

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: 2417 N. ANTESIAN Date: 7/29/2016
Project Address: 2417 N. ANTESIAN Proposed Zoning: RT-4
Developer/Owner: JOHN DOWNES Current Zoning: RS-3
Architect: MIKE MAROSSO Zoning of Adjacent Area: RS-3 (NORTH) / B3-2 (SOUTH)
Contact Phone Number: 312-782-1983 Email: nick@sambankslaw.com
(NICK FITZAS - ATTORNEY)
Proposed Variences

ZONING CHANGE FROM RS-3 TO RT-4 (NO ZBA ANTICIPATED)

Dwelling Units: 3 Type: Condo
Lot Dimensions: 25' x 126' ft. x ft. Lot Area: 3150 s.f.

Proposed Floor Area: 3780 s.f. (new) (ALL NEW) s.f. (existing) s.f. (addition)

FAR: 1.2 (existing) 1.2 (proposed) Building area excluded from FAR: 1521 s.f. (BASEMENT LEVEL)

Green space (unpaved): 220 s.f. 7 % of lot area

Proposed MLA: 1050 Allowed MLA: 1000

Proposed Parking: 3 spaces Zoning Required Parking: 3 spaces

Building Height Proposed: 37 ft. Allowed: 38 ft. At highest point: XTBD BY ARCHITECT. ft.

Proposed front yard setback: 10'-2" ft. Required front yard setback: 10'-2" ft.

Proposed side yard setback: 3'-6" ft. Required side yard setback: 2 ft.
* NORTH SIDE - 3'-6" / SOUTH SIDE - 2' NORTH SIDE - 2' / SOUTH SIDE - 0 (ALLEY SIDE)

Proposed rear yard setback: 37'-10" ft. Required rear yard setback: 37'-10" ft.

Are there any existing buildings on site? yes describe: FRAME SINGLE FAMILY HOME

Will any (or all) be demolished? yes - complete redevelopment

Other Remarks: _____

See attached Plans and Surveys

ZONING INFORMATION				
ZONING CLASSIFICATION:	RT-4	400 SQ.FT./ LAND UNIT	NUMBER OF UNITS ALLOWED PER ZONING:	6.0
LOT DIMENSIONS:	SEE PLAN -			
LOT AREA:	3,150 SQ. FT.	X 1.2=	MAXIMUM BUILD ABLE SQUARE FOOTAGE=	3,780
			ACTUAL SQUARE FOOTAGE PER PLANS:	3,780

ZONING SET BACK INFORMATION			
SET BACK LOCATION	CODE DESCRIPTION	REQUIRED	ACTUAL
FRONT YARD SETBACK REQUIREMENT:	AVERAGE OF 2	10'-2"	10'-2"
SIDE YARD SETBACK REQUIREMENT:	10% NON-CORNER NONE FOR CORNER	3'-0"	3'-6"
		0'-0"	2'-0"
REAR YARD SETBACK REQUIREMENT:	30% OF LOT	37'-10"	37'-10"
MAXIMUM MEAN HEIGHT ALLOWED:	TO BOTTOM OF FLAT ROOF	38'-0"	38'-0"
REAR YARD OPEN SPACE REQUIREMENT			
OPEN SPACE	CODE DESCRIPTION	REQUIRED	ACTUAL
OPEN SPACE REQUIREMENT:	6.5% OF LOT AREA	205 SF	220 SF

UNIT SQUARE FOOTAGE		
DUPLEX BASEMENT TO 1ST FLOOR.	2,676 SQ. FT.	1ST FLR= 1,260 SF. BASEMENT= 1,460 SF
2ND FLOOR SIMPLEX UNIT.	1,260 SQ. FT.	SINGLE FLOOR
3RD FLOOR SIMPLEX UNIT.	1,260 SQ. FT.	SINGLE FLOOR



MM SURVEYING CO., INC.

