

# Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: 2412 West Belden Avenue Date: 4-3-23  
Project Address: 2412 West Belden Avenue Proposed Zoning: RM-4.5  
Developer/Owner: 2412 Belden LLC Current Zoning: RS-3  
Architect: Todd Main - Main Architecture Zoning of Adjacent Area: RS-3 & B3-2  
Contact Phone Number 312-636-6937 Email rolando@acostaezgur.com

## Proposed Variences

None  
Existing: 2 - 1BR; 2 - 2BR  
Proposed: 2 - 3BR; 2 - 4BR  
Dwelling Units: 4 in front bldg/1 in rear bldg Type: Plus 1 - 3BR in coachhouse to remain  
Lot Dimensions: 35.40 ft. x 102 ft. Lot Area: 3,610.80 s.f.  
Proposed Floor Area: 5456.90 s.f. (new) 4934.05 s.f. (existing) 522.85 s.f. (addition)  
FAR: 1.37 (existing) 1.51 (proposed) Building area excluded from FAR: 1349.1 s.f. (excluded area in basement)  
Green space (unpaved): approx. 700 s.f. 19 % of lot area  
Proposed MLA: 722.16 Allowed MLA: 700 (Existing no proposed unit count increase)  
Proposed Parking: 0 spaces Zoning Required Parking: 0 spaces  
Building Height Proposed: 36.56 ft. Allowed: 47 ft. At highest point: approx. 39 ft.  
Proposed front yard setback: 5.25 ft. Required front yard setback: 5.25 ft. (Yards are existing)  
Proposed side yard setback: 0 & 2 ft. Required side yard setback: 0 & 2 ft. (Yards are existing)  
Proposed rear yard setback: 1 ft. Required rear yard setback: 1 ft. (Yards are existing)  
Are there any existing buildings on site? Yes describe: Front 2.5 story w/basement & attic  
Rear 2 story coachhouse  
Will any (or all) be demolished? No

Other Remarks: Proposed is interior reconfiguration of interior space to accommodate four duplexed units in the front building. The rear building will rehabilitated and continue have one unit. To accommodate the duplex units, dormers are proposed to expand the attic. The property's current FAR is legal non-conforming. The rezoning is required to allow for the increased FAR resulting from the dormers.

A PDF file of the Project Data Sheet & requested architectural materials (listed below) for each project should be e-mailed to Community Chair [ggnazapc@gmail.com](mailto:ggnazapc@gmail.com) at least one week before the meeting date.

Nine (9) copies of the Project Data Sheet & requested architectural materials (listed below) should be brought to the meeting for the ZAPC members.

a.) Small scale context footprint. This should show how the project will fit in with the surrounding properties 100 ft. on each side. Pictures of the site and adjacent properties are helpful.

b.) A Site plan with setbacks (especially showing setbacks to adjacent neighboring properties), landscaping, fences, garages, parking, curb cuts and sidewalks

c.) Zoning Data as shown on the Project Data Sheet

d.) Measured site plan with the following:

New building(s) to be shaded gray

Landscaped areas to be shaded light green. Show proposed and existing trees and shrubbery on property and parkway.

Streets and alleys to be labeled.

Building(s) and setbacks to be clearly dimensioned.

Show outline of existing building(s) to remain on property and building(s) on properties adjacent to project. If not practical, a partial outline is acceptable for adjacent properties.

Clearly show dimensioned parking spaces, bike storage, trash containers/enclosures and fences.

e.) Floor plans with the following:

Provide floor plans of each floor with overall dimensions.

Label and dimension all rooms.

For floors with identical layouts, just provide one plan and note the floors in drawing label.

Label square footage of each unit and each floor.

f.) Exterior elevations with the following:

Provide exterior elevations showing doors, windows, railings and other architectural elements.

Dimension all elevations with overall heights, floor to floor heights and floor to ceiling heights.

Include elevation benchmarks at each floor, roof, top of parapets or ridge and the top of any stair/elevator tower.

Label major finish materials on elevations.

g.) Relevant isometric renderings showing adjacent properties for context.

f. Outline of development team

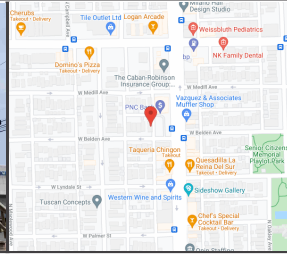
h.) Ultimate property use and type of ownership

i.) Any relevant information about the historic use and nature of any existing buildings on the property.

j.) Provide product info and if possible sample of exterior finish materials with proposed color and texture for meetings.



www.exactalands.com | office: 773.305.4011



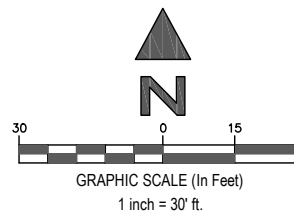
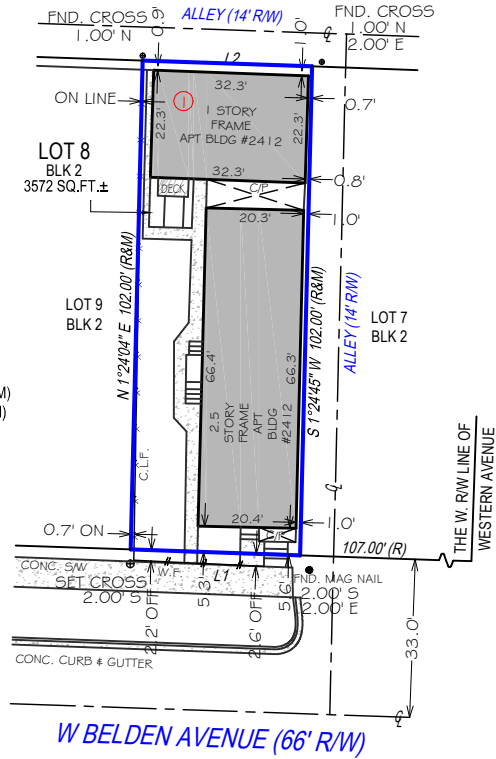
PROPERTY ADDRESS: 2412 W BELDEN AVENUE, CHICAGO, ILLINOIS 60647

SURVEY NUMBER: IL2108.3000

IL2108.3000  
BOUNDARY SURVEY  
COOK COUNTY

Exhibit D-1  
Survey

LINE TABLE:  
L1 N 88°01'39" W 35.40' (R&M)  
L2 S 88°01'10" E 35.40' (R&M)



STATE OF ILLINOIS } SS  
COUNTY OF GRUNDY }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

*Kenneth Kennedy*



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403  
LICENSE EXPIRES 11/30/2022  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:  
**NONE VISIBLE**



Exacta Land Surveyors, LLC  
PLS# 184008059  
O: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 08/25/21  
FIELD WORK DATE: 8/20/2021  
REVISION DATE(S): (REV.2 6/14/2022) (REV.1 8/25/2021)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
**PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES**

Exhibit D-2  
Zoning Map

2412 W Belden  
Advanced Tools Aerial Clear Map Print Map Legend Overview Help All Off



**TSL Station**  
More Info

**TSL Bus Route**  
More Info

**Zoning Districts**  
RS-3

**Planning Region**  
NORTHWEST

**ADU Area**  
Northwest

**Affordable Requirements (ARO)**  
ARO Community Preservation Area

**Zoning Map Index**  
Grid Index: 5-1  
Zoning Map Page Number : 74B

**Building Address**  
2412 W BELDEN AVE (267367)

**Parcels**  
PIN #: 1336209018  
Parcel Address : 2412-2412 W BELDEN AVE

**80 Acre Page**  
Open 80 Acre Page ( [ene364013r](#) )

**Ward**  
1

**Community Area**  
LOGAN SQUARE

**Map Layers**

**Measure**

**Saved Locations**



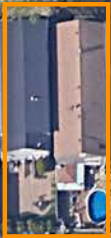
Exhibit D-4  
Aerial  
(other properties exceeding FAR marked  
in orange)

