

# INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH

## 2418 W. MEDILL AVE. CHICAGO, IL. 60647

ITEM	ISSUE	CHARTER/ ARTICLE	ORD. RQD.	ACTUAL	RQD. N/A	LOC. SHEET NO.	AGENCY/ TEST NO.	REMARKS
PART 1 - ZONING REQUIREMENTS								
1.01	ZONING DISTRICT	CZO TITLE 17		R5-3				
1.02	LOT AREA			2,146.36 FT <sup>2</sup>	N/A			
1.03	MAXIMUM F.A.R.		1,931.72 SQ.FT.	2,318.44 SQ.FT.	N/A			
1.04	TOTAL BUILDING AREA			1,959.22 SQ.FT.	N/A			
1.05	BUILDING HT./NO. OF FLOORS			23'-11/2" FL.	N/A			
1.06	MINIMUM YARDS				N/A			
1.07	GRADE ELEVATION (CCD)				N/A			
1.08	OFF STREET LOADING				N/A			
1.09	MINIMUM PARKING				N/A			
1.10	LANDSCAPING				N/A			
1.11	TOWNHOUSE ORDINANCE				N/A			
PART 2 - BUILDING REQUIREMENTS								
2.01	OCCUP. CLASSIFICATION	3(13-56)PGH15		A-2	N/A			
2.03	TYPES OF CONSTRUCTION	6(13-60)PNG329		III-B	N/A			

DESIGN LOAD	
PER CHICAGO BUILDING CODE 16(13-52-080); 16(13-52-090); 16(13-52-220); 16(13-52-230); 16(13-52-280); 16(13-52-310)	
DESIGN LOADS	
- OFFICES FLOOR INCL. FILE AND COMPUTER RM.	50 PSF
- LOBBIES & PUBLIC ROOMS	100 PSF
- SECOND FLR. CORRIDOR	50 PSF
- FIRST FLR. CORRIDORS, STAIRWAYS	100PSF
- PARTITIONS	15 PSF
- DWELLING UNITS CORRIDORS	40 PSF
- SERVING DWELLING UNITS	40 PSF
- SERVING PUBLIC AREAS/LOBBIES	100 PSF
- PUBLIC STAIRWAYS, PORCHES & DECKS	100PSF
- PARTITIONS	15 PSF
- SNOW LOADS (FLAT ROOF, DRIFTING SNOW LOAD)	25 PSF
- WIND LOADS	20 PSF
- ROOFING MATERIALS (AT EDGES)	40 PSF
ROOF LOADS	
- DEAD LOADS	15 PSF
- WIND AND SNOW (OR RAIN)	45 PSF
TOTAL	60 PSF
RAILING LOADS	
- VERTICAL & HORIZONTAL THRUST	50 PLF
- CONCENTRATED LOADS	2000 P
PROPOSED SOIL BEARING CAPACITY (SHALL BE FIELD VERIFIED BY A QUALIFIED TESTING AGENCY)	
DESIGN VALUES FOR USED WOOD (SOUTHERN PINE)	
- FOR STUDS Fb=875P/lin²; Fv=90P/lin²; Fc=975P/lin²; E=1,4x10 <sup>6</sup> PSI	
- CONSTRUCTION Fb=1100P/lin²; Fv=100P/lin²; FcP/lin²; E=1.5x10 <sup>6</sup> PSI	
- WET SERVICES FACTOR Fb=0.89P/lin²; Fv=0.97P/lin²; Fc=0.80P/lin²	
DESIGN VALUE FOR BEAMS (STEEL)	21.6 PSI

**GENERAL NOTES**

BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO BID. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. SHOULD THE CONTRACT DOCUMENTS CONTRADICT EACH OTHER AT ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE ARCHITECT, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SUBMISSION OF BIDS. OTHERWISE THE ARCHITECT'S INTERPRETATION WILL GOVERN THE PERFORMANCE OF THE WORK AND NO ALLOWANCE SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ERROR OR NEGLIGENCE ON HIS PART IN THIS CONNECTION. SHOULD ANY ERROR OR INCONSISTENCY APPEAR IN THE DRAWINGS, THE CONTRACTOR, BEFORE PROCEEDING WITH THE WORK, MUST CLEARLY BRING THE SAME TO THE ATTENTION OF THE ARCHITECT FOR PROPER ADJUSTMENT AND IN NO CASE SHALL PROCEED WITH THE WORK IN UNCERTAINTY. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS.