PROFESSIONAL DESIGN FIRM NO.184-003233

PLAT OF SURVEY OF

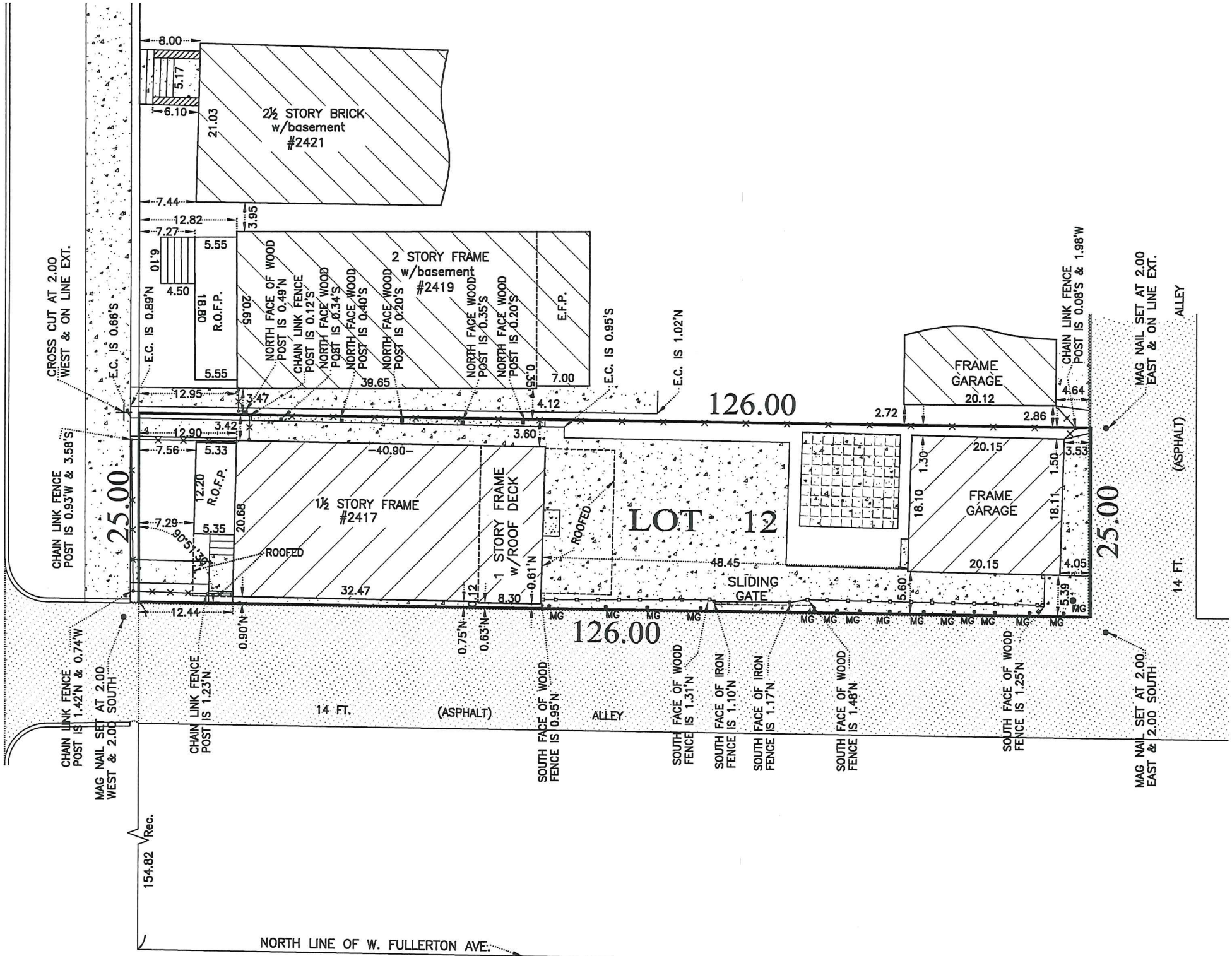
PHONE: (773) 282-5900
FAX: (773) 282-9424
EMAIL: MMSURVEY1285@SBCGLOBAL.NET

LOT 12 IN BLOCK 29 IN ALBERT CROSBY AND OTHERS SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA = 3,150 Sq. Ft. = 0.07 Ac.

COMMONLY KNOWN AS: #2417 N. ARTESIAN AVE., CHICAGO, IL

N. ARTESIAN AVE.



LEGEND :

- IRON FENCE
- CHAIN LINE FENCE
- CONCRETE PAVEMENT
- CONCRETE BLOCK PAVEMENT
- BRICK PAVEMENT
- O.M.P. - OPEN METAL PORCH
- O.C.P. - OPEN CONCRETE PORCH
- O.F.P. - OPEN FRAME PORCH
- E.F.P. - ENCLOSE FRAME PORCH
- R.O.F.P. - ROOFED OPEN FRAME PORCH
- E.C. - EDGE OF CONCRETE
- PL - PROPERTY LINE
- MG - METAL GUARD

STATE OF ILLINOIS }
COUNTY OF COOK } SS

WE, M M SURVEYING CO., INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATE: 04-25-2016

SIGNATURE: *J. Domrozych*

REG. ILL. LAND SURVEYOR NO. 35-3758
LIC. EXP. NOVEMBER 30, 2016

ORDER NO. 86515

SCALE: 1 INCH = 16 FEET

FIELDWORK COMPLETION DATE: APRIL 21, 2016

ORDERED BY: MIKE MARESSO

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE, ETC.
LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND MUST BE COMPARED WITH DEED AND/OR TITLE POLICY.
DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



**2417 NORTH ARTESIAN AVE.
CHICAGO IL, 60647**

same side block photos.

