
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| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

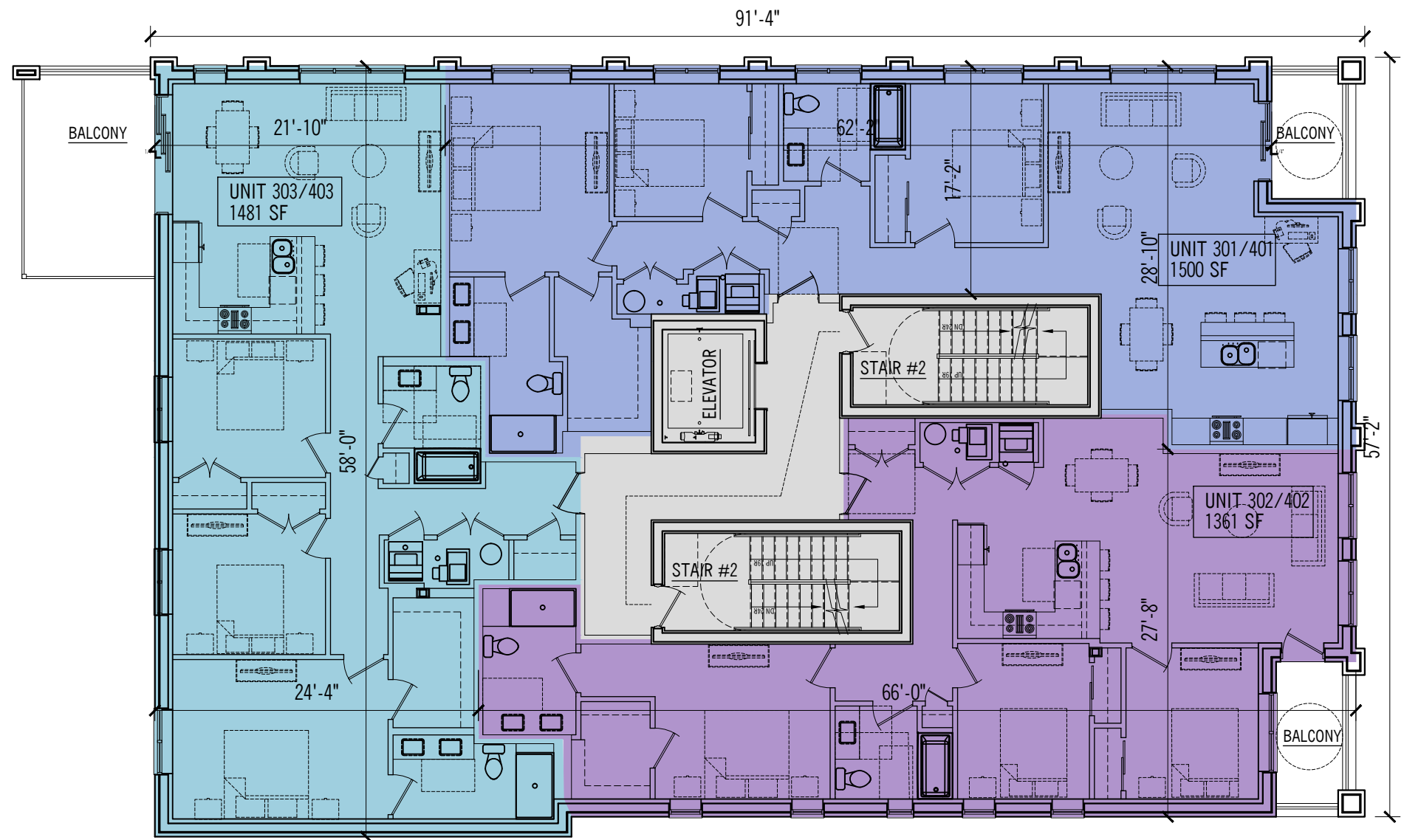
PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 2ND FLOOR PLAN