**DEMOLITION NOTES**

NEW AND EXISTING CONDITIONS AND DIMENSIONS: EACH CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY NEW AND/OR EXISTING CONDITIONS AND NEW AND /OR EXISTING DIMENSIONS AT THE SITE FOR ALL WORK ADJOINING THAT OF OTHER TRADES AND NOTIFY THE ARCHITECT FOR ANY ADVERTISED AND/OR DISCREPANCIES PRIOR TO STARTING WORK. CONDITIONS OF STRUCTURES: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURE TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER INsofar AS PRACTICABLE. HOWEVER, MINOR VARIATIONS WITHIN STRUCTURE MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF SELECTIVE DEMOLITION WORK. PROTECTIONS: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED AND ADJACENT FACILITIES OR WORK TO REMAIN. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACE AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING. REMOVE PROTECTION AT COMPLETION OF WORK. DAMAGE: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK. FLAME CUTTING: DO NOT USE CUTTING TORCHES FOR REMOVAL UNTIL WORKED AREAS IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS INTERIOR OF DUCTS AND PIPE SPACE, VERIFY CONDITION OF HIDDEN SPACE BEFORE STARTING FLAME OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME OPERATIONS. UTILITY SERVICES: MAINTAIN EXISTING UTILITIES INDICATE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR IN-USE FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.