2417



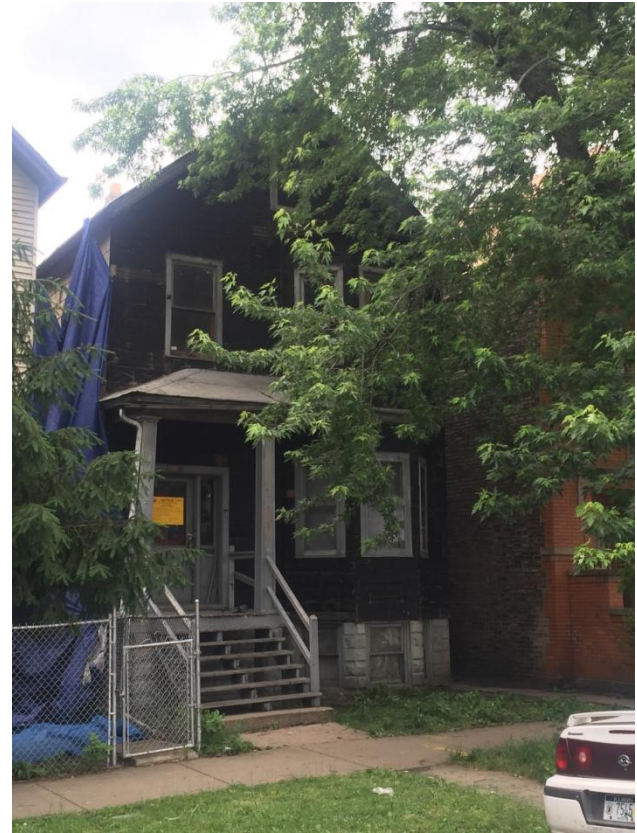
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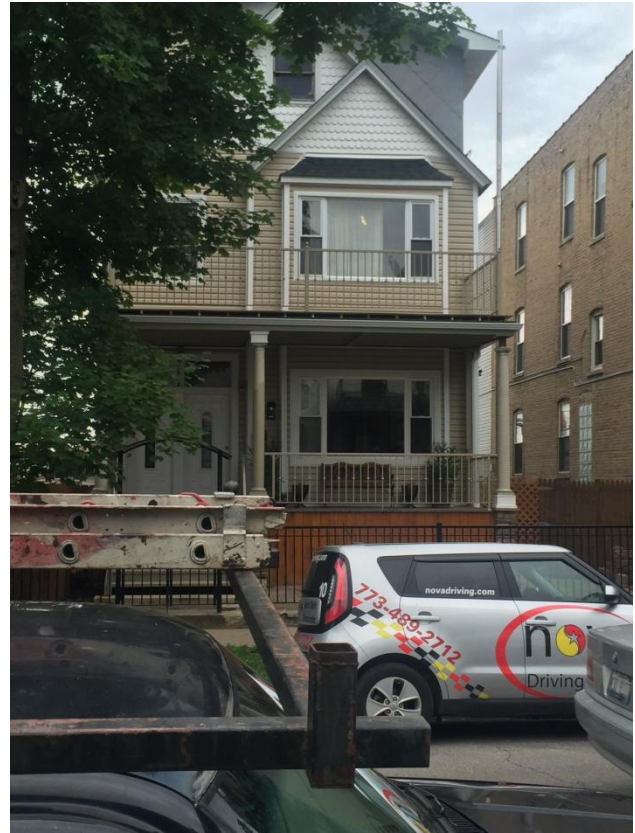
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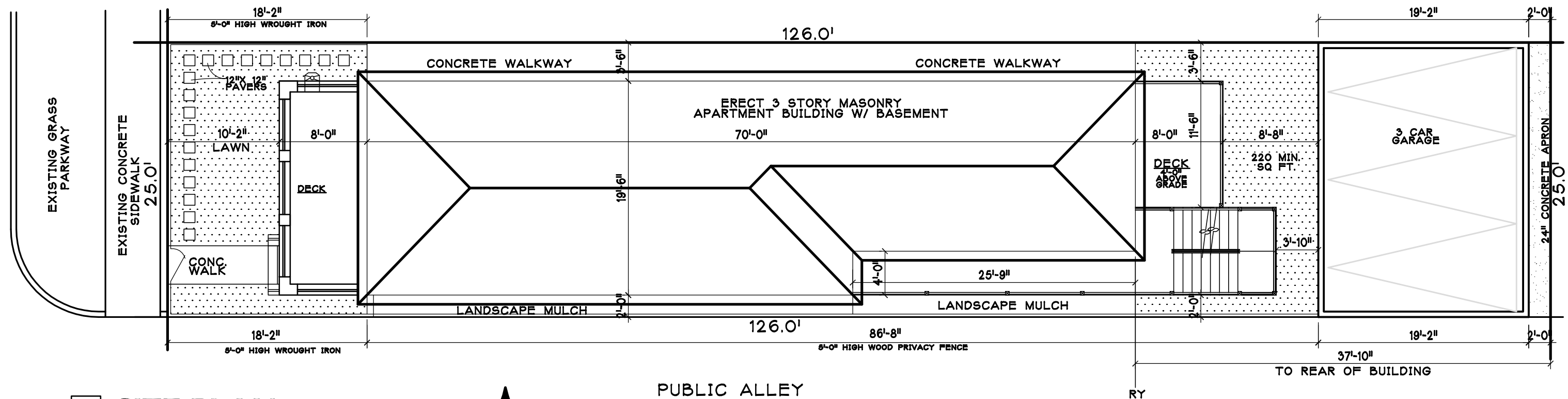
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2455