SHEET NUMBER

03



THIRD-FOURTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



2453 S. ARCHER AVE
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 CHICAGO, IL. 60608
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 f. 312.842.2253

| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

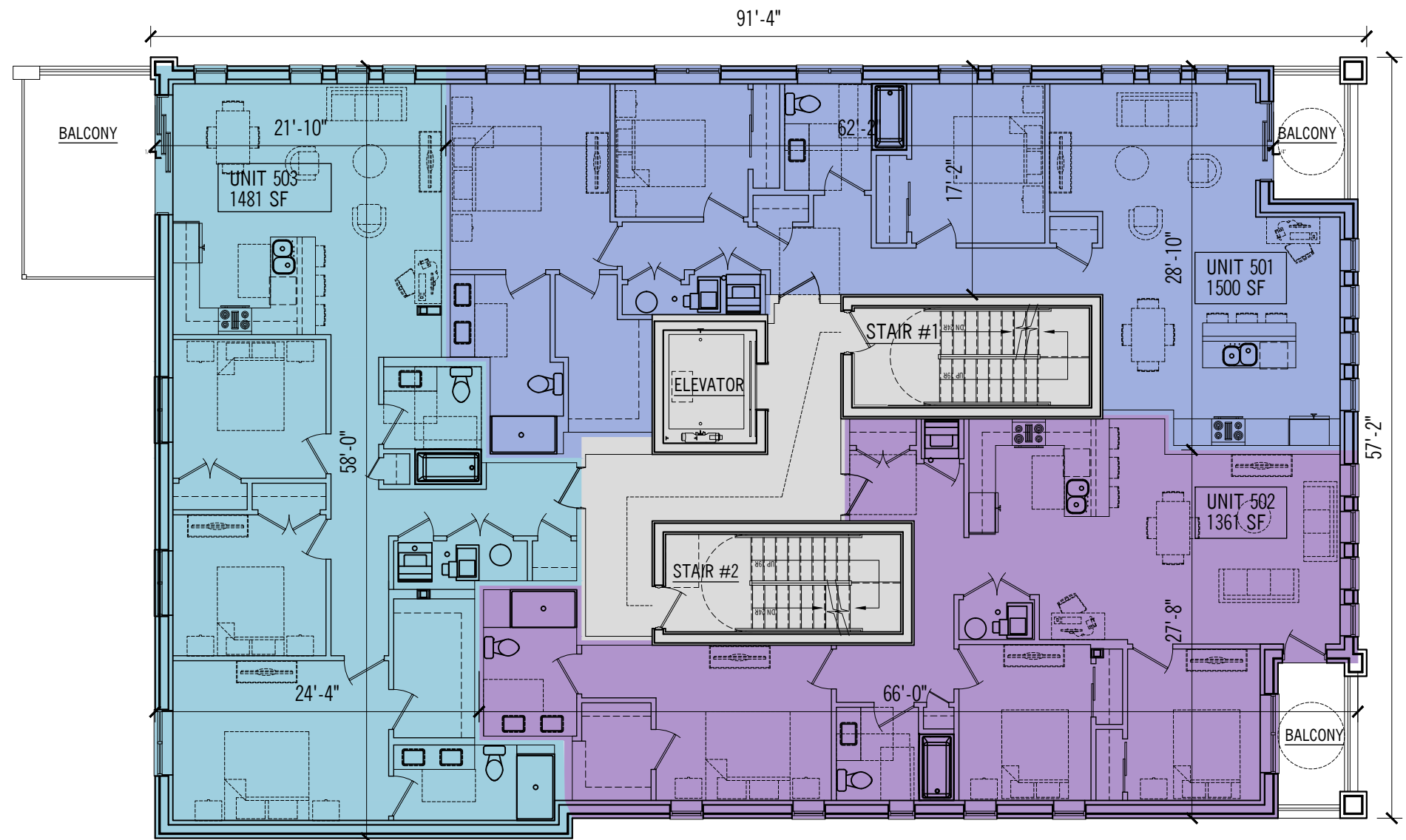
DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 3RD/4TH FLOOR PLAN

SHEET NUMBER
04



FIFTH FLOOR PLAN

0 2' 4' 8' 16' 32' 48'

3/32" = 1'-0"



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SUBMITTAL DATES

| | |
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| PRELIMINARY | 12-20-2021 |
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| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