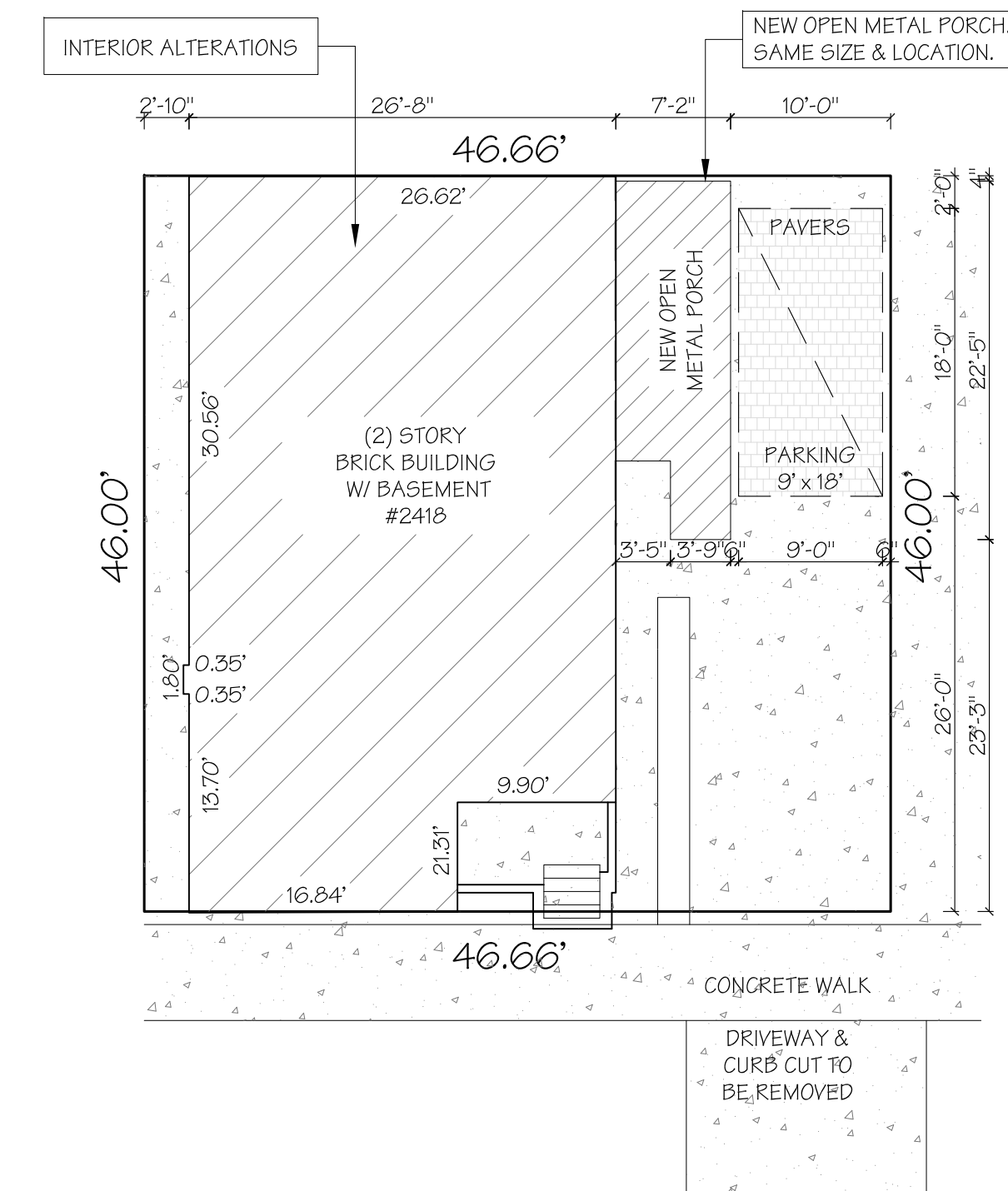
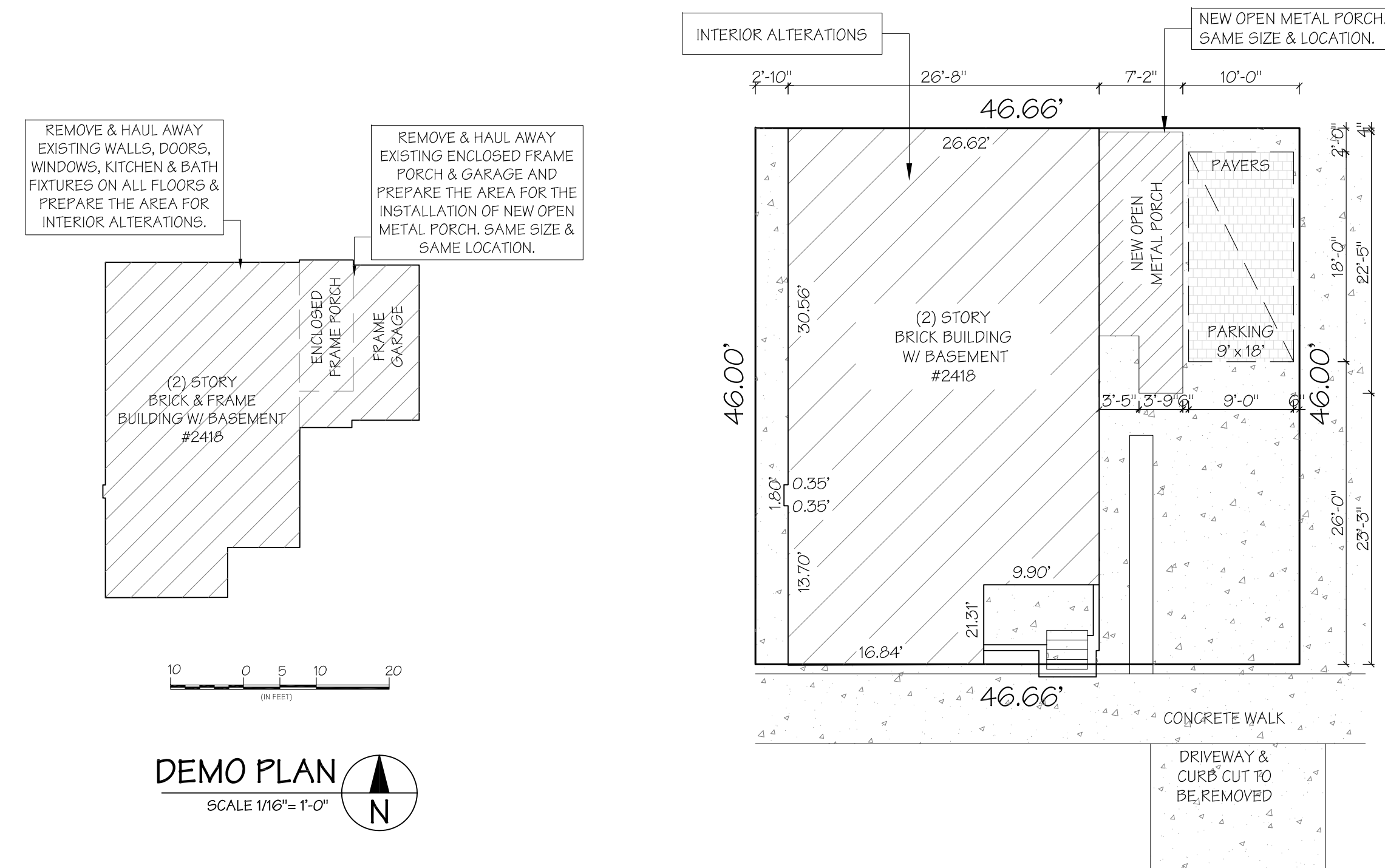
SOUTH-EAST VIEW