2517 & 2515 W. Belden

2321 N. Campbell

2427 & 2425 W. Medill

2415 W. Medill



SITE

2530 & 2528 W. Belden

2420 W. Belden

W Belden Ave

N Western Ave

Google Earth

300 ft





Exhibit D-12  
Front and east side of existing building





Exhibit D-13  
Front and west side of existing building  
and coach house front





Exhibit D-14  
Looking east along alley to rear of Site

SITE →





Exhibit D-15  
Looking east along Belden from Site toward Western





Exhibit D-16  
Looking northeast from Site at Belden

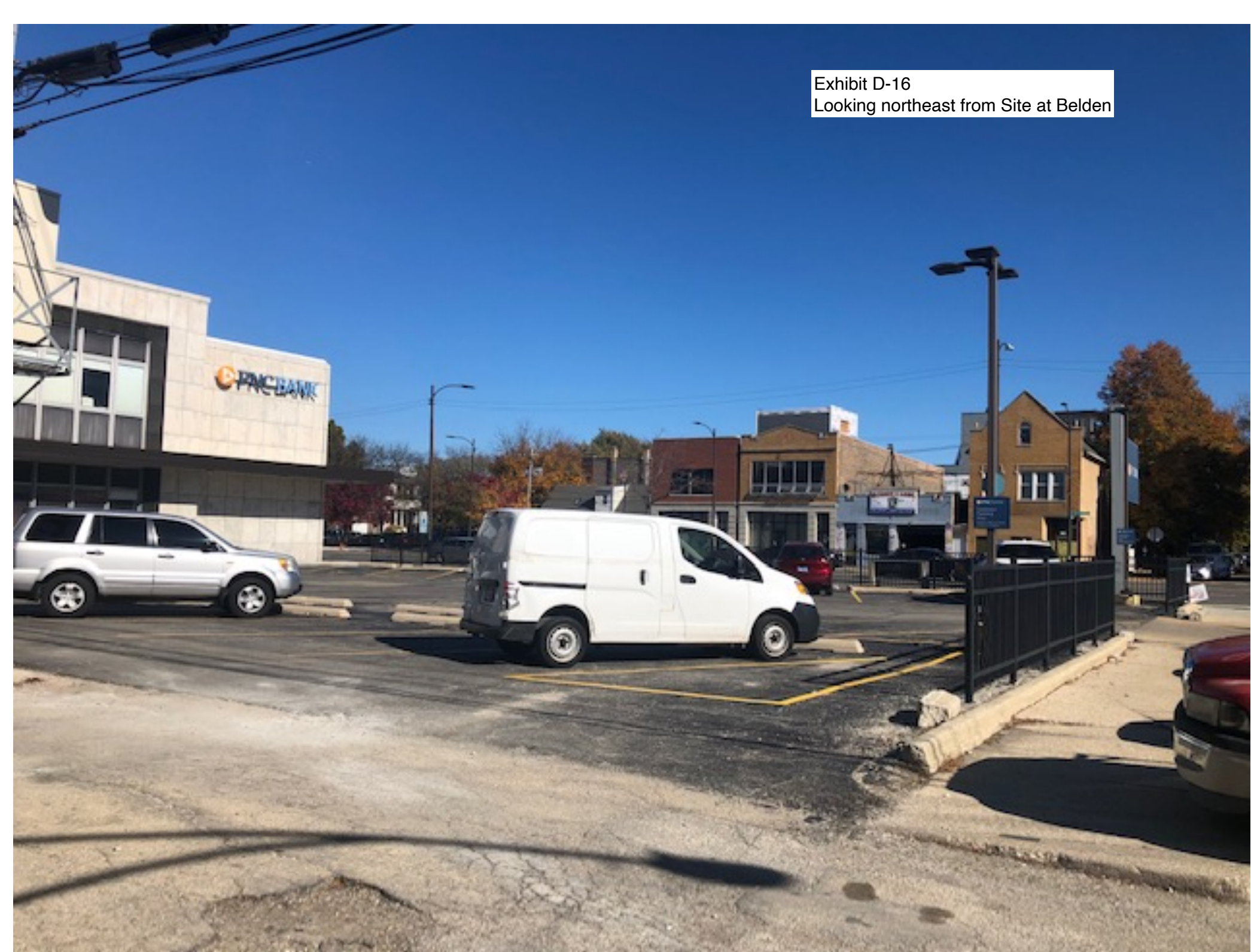




Exhibit D-17  
Looking west along north side of Belden from Site

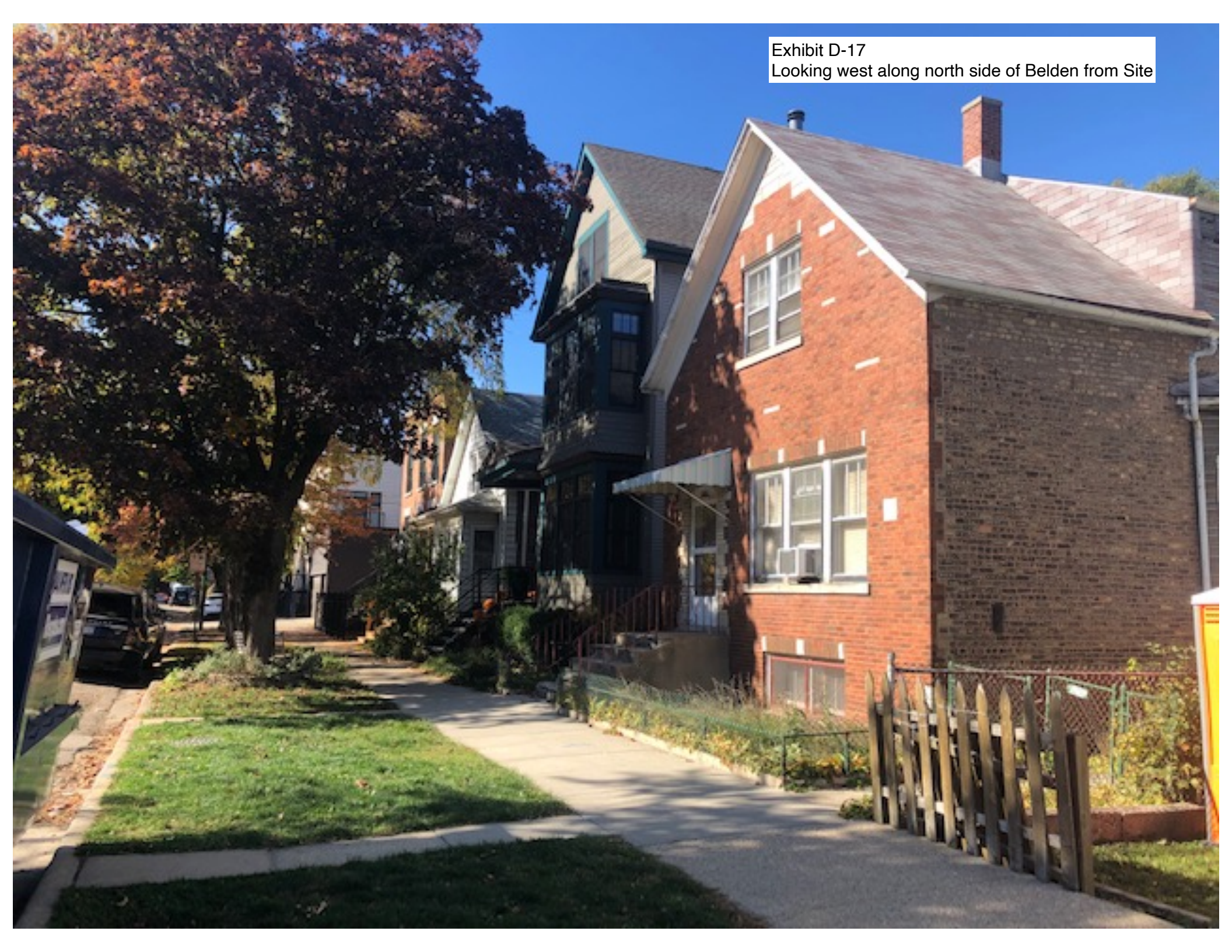




Exhibit D-18  
Looking east from across Site along Belden





Exhibit D-19  
Looking west along south side of Belden from Site

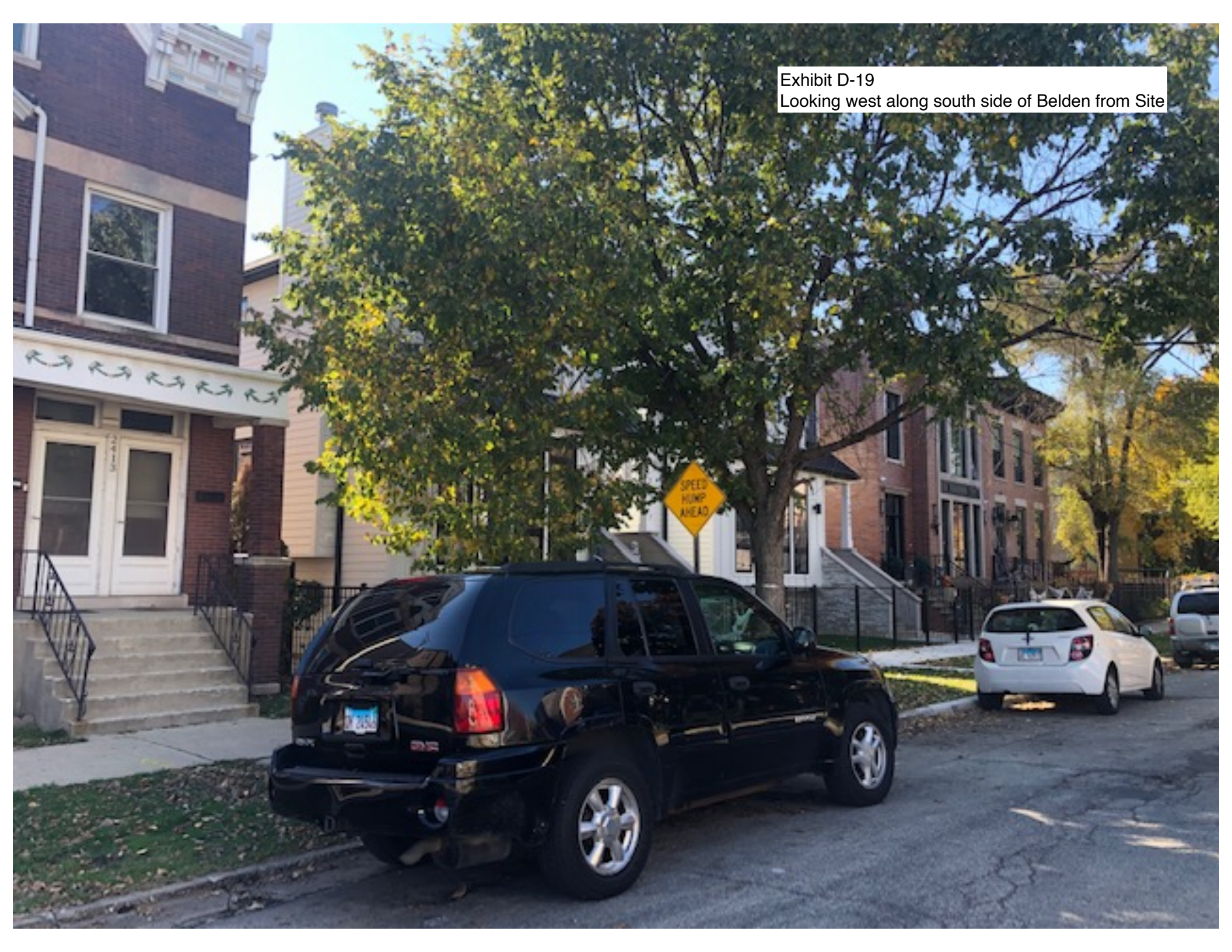




Exhibit D-20  
Rear of 2420 W. Belden





Exhibit D-21  
Rear of 2427 & 2425 W. Medill





Exhibit D-22  
Area buildings exceeding allowed FAR



2425 & 2427 W. Medill



2420 W. Belden



2530 & 2528 W. Belden



2415 W. Medill



2515 & 2517 W. Medill



2321 N. Campbell



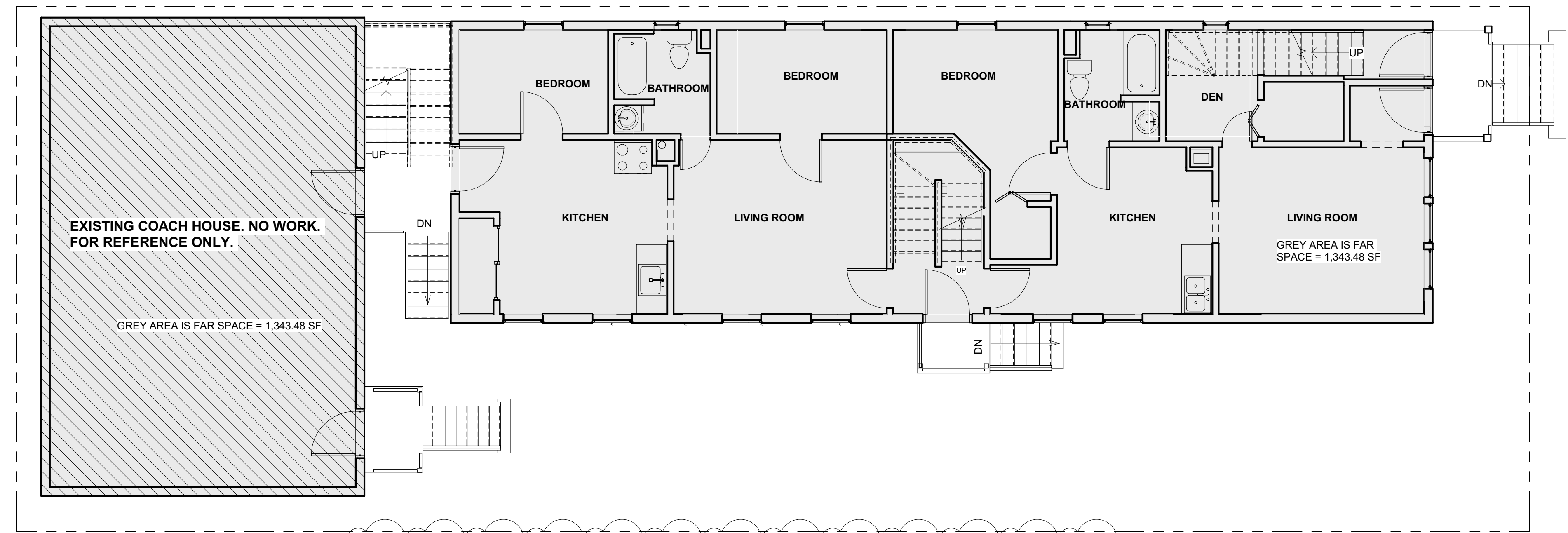




W By *[Signature]*

SELF CERTIFICATION

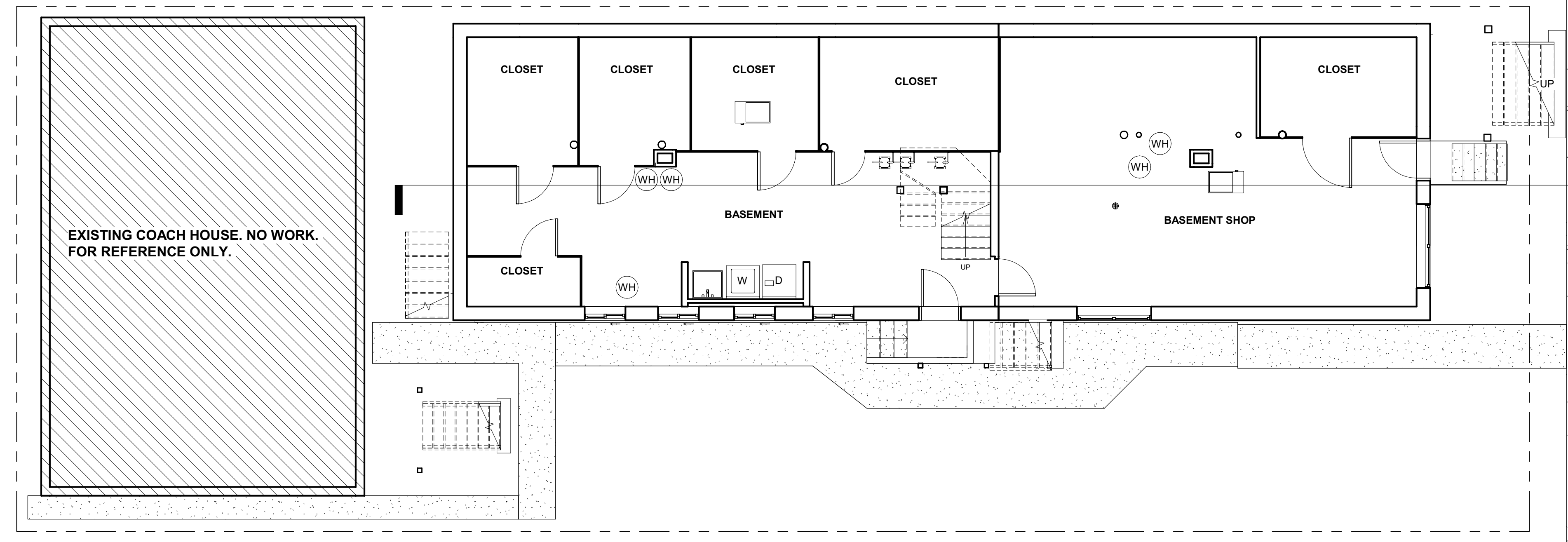
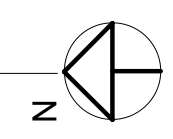
REMAIN  
 NEW WALL



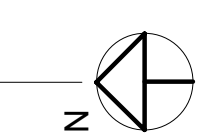
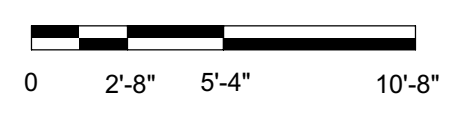
② 1ST FLOOR EXISTING PLAN  
3/16" = 1'-0"



SHADED AREAS ARE EXISTING FAR AREAS: COACH HOUSE: 703 SF. FRONT BUILDING: 1343.48 SF. TOTAL FIRST FLOOR FAR AREAS: 2046.48 SF



① BASEMENT EXISTING PLAN  
3/16" = 1'-0"



DATE	DESCRIPTION	No
06.14.22	ZONING CORRECTIONS	1
04/08/22	ISSUED FOR PERMIT	

**MAIN ARCHITECTURE**  
1332 North Halsted  
Suite 301  
Chicago, IL 60642  
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F 312.649.9508  
main-architecture.com  
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**BELDEN REMODELING**  
2412 W BELDEN AVE

**BASEMENT & 1ST FLOOR EXISTING PLANS**

# 21-016 Author

SHT. NO: **A101**

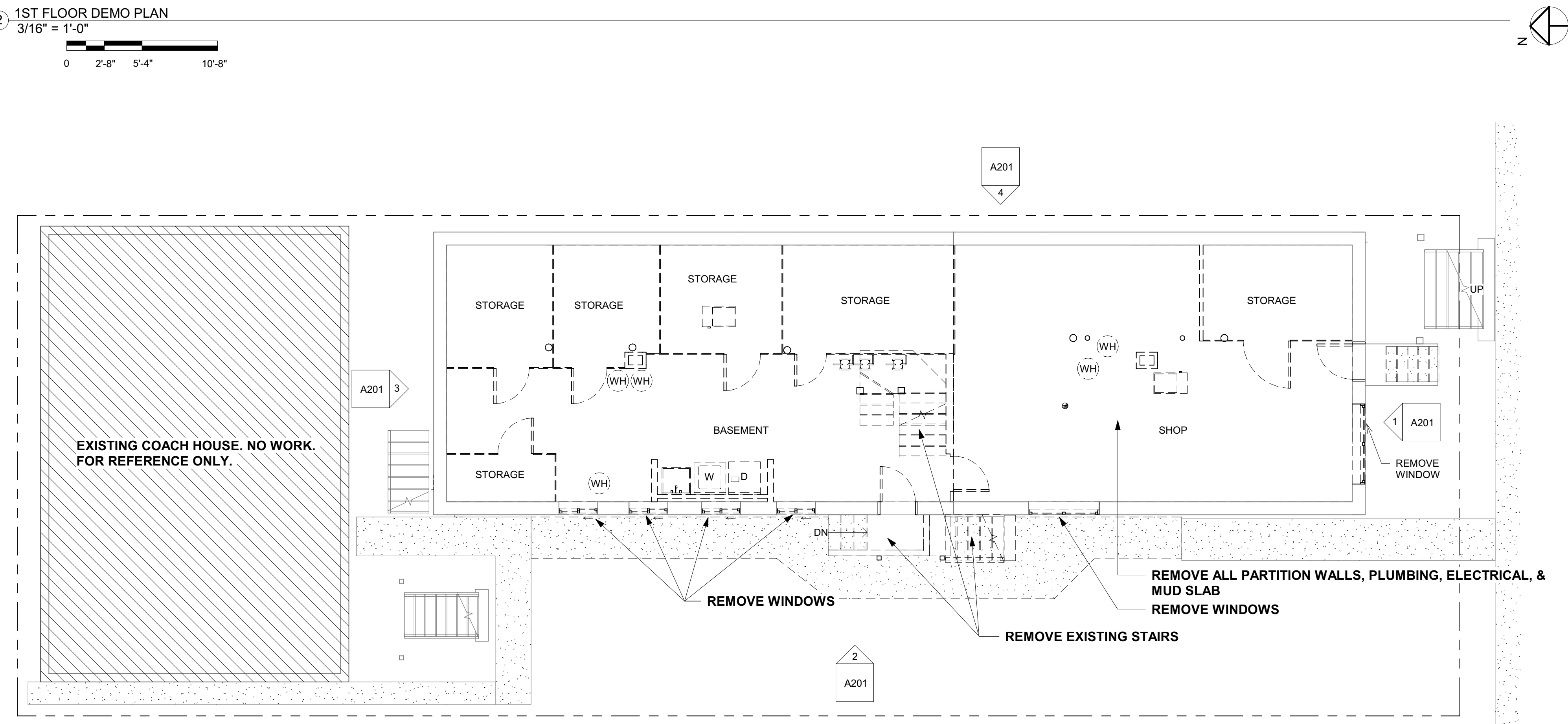