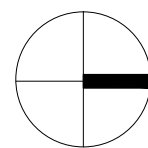
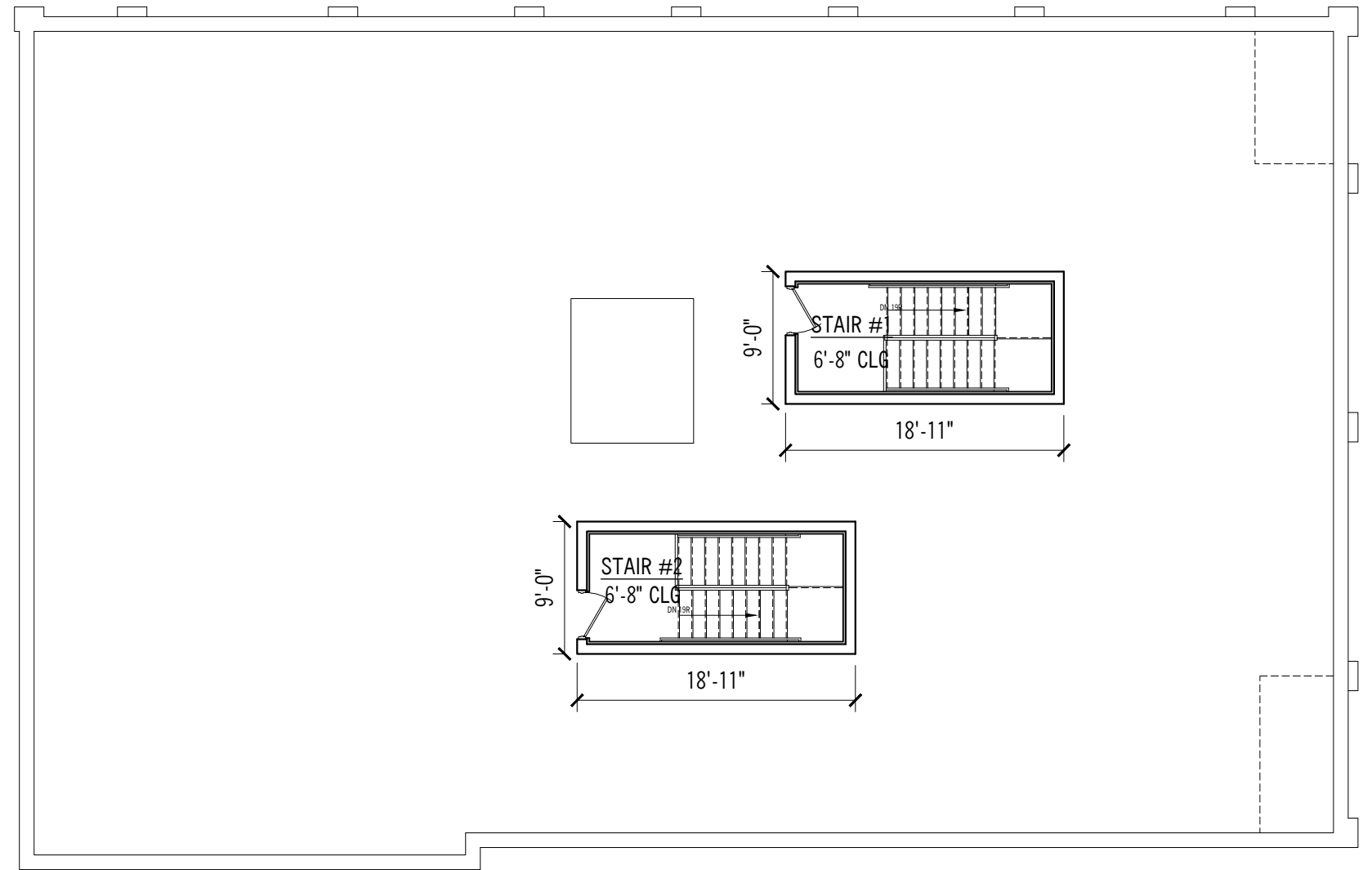
PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
 FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
 FIFTH FLOOR PLAN