2417 NORTH
ARTESIAN AVE.



1 SITE PLAN

SCALE: 1/8" = 1'-0"

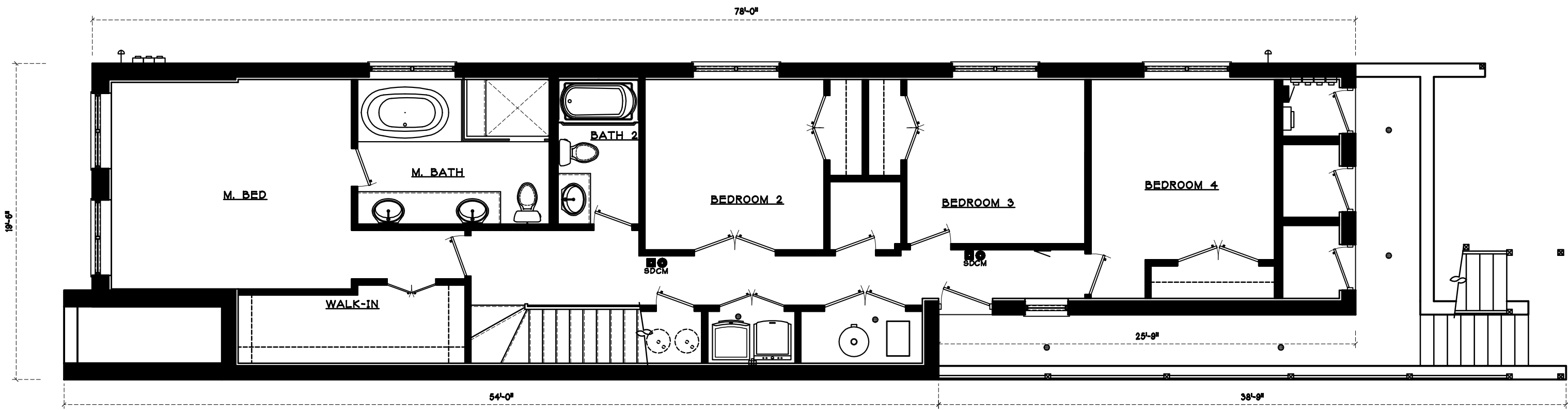


PUBLIC ALLEY

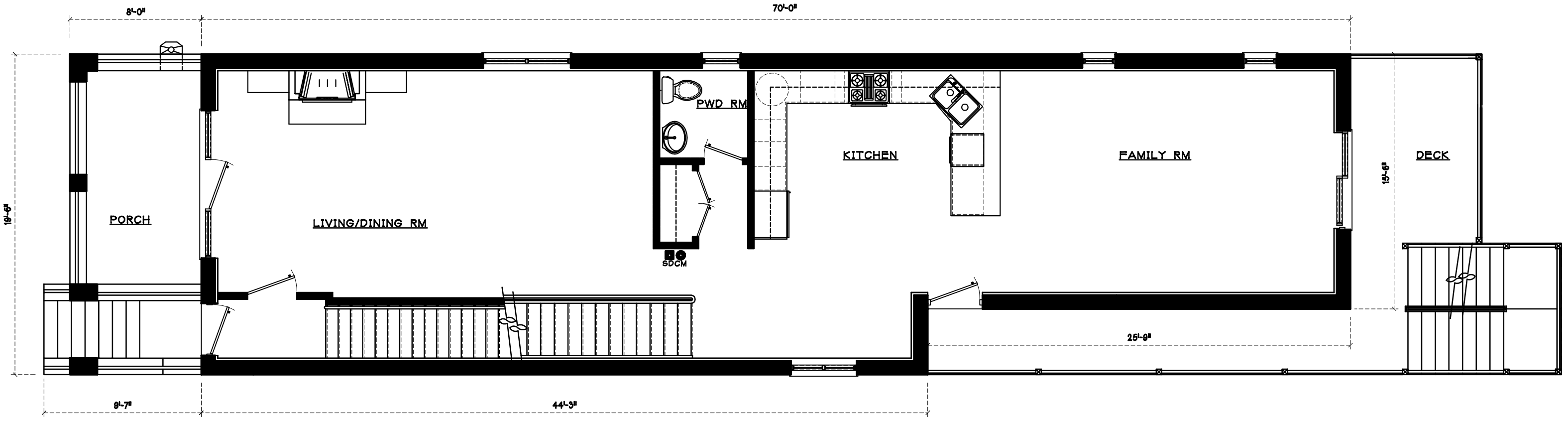
RY

TO REAR OF BUILDING

PUBLIC ALLEY