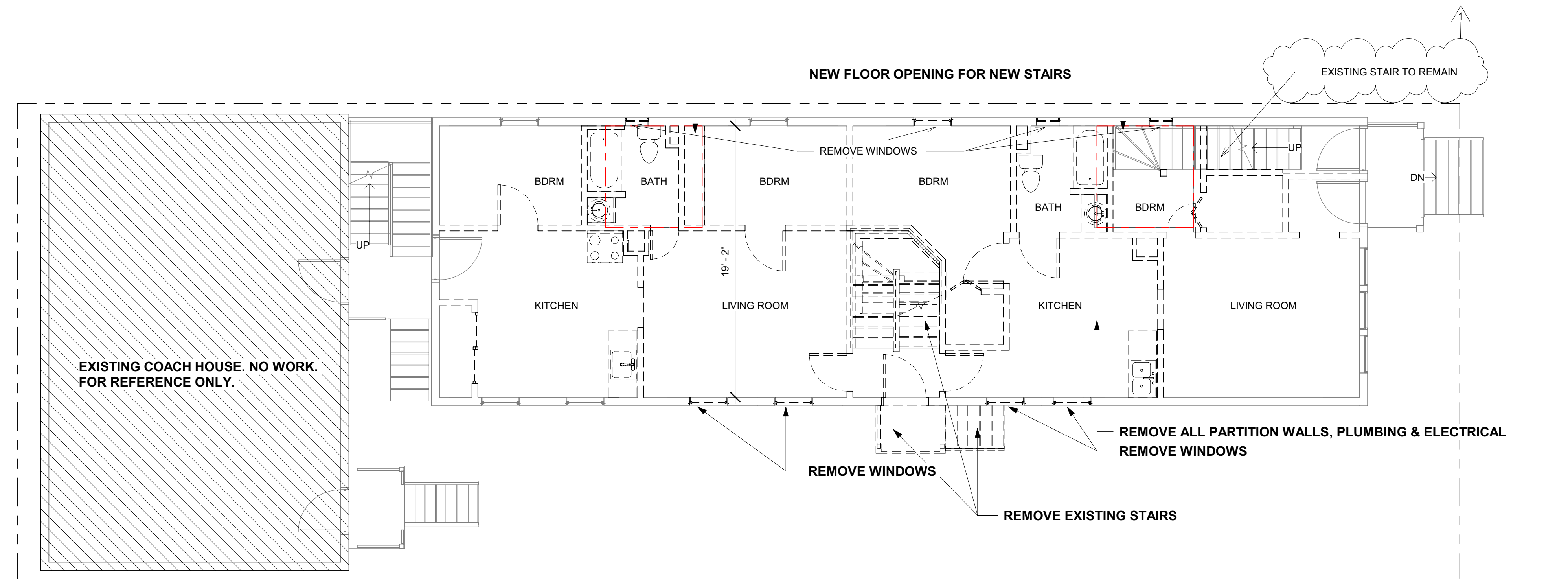






**SELECTIVE DEMOLITION NOTES:**

- REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
- EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
- SCHEDULE OF SELECTIVE DEMOLITION ACTIVITIES: INDICATE DETAILED SEQUENCE OF SELECTIVE DEMOLITION AND REMOVAL WORK, WITH STARTING AND ENDING DATES FOR EACH ACTIVITY, INTERRUPTION OF UTILITY SERVICES, USE OF ELEVATOR AND STAIRS, AND LOCATIONS OF TEMPORARY PARTITIONS AND MEANS OF EGRESS.
- LANDFILL RECORDS: INDICATE RECEIPT AND ACCEPTANCE OF HAZARDOUS WASTES BY A LANDFILL FACILITY LICENSED TO ACCEPT HAZARDOUS WASTES.
- REFRIGERANT RECOVERY TECHNICIAN QUALIFICATIONS: CERTIFIED BY AN EPA-APPROVED CERTIFICATION PROGRAM.
- REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- STANDARDS: COMPLY WITH ANSI A10.6 AND NFPA 241.
- PREDEMOLITION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE.
- CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
- NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT.
- STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
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- ENGAGE A PROFESSIONAL ENGINEER TO SURVEY CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION OPERATIONS.
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- SERVICES/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES.
- IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
- CUT OFF PIPE OR CONDUIT IN WALLS OR PARTITIONS TO BE REMOVED. CAP, VALVE, OR PLUG AND SEAL REMAINING PORTION OF PIPE OR CONDUIT AFTER BYPASSING.
- CONDUCT SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
  - NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING, TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES. TEMPORARILY COVER OPENINGS TO REMAIN.
  - CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.
- EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, OTCETED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- BURNING: DO NOT BURN DEMOLISHED MATERIALS.
- DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS.