SHEET NUMBER

05



ROOF PLAN



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL. 60608
 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES

| | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

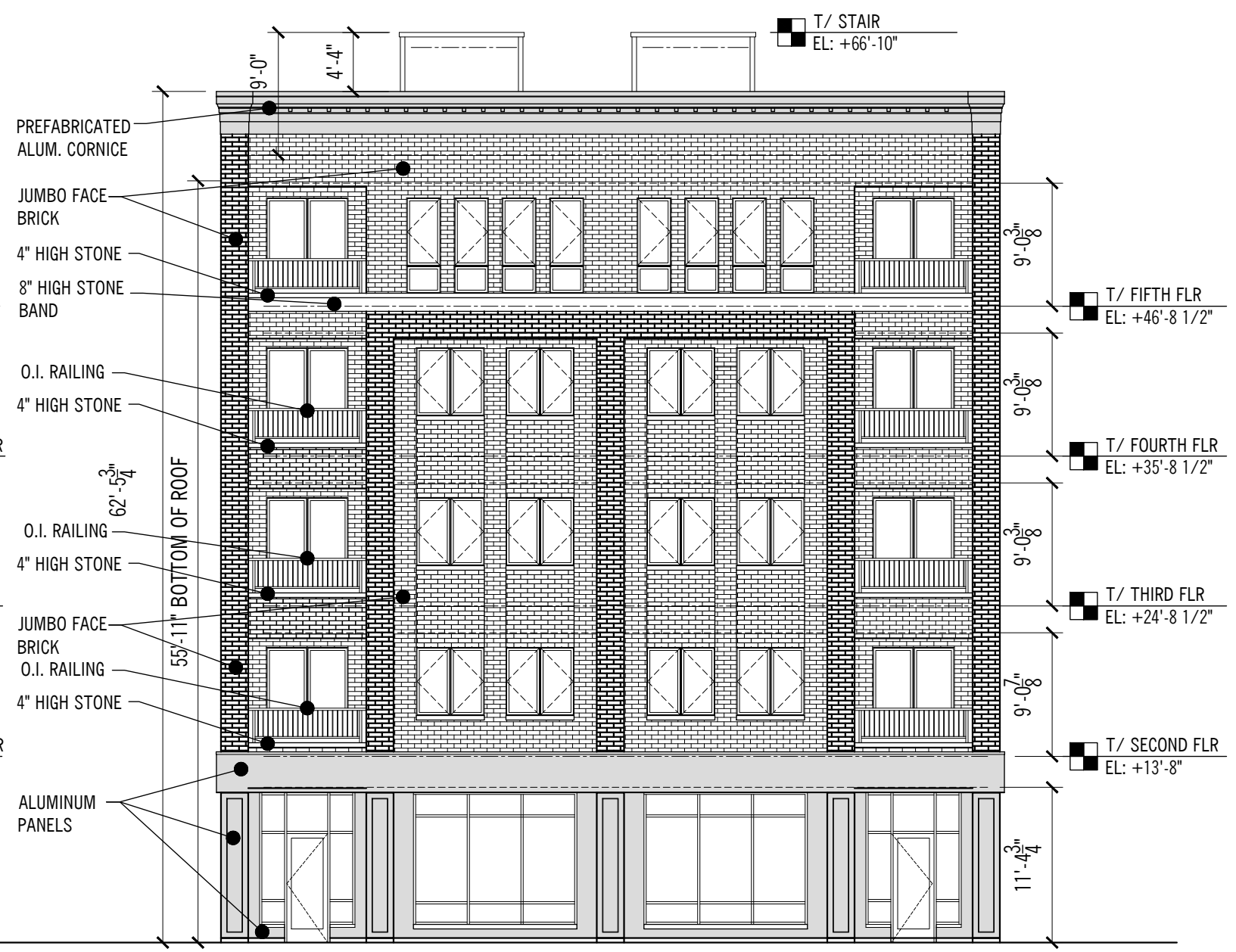
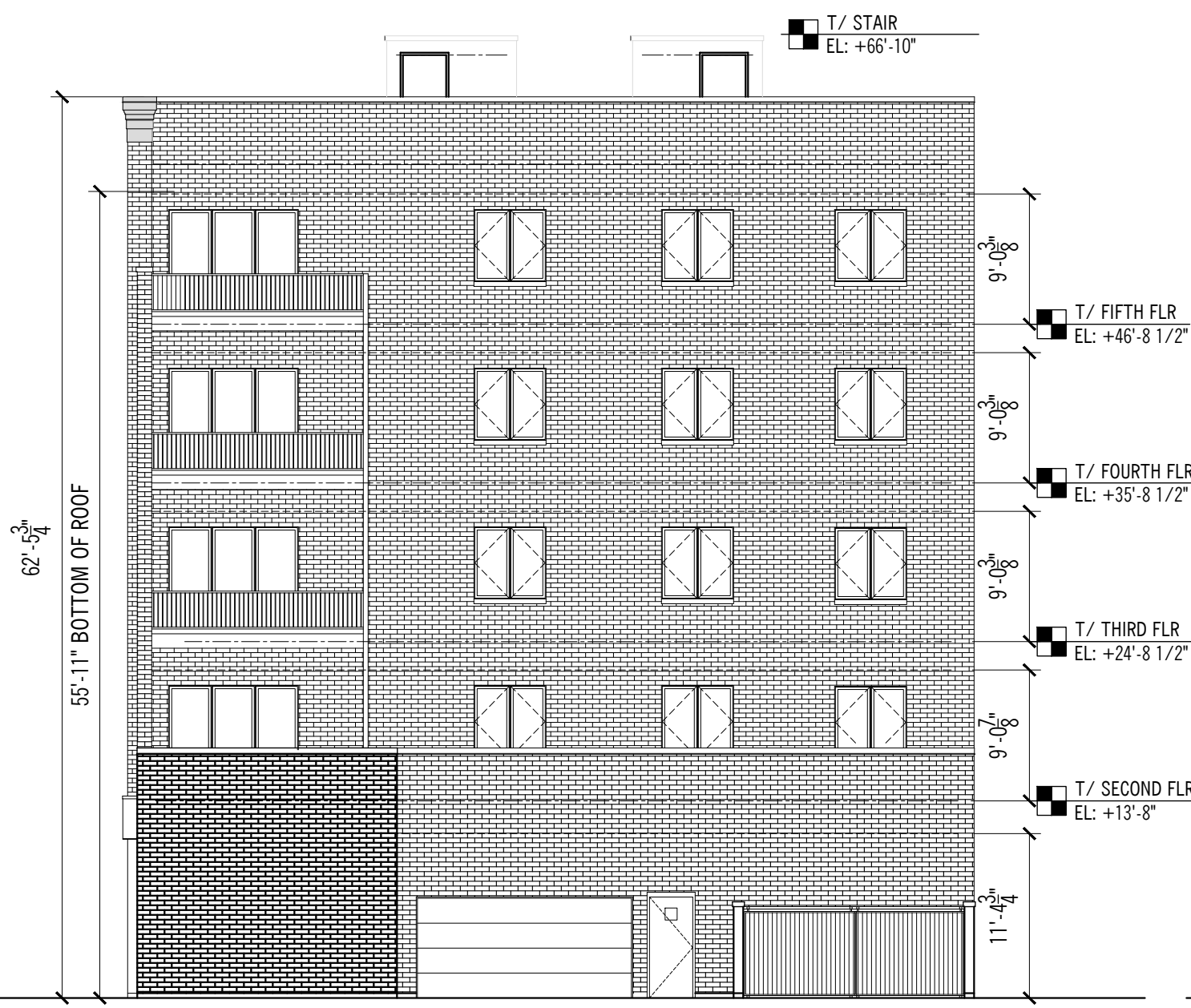
FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