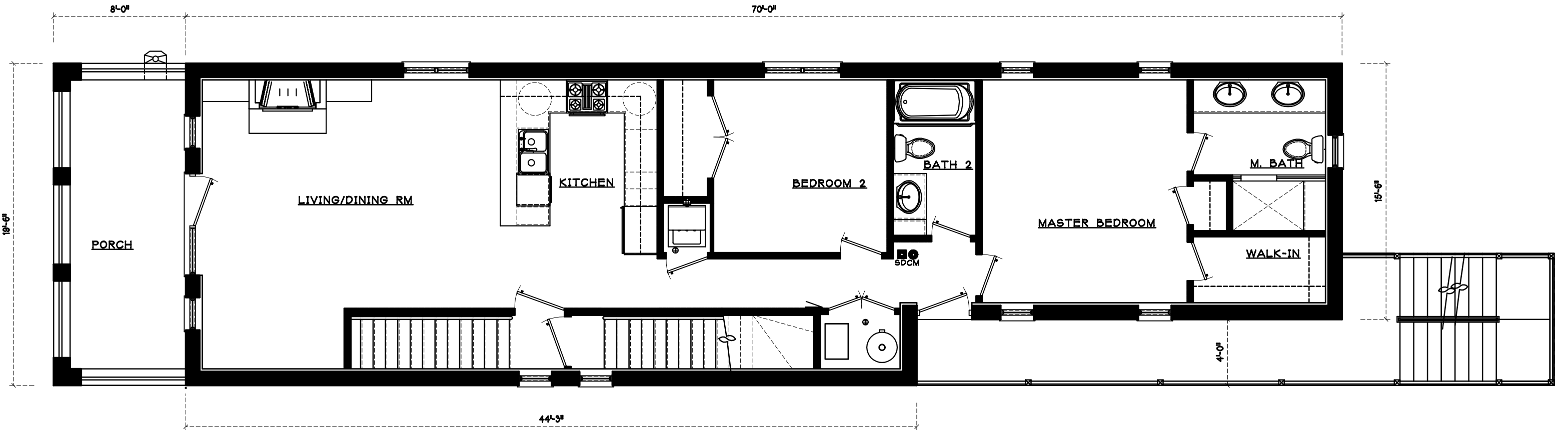


1 BASEMENT FLOOR PLAN 



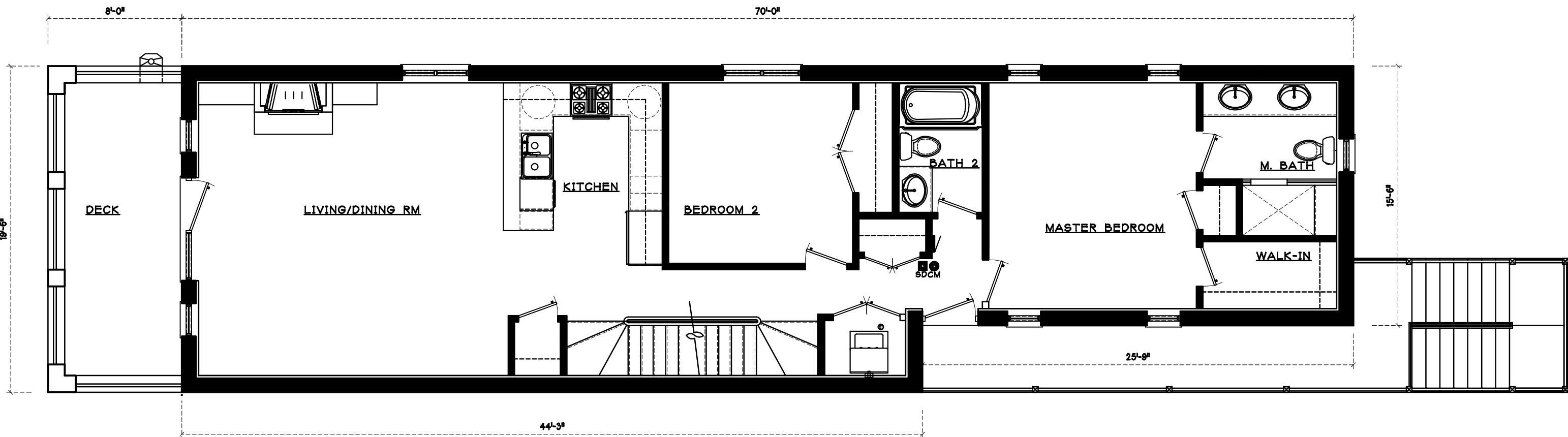
2 FIRST FLOOR PLAN





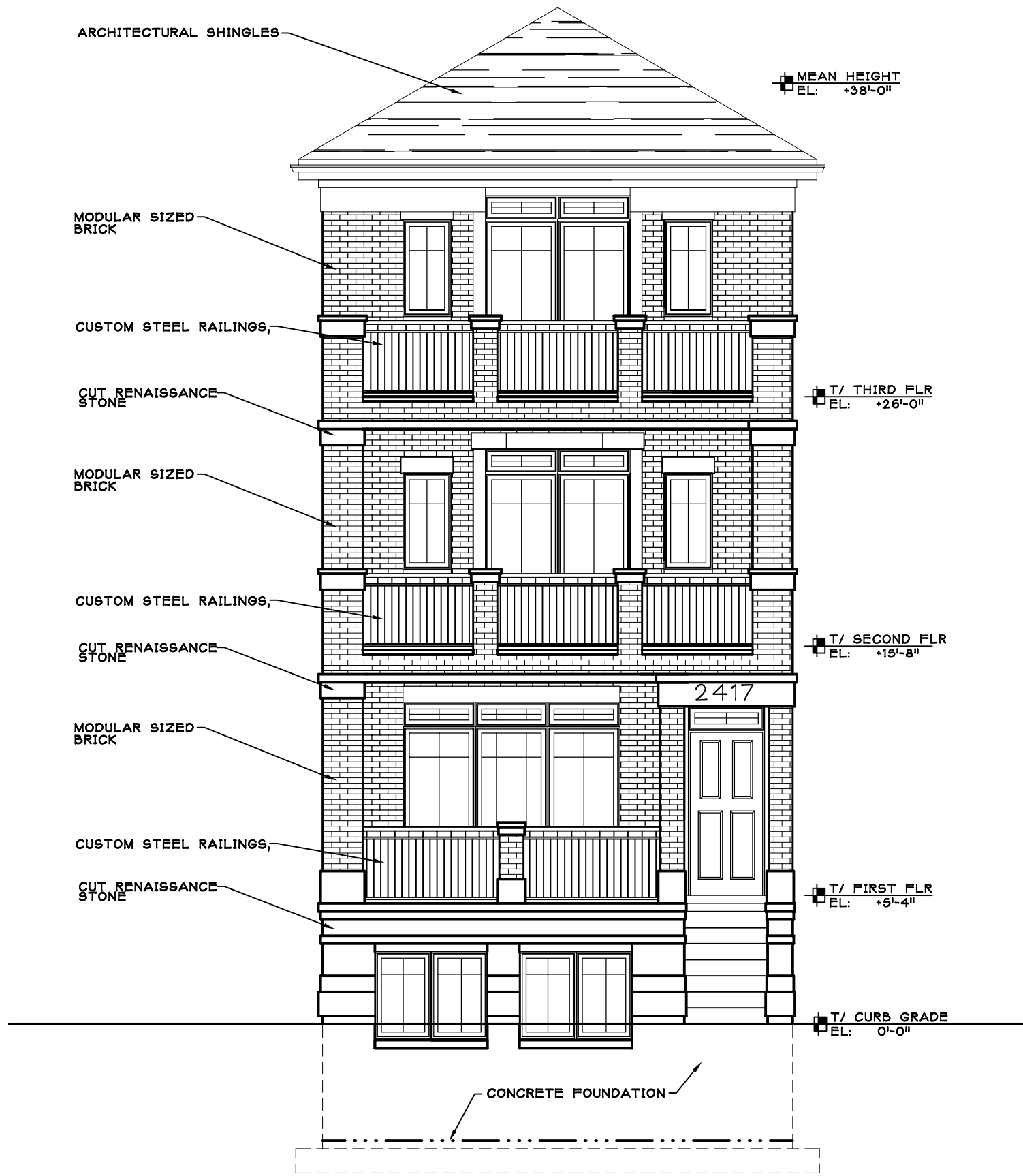
3 SECOND FLOOR PLAN





4 THIRD FLOOR PLAN





ARCHITECTURAL SHINGLES

MEAN HEIGHT
EL: +38'-0"

MODULAR SIZED
BRICK

CUSTOM STEEL RAILINGS,

CUT RENAISSANCE
STONE

T/ THIRD FLR
EL: +26'-0"

MODULAR SIZED
BRICK

CUSTOM STEEL RAILINGS,

CUT RENAISSANCE
STONE

T/ SECOND FLR
EL: +15'-8"