DEPARTMENT OF BUILDINGS  
STANDARD PLAN REVIEW  
**CONDITIONAL PERMIT**  
Construction subject to full compliance with the Municipal Code of Chicago and field inspection by Building Commissioner

By *[Signature]*  
**SELF CERTIFICATION**

REMAIN  
NEW WALL

STATE OF ILLINOIS  
TODD MAIN  
001-009825  
LICENSED ARCHITECT

06.14.22	ZONING CORRECTIONS	1
04/08/22	ISSUED FOR PERMIT	
DATE	DESCRIPTION	No

**MAIN ARCHITECTURE**

1332 North Halsted  
Suite 301  
Chicago, IL 60642  
T 312.649.9484  
F 312.649.9508  
main-architecture.com  
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**BELDEN REMODELING**

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**BASEMENT & 1ST FLOOR DEMO PLANS**

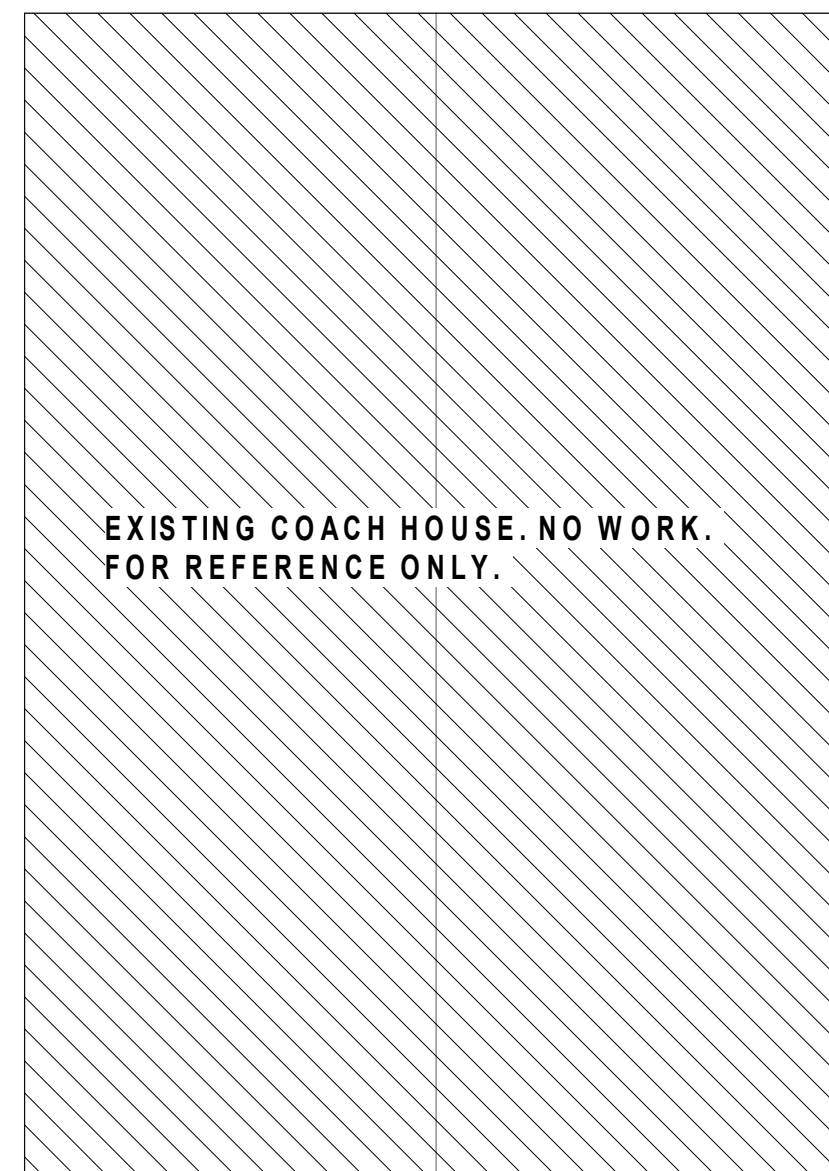
# 21-016 Author

SHT. NO: **A103**

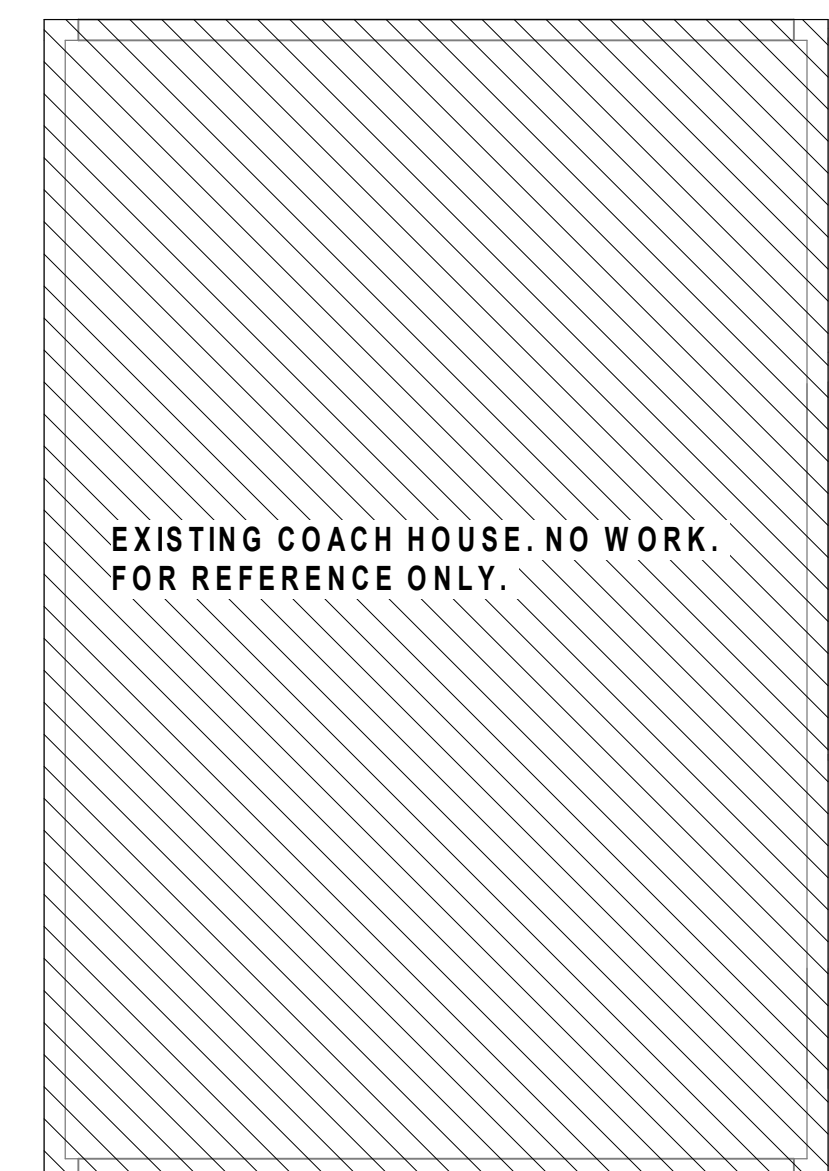
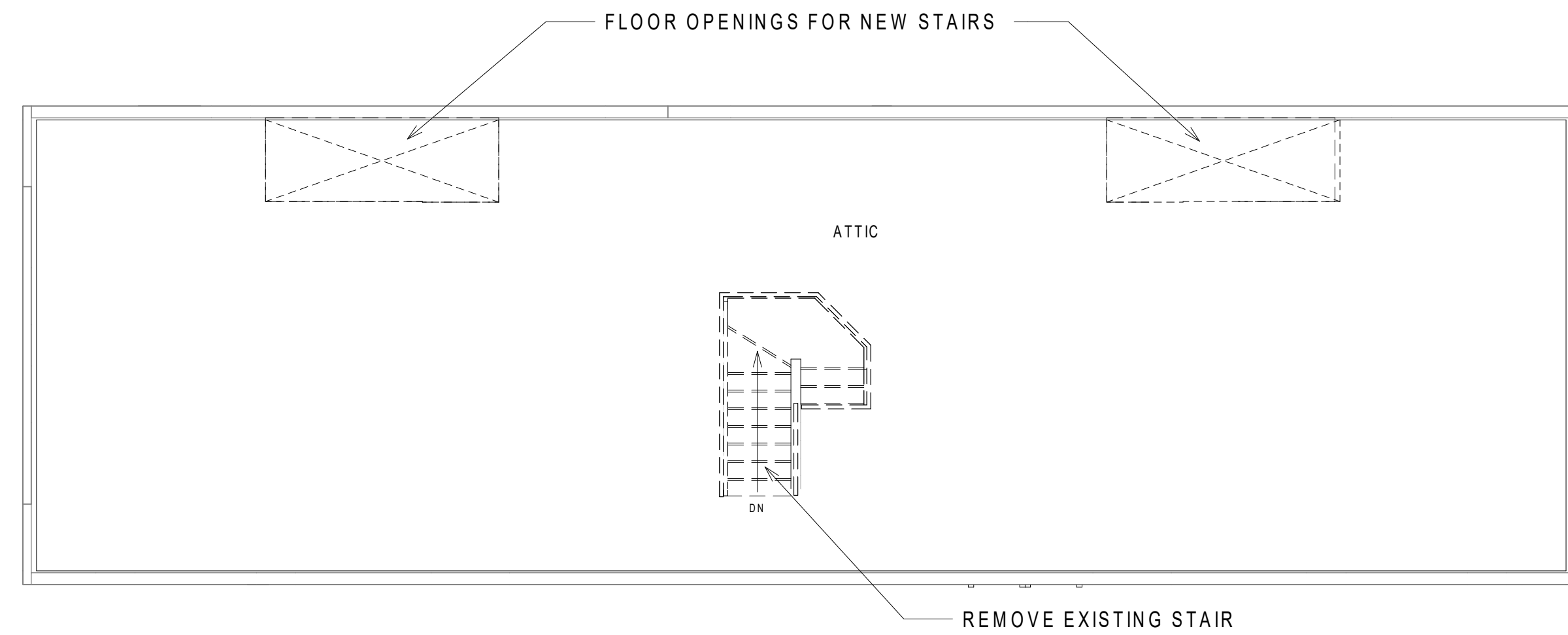
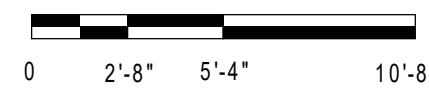