ROOF PLAN

SHEET NUMBER

06



SOUTH ELEVATION



NORTH ELEVATION



2453 S. ARCHER AVE
UNIT C
CHICAGO, IL. 60608
p. 312.842.2225
f. 312.842.2253

| SUBMITTAL DATES | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| BUILDING REVISED | 02-10-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
HIBERNIAN DEVELOPMENT

PREMISES:
2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION
FIVE STORY 20 UNIT BUILDING W/
GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION
NORTH & SOUTH
ELEVATIONS

SHEET NUMBER
05



WEST ELEVATION



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL. 60608
 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES

| | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

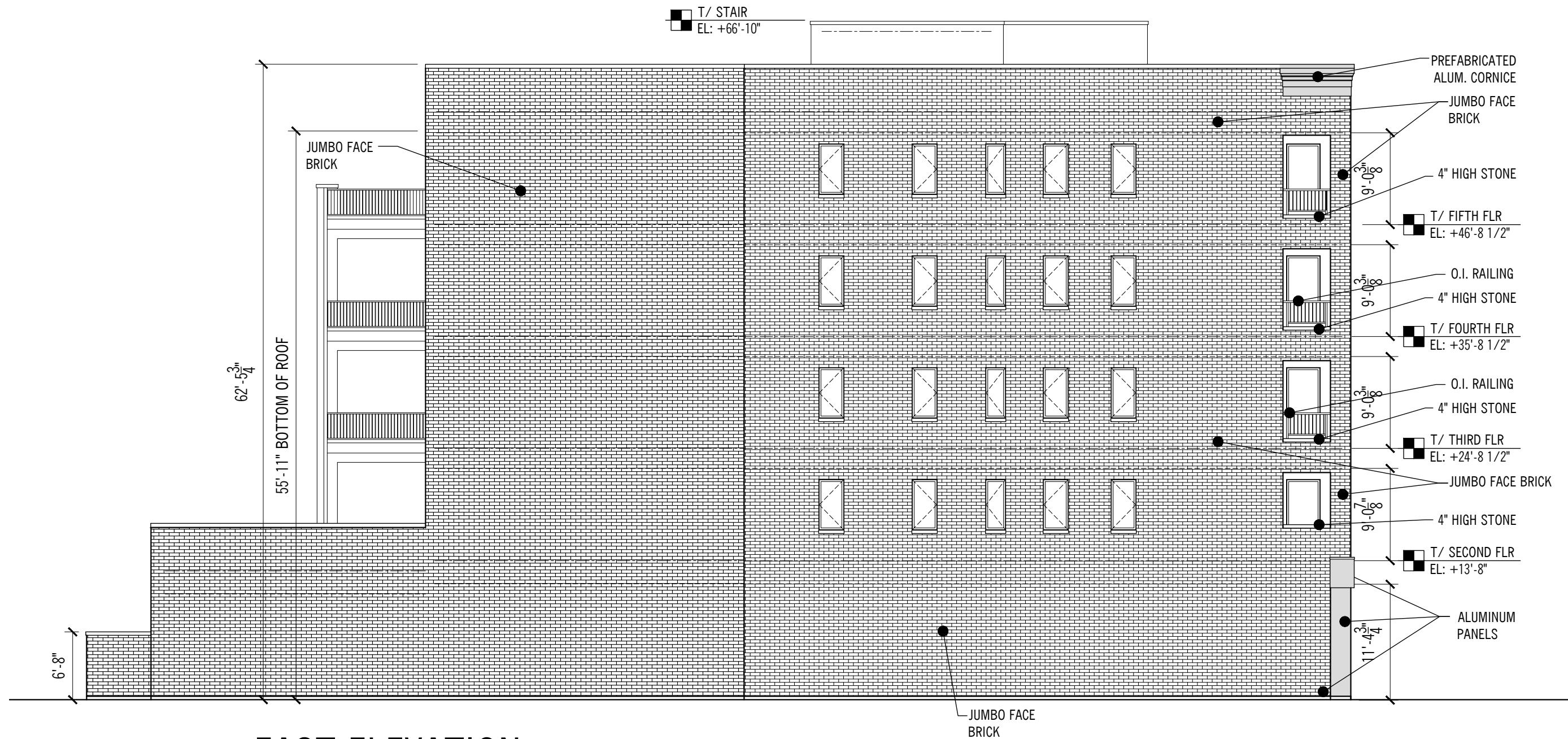
FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

WEST
 ELEVATION

SHEET NUMBER

08



EAST ELEVATION



2453 S. ARCHER AVE
 UNIT C
 CHICAGO, IL. 60608
 p. 312.842.2225
 f. 312.842.2253

SUBMITTAL DATES

| | |
|------------------|------------|
| PRELIMINARY | 12-20-2021 |
| REVIEW SUBMITTAL | 01-10-2022 |
| ROOF REVISION | 01-21-2022 |
| ROOF REVISION 2 | 02-01-2022 |
| GGNA | 03-31-2022 |

DEVELOPER:
 HIBERNIAN DEVELOPMENT

PREMISES:
 2355 N. WASHTENAW AVE. CHICAGO, IL.

PROJECT DESCRIPTION

FIVE STORY 12 UNIT BUILDING W/
 GROUND FLOOR COMMERCIAL

SHEET DESCRIPTION

WEST
 ELEVATION

SHEET NUMBER

09