MODULAR SIZED
BRICK

CUSTOM STEEL RAILINGS,

CUT RENAISSANCE
STONE

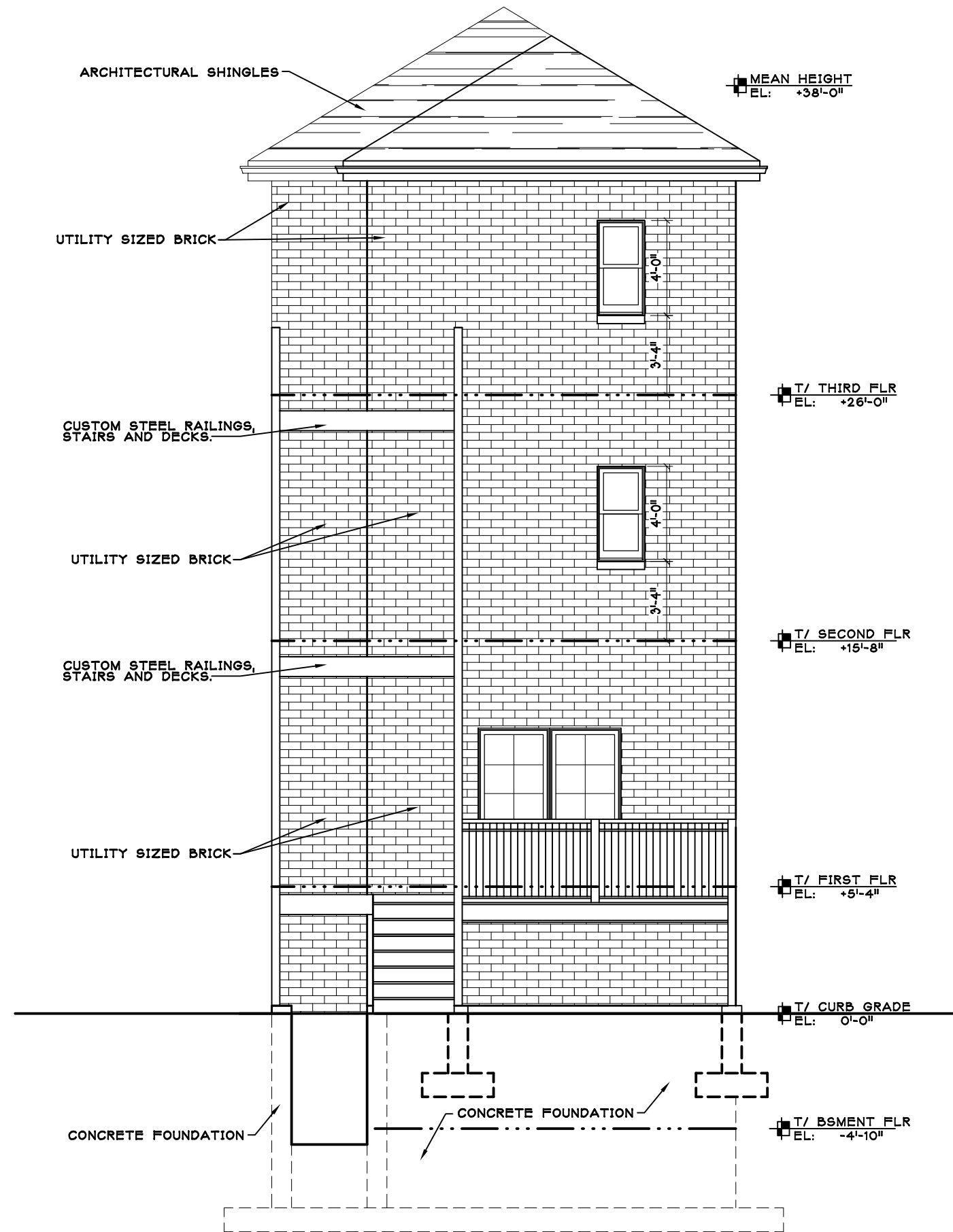
T/ FIRST FLR
EL: +5'-4"

T/ CURB GRADE
EL: 0'-0"

CONCRETE FOUNDATION

A FRONT ELEVATION

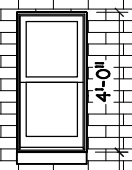
SCALE: 1/4" = 1'-0"



ARCHITECTURAL SHINGLES

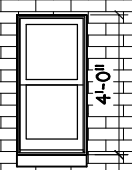
MEAN HEIGHT
EL: +38'-0"

UTILITY SIZED BRICK



T/ THIRD FLR
EL: +26'-0"

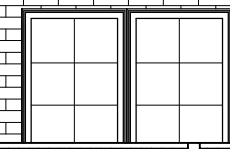
CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.



T/ SECOND FLR
EL: +15'-8"

UTILITY SIZED BRICK

CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.