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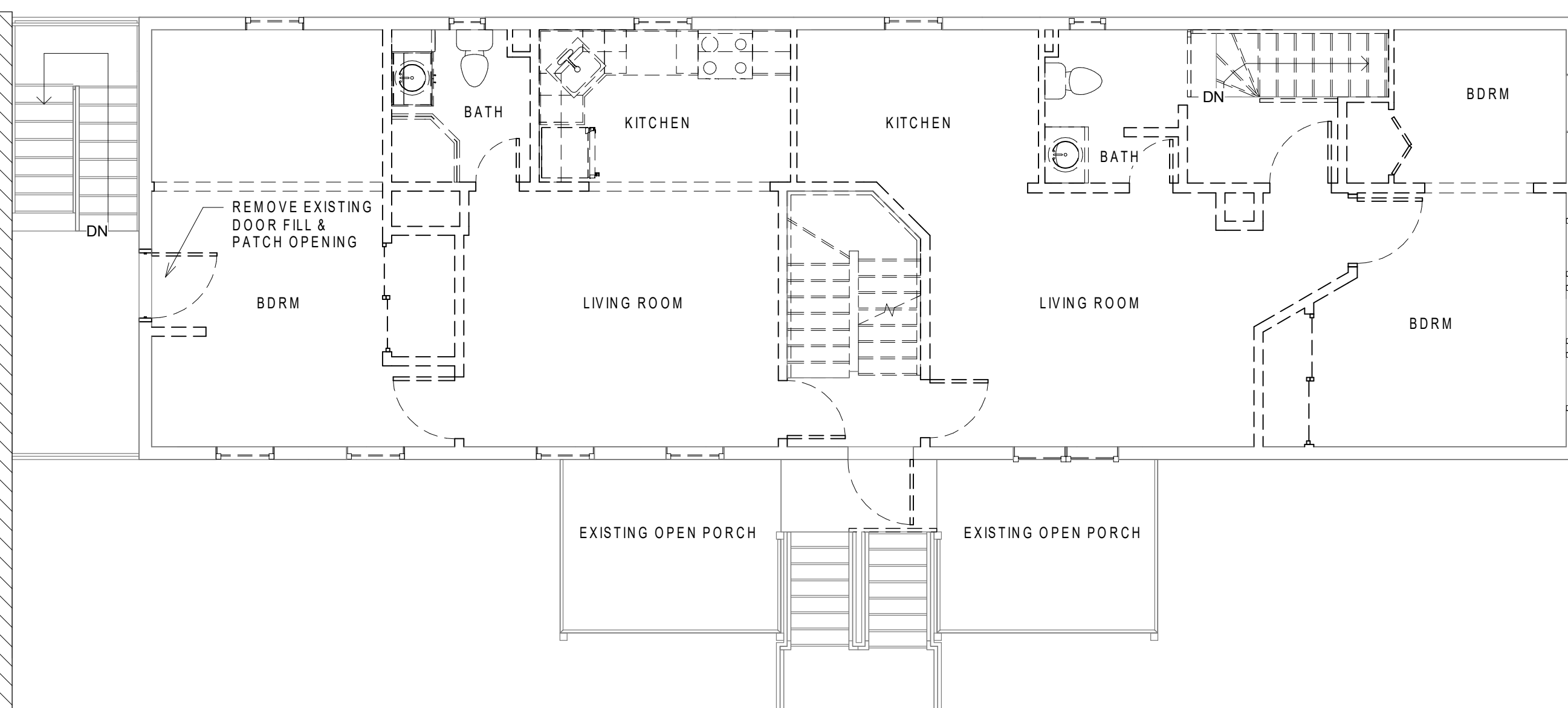
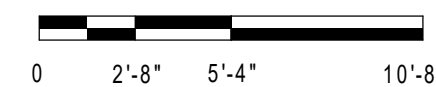
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- TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
- NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING, TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES. TEMPORARILY COVER OPENINGS TO REMAIN.
- CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.
- EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, DETECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- BURNING: DO NOT BURN DEMOLISHED MATERIALS.
- DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS.



2 ATTIC DEMO PLAN  
3/16" = 1'-0"



1 2ND FLOOR DEMO PLAN  
3/16" = 1'-0"



**WALL LEGEND**

- WALL TO BE DEMOLISHED
- █ EXISTING WALL TO REMAIN
- ▭ NEW WALL



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**2ND FLOOR & ATTIC DEMO PLAN**

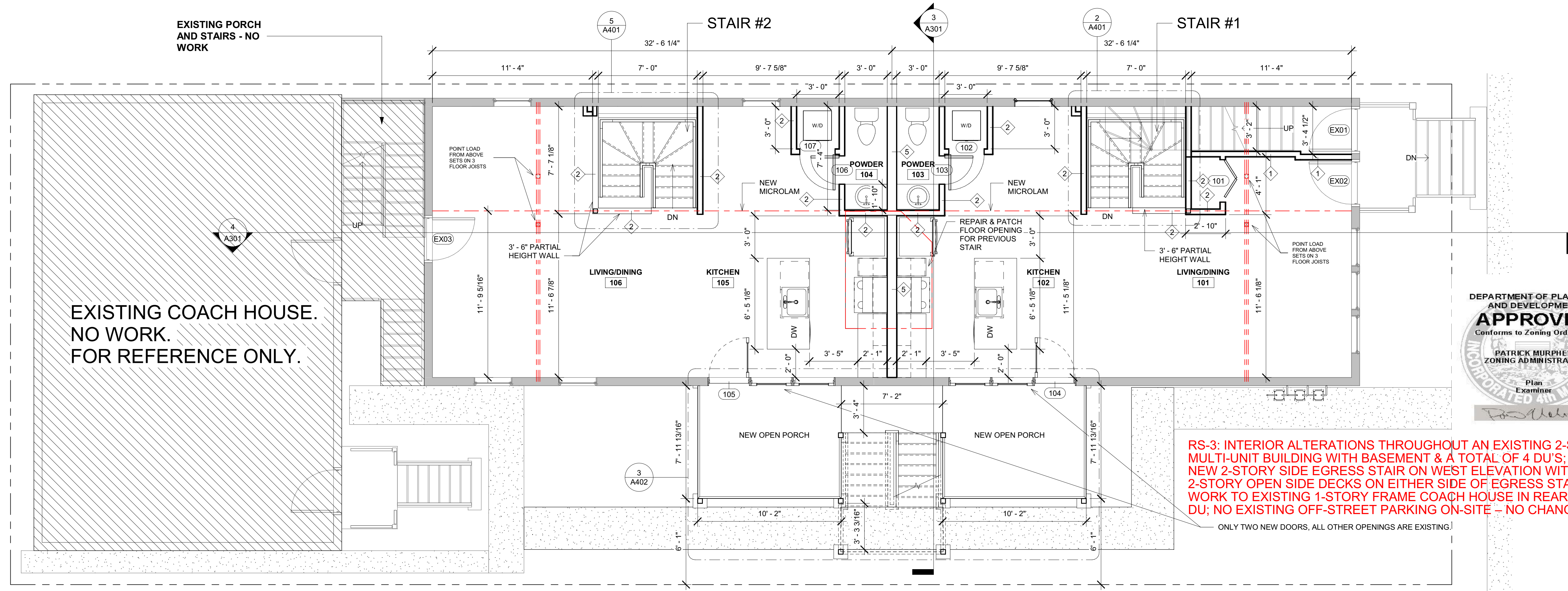
# 21-016 Author

SHT. NO. **A103**



By *[Signature]*  
**SELF CERTIFICATION**

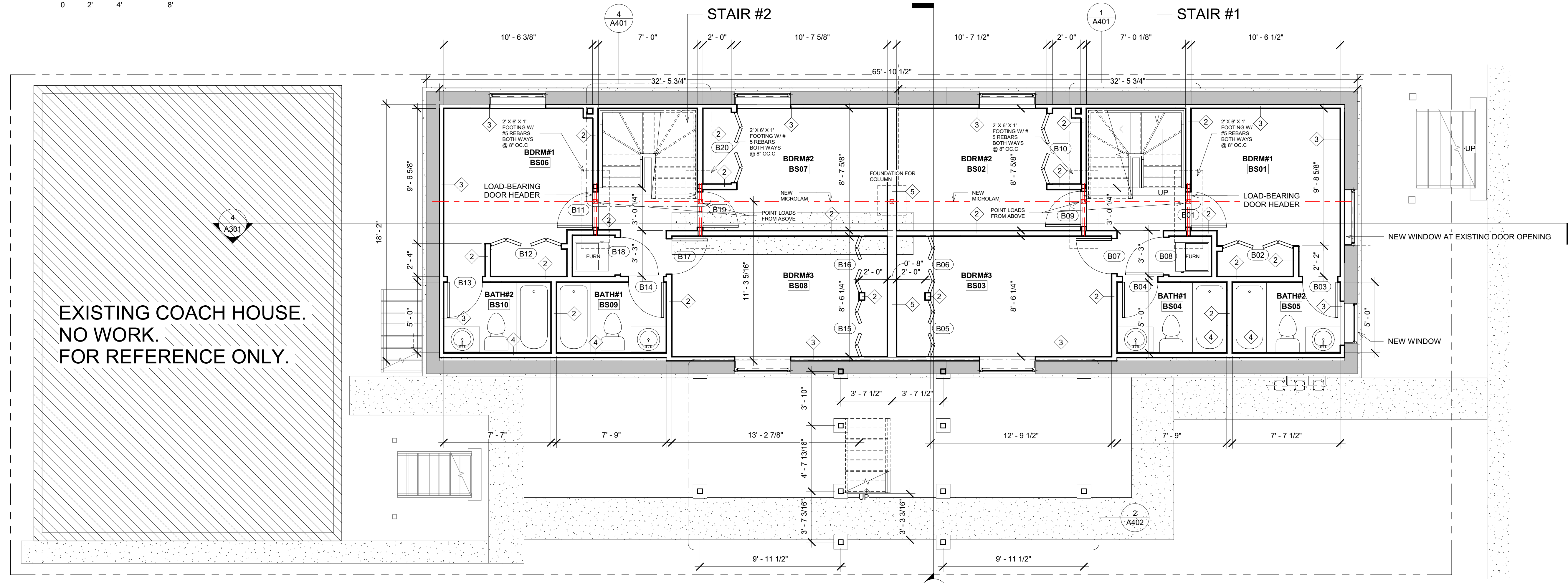
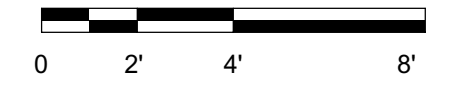
REMAIN  
NEW WALL



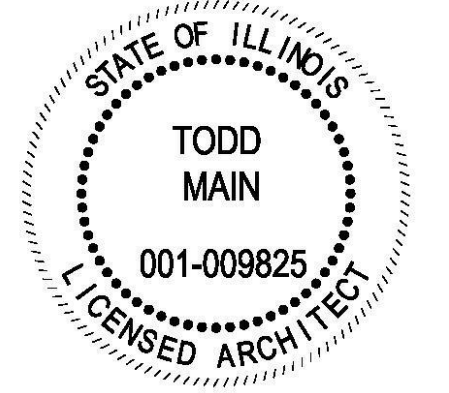
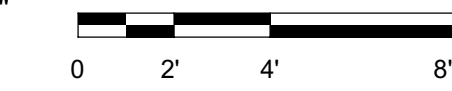
**RS-3: INTERIOR ALTERATIONS THROUGHOUT AN EXISTING 2-STORY MULTI-UNIT BUILDING WITH BASEMENT & A TOTAL OF 4 DU'S; ERECT A NEW 2-STORY SIDE EGRESS STAIR ON WEST ELEVATION WITH TWO 2-STORY OPEN SIDE DECKS ON EITHER SIDE OF EGRESS STAIR; NO WORK TO EXISTING 1-STORY FRAME COACH HOUSE IN REAR WITH 1 DU; NO EXISTING OFF-STREET PARKING ON-SITE - NO CHANGE.**

ONLY TWO NEW DOORS, ALL OTHER OPENINGS ARE EXISTING!

2 1ST FLOOR REMODELED PLAN  
1/4" = 1'-0"



1 BASEMENT REMODELED PLAN  
1/4" = 1'-0"



DATE	DESCRIPTION	No
06.14.22	ZONING CORRECTIONS	1
04/08/22	ISSUED FOR PERMIT	

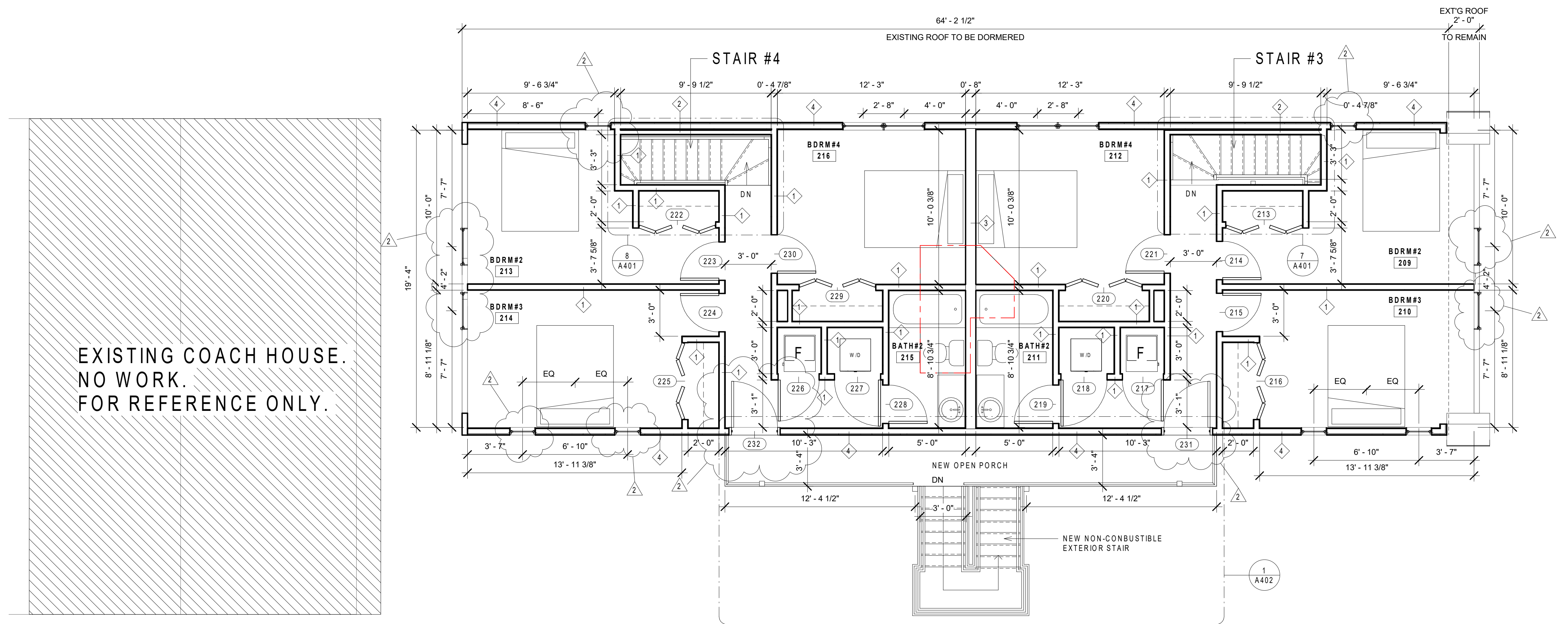
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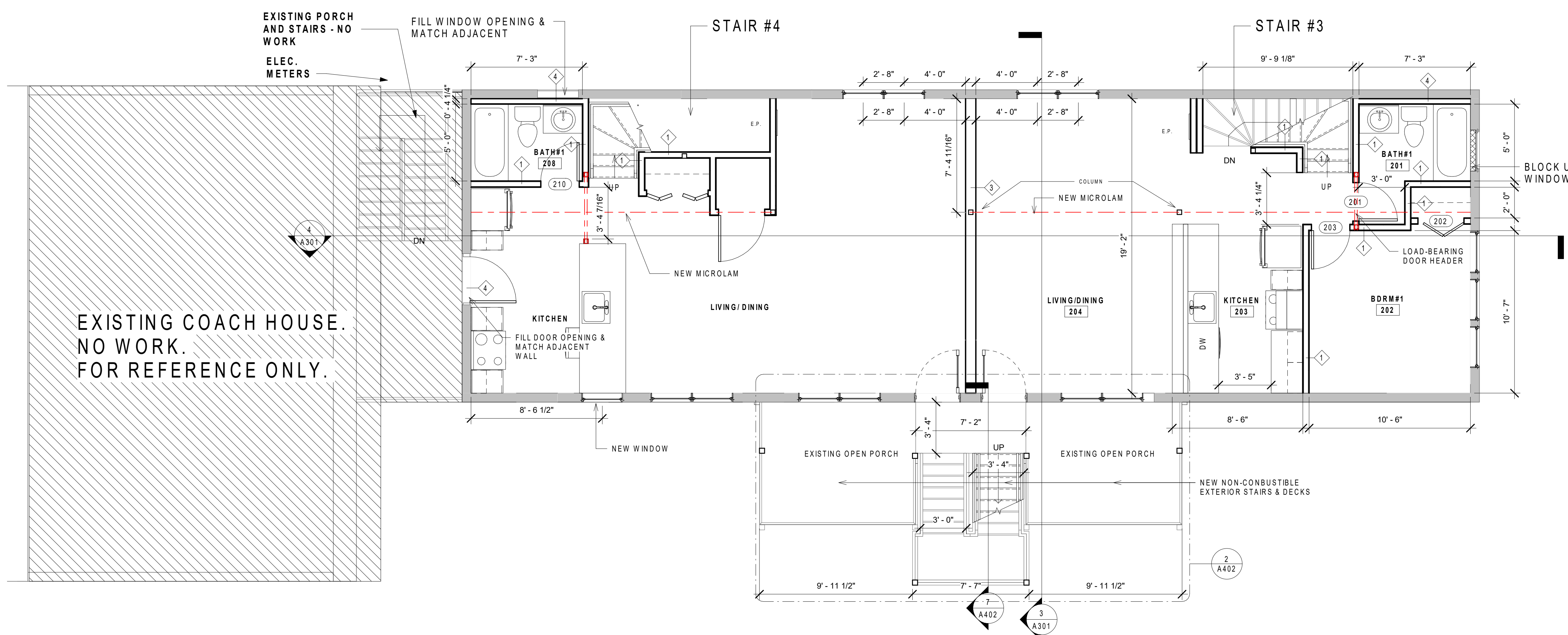
**BASEMENT & 1ST FLOOR REMODELED PLANS**

# 21-016 Author





2 REMODELED ATTIC PLAN  
1/4" = 1'-0"



3 2ND FLOOR REMODELED PLAN  
1/4" = 1'-0"

**WALL LEGEND**

	WALL TO BE DEMOLISHED
	EXISTING WALL TO REMAIN
	NEW WALL



DATE	DESCRIPTION	No
02/06/23	BUILDINGS CORRECTIONS	2
08/31/22	ISSUED FOR PERMIT	

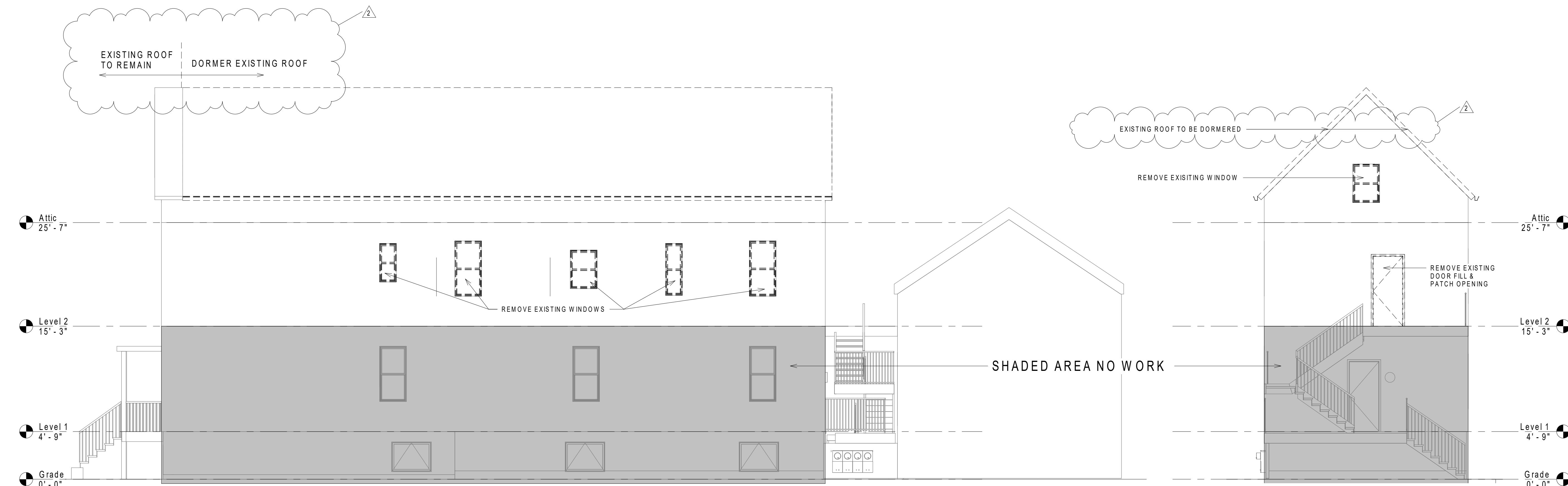
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**2ND FLOOR & ATTIC  
REMODELED PLAN**