T/ FIRST FLR
EL: +5'-4"

UTILITY SIZED BRICK

T/ CURB GRADE
EL: 0'-0"

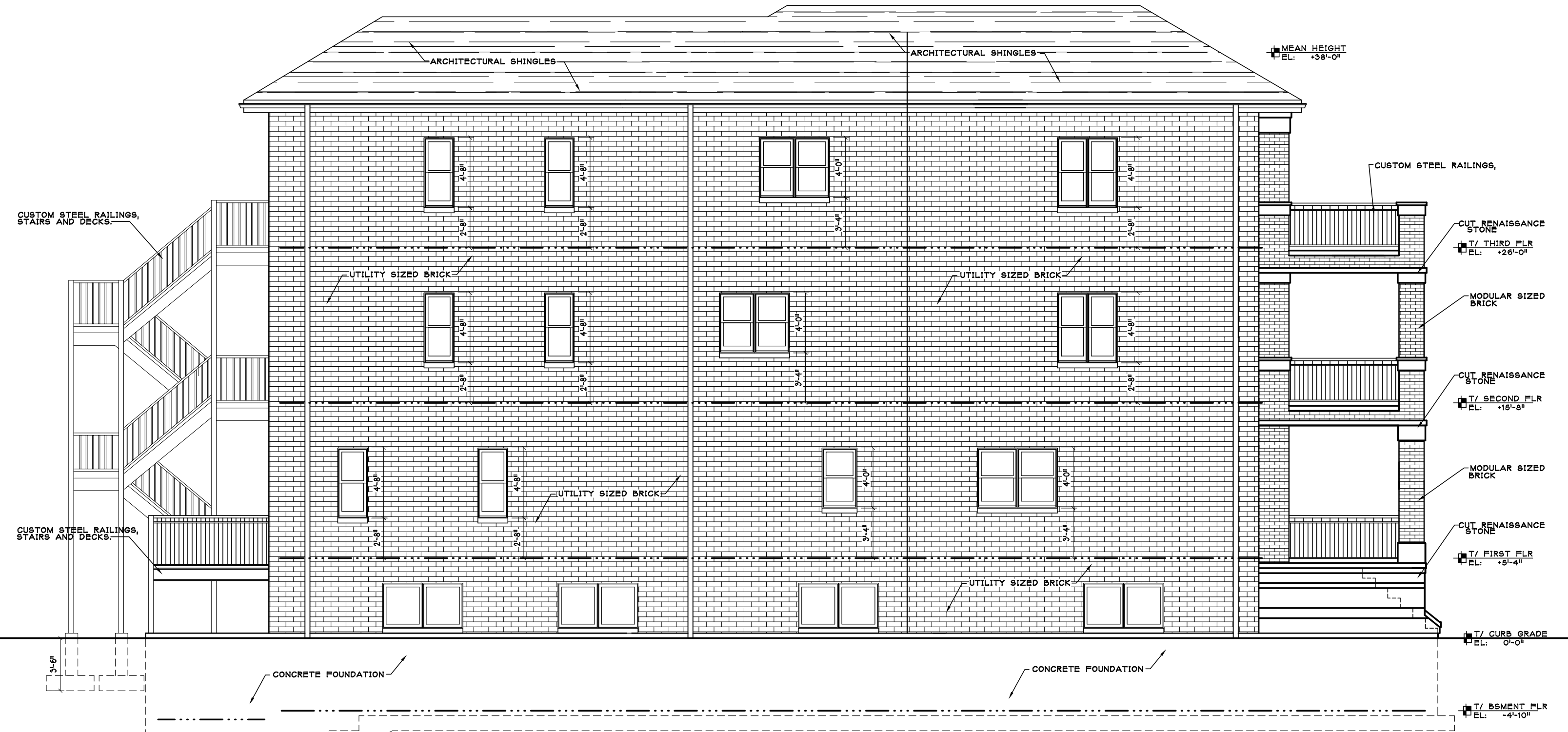
CONCRETE FOUNDATION

CONCRETE FOUNDATION

T/ BSMNT FLR
EL: -4'-10"

C REAR ELEVATION

SCALE: 1/4" = 1'-0"



D LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MEAN HEIGHT
EL: +38'-0"

ARCHITECTURAL SHINGLES

ARCHITECTURAL SHINGLES

CUSTOM STEEL RAILINGS,

UTILITY SIZED BRICK

UTILITY SIZED BRICK

CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.

CUT RENAISSANCE
STONE

T/ THIRD FLR
EL: +26'-0"

MODULAR SIZED
BRICK

UTILITY SIZED BRICK

CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.

CUT RENAISSANCE
STONE

T/ SECOND FLR
EL: +18'-8"

MODULAR SIZED
BRICK

UTILITY SIZED BRICK

UTILITY SIZED BRICK

CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.

CUSTOM STEEL RAILINGS,
STAIRS AND DECKS.

T/ FIRST FLR
EL: +6'-0"

UTILITY SIZED BRICK

T/ CURB GRADE
EL: 0'-0"

CONCRETE FOUNDATION

CONCRETE FOUNDATION

T/ BASEMENT FLR
EL: -4'-10"

B RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