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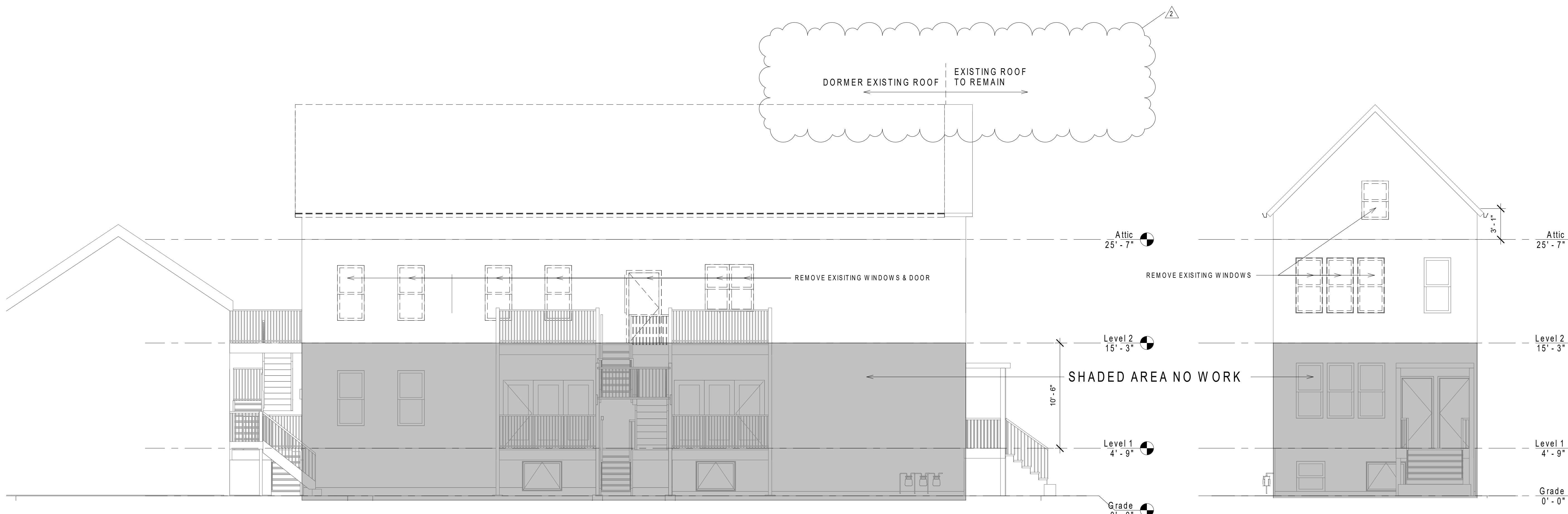
SHT. NO. **A104**





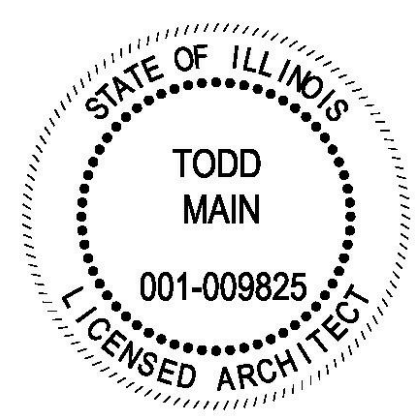
4 EXISTING/DEMO EAST ELEVATION  
3/16" = 1'-0"

3 EXISTING/DEMO NORTH ELEVATION  
3/16" = 1'-0"



2 EXISTING/DEMO WEST ELEVATION  
3/16" = 1'-0"

1 EXISTING/DEMO SOUTH ELEVATION  
3/16" = 1'-0"



DATE	DESCRIPTION	No
02.06.23	BUILDINGS CORRECTIONS	2
08/31/22	ISSUED FOR PERMIT	

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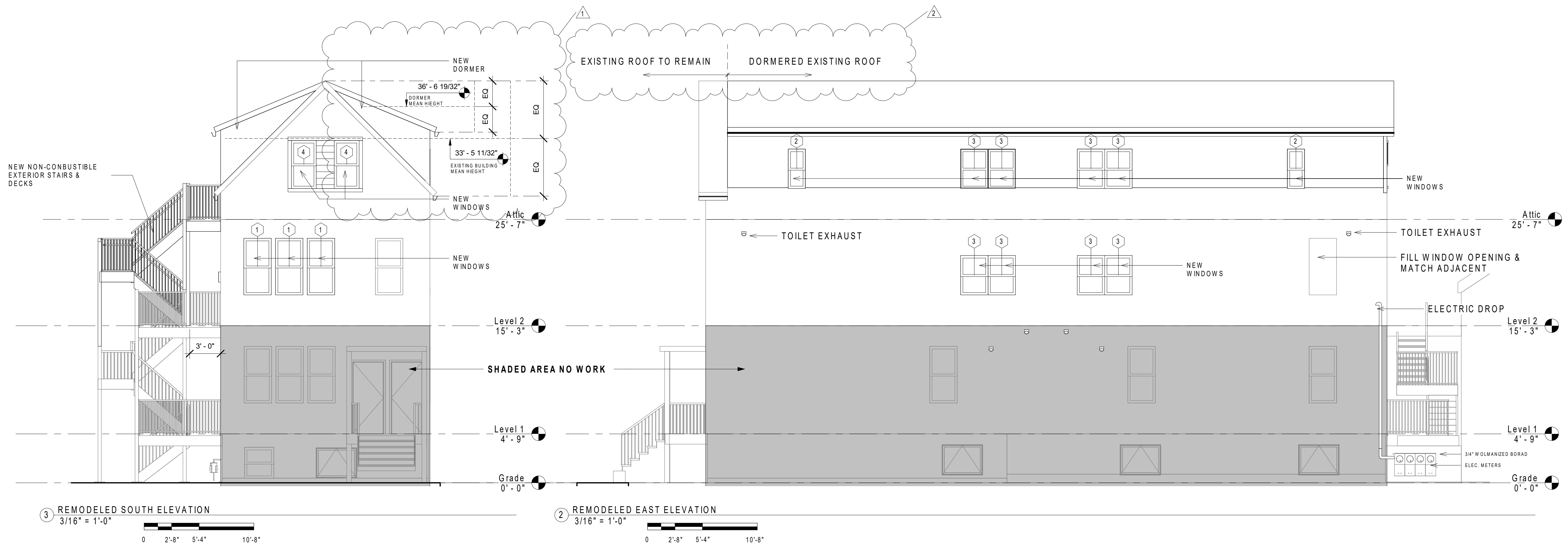
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**EXISTING & DEMO BUILDING ELEVATIONS**

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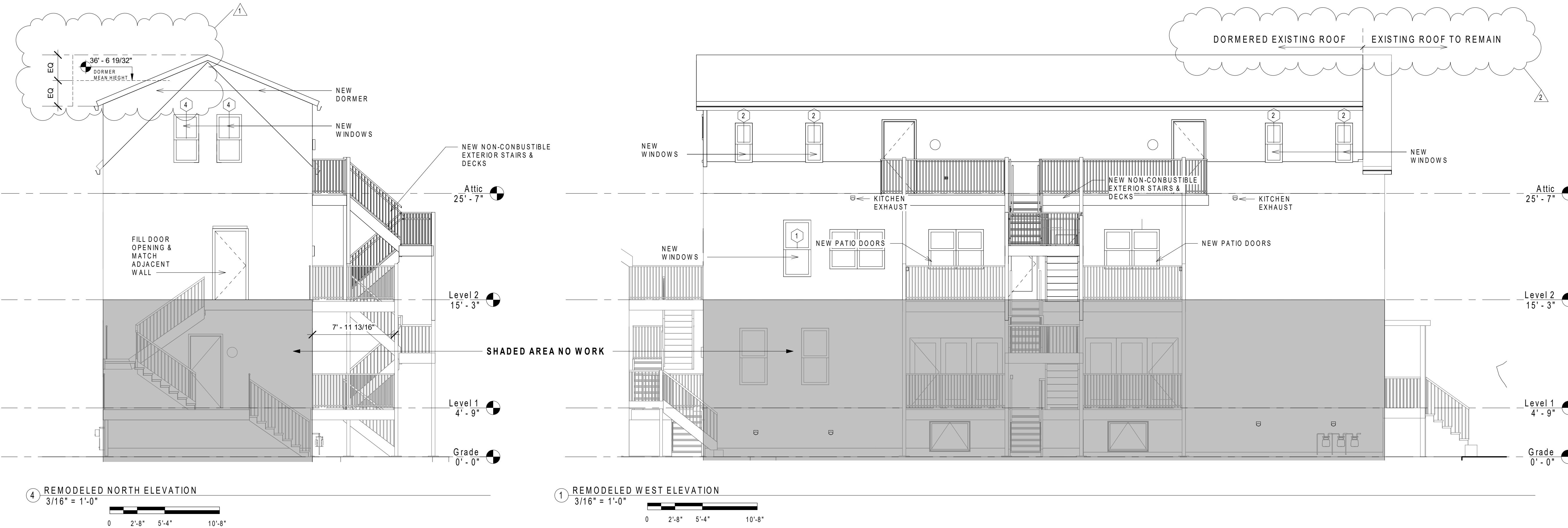
SHT. NO. **A201**





3 REMODELED SOUTH ELEVATION  
3/16" = 1'-0"

2 REMODELED EAST ELEVATION  
3/16" = 1'-0"



4 REMODELED NORTH ELEVATION  
3/16" = 1'-0"

1 REMODELED WEST ELEVATION  
3/16" = 1'-0"



DATE	DESCRIPTION	No
02.06.23	BUILDINGS CORRECTIONS	2
12.21.22	ZONING CORRECTIONS	1
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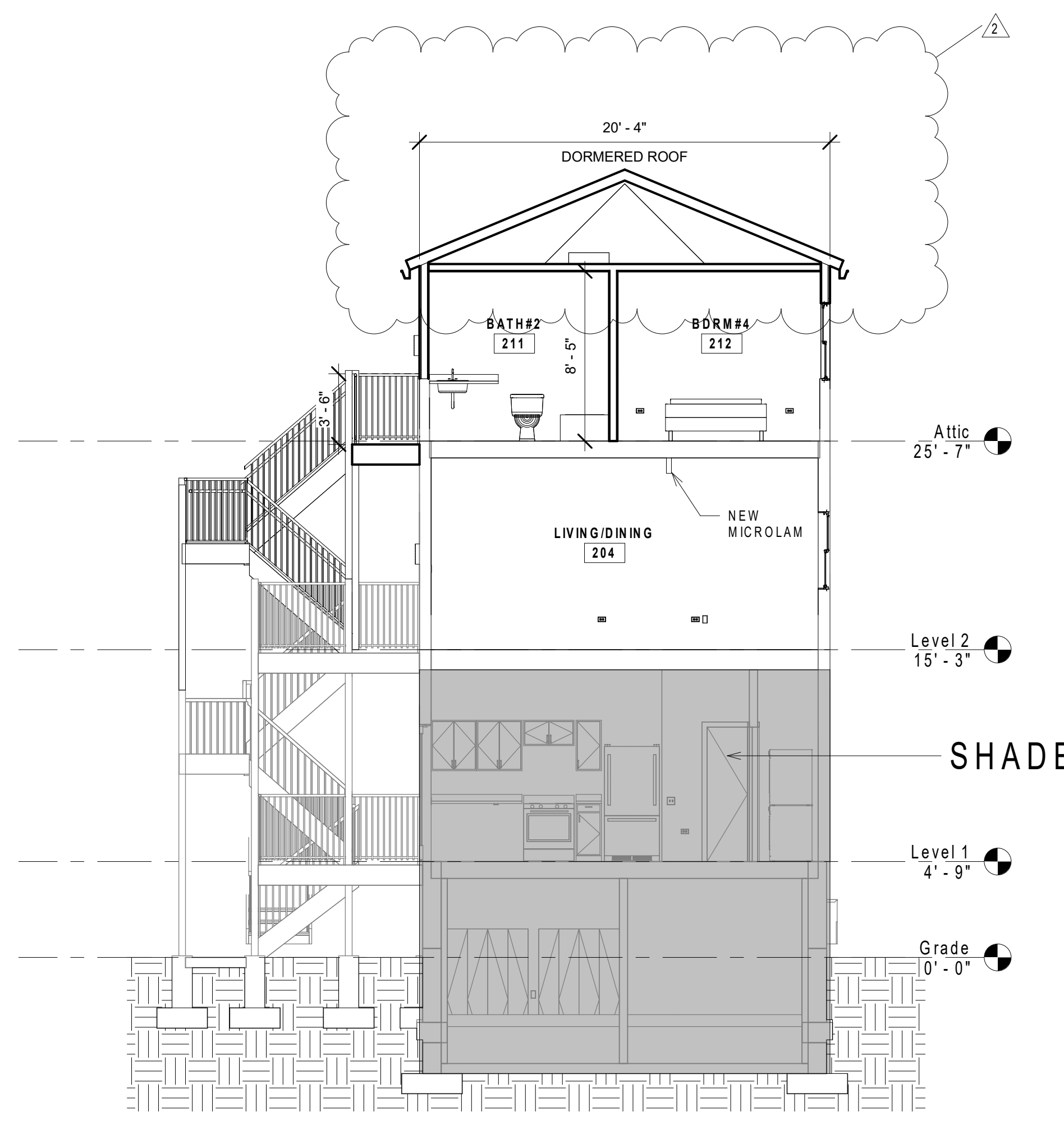
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**REMODELED BUILDING ELEVATIONS**

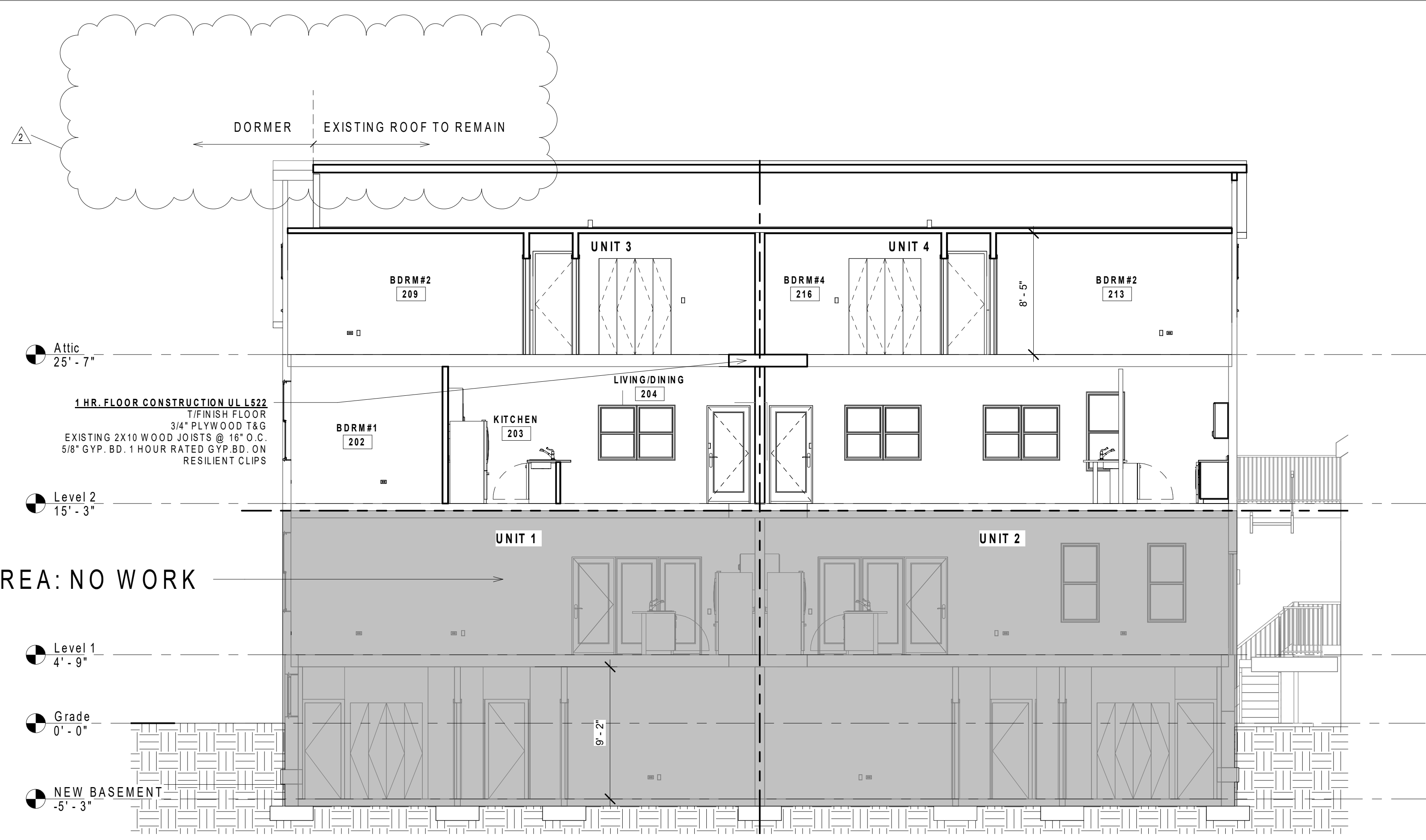
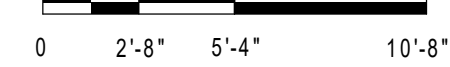
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SHT. NO. **A202**

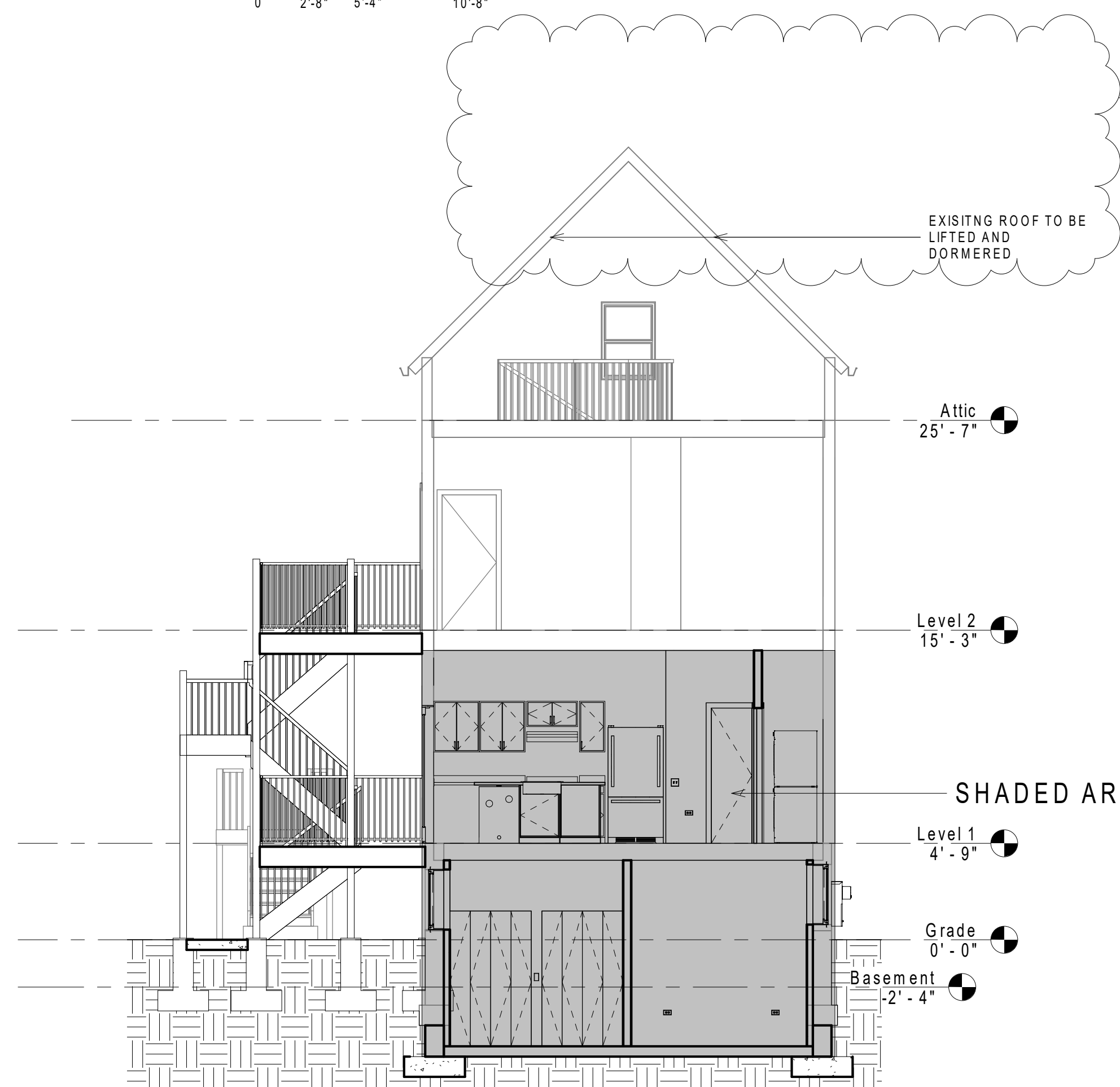
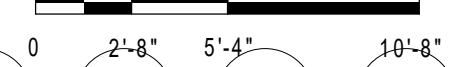




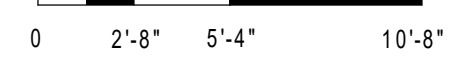
③ REMODELED BUILDING SECTION  
3/16" = 1'-0"



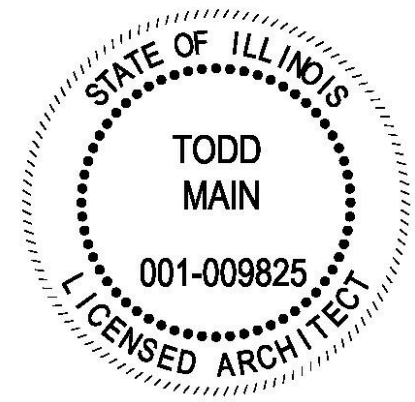
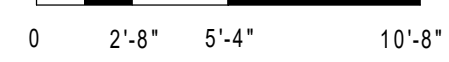
④ REMODELED BUILDING SECTION  
3/16" = 1'-0"



① EXISTING BUILDING SECTION  
3/16" = 1'-0"



② EXISTING BUILDING SECTION  
3/16" = 1'-0"



02.06.23	BUILDINGS CORRECTIONS	2
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EXISTING &  
REMODELED BUILDING  
SECTIONS

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