SOUTH-WEST VIEW



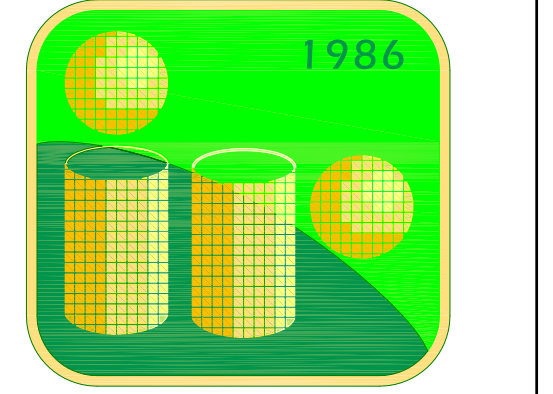
NORTH VIEW



**DRAWING INDEX**

- A-0 SITE PLAN, CODE MATRIX & GENERAL INFORMATION
- A-1 EXISTING /DEMOLITION BASEMENT, 1ST FLOOR & 2ND FLOOR PLAN
- A-2 EXISTING/DEMO ELEVATIONS
- A-3 PROPOSED BASEMENT & 1ST FLOOR PLAN
- A-4 PROPOSED 2ND FLOOR PLAN
- A-5 PROPOSED ELEVATIONS
- A-6 BUILDING SECTION, DETAILS & SCHEDULES
- A-7 PORCH DETAILS
- P-0 PLUMBING LINE DIAGRAM, DETAILS, NOTES & SCHEDULES
- E-0 ELECTRICAL FLOOR PLANS, NOTES & DETAILS
- E-1 ELECTRICAL FLOOR PLANS
- M-0 HVAC FLOOR PLANS, NOTES & DETAILS
- M-1 HVAC FLOOR PLANS, SCHEDULES & DETAILS

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LIC# 184-005444



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info@ir-design.com

**ARCHITECTS  
PLANNERS  
ENGINEERS  
DESIGNERS**

**STATEMENTS**

THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO THE REQUIREMENTS OF THE CHICAGO CODES AND THE ACCESSIBILITY STANDARDS OF THE STATE OF ILLINOIS.

I CERTIFY THAT I AM THE DESIGN PROFESSIONAL OF RECORD FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR: 2418 W MEDILL AVE. DO NOT NEED TO COMPLY W/ THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, AS EFFECTIVE APRIL 22, 2009 THE PROJECT NEED NOT COMPLY BECAUSE: REPLACING PORTION OF THE BUILDING THAT IS NOT CONDITIONED.



REP/ARCHITECT: *Ronal Purohit*

**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
**2418 W MEDILL AVE CHICAGO, IL 60647**

**Project No.**  
**100627039**  
**2418 W MEDILL AVE**

Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC	04/06/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	

**SITE PLAN & INFO**

Title **A-0** Sheet No.



# INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH

## 2418 W. MEDILL AVE. CHICAGO, IL. 60647

ITEM	ISSUE	CHARTER/ARTICLE	OKD. RGD.	ACTUAL	RGD. N/A	LOC. SHEET NO.	AGENCY/TEST NO.	REMARKS
<b>PART 1 - ZONING REQUIREMENTS</b>								
1.01	ZONING DISTRICT	C20 TITLE 17		RS-3				
1.02	LOT AREA			2,466.06 SF	N/A			
1.03	MAXIMUM F.A.R.		1,891.72 sq.ft.	2,316.44 sq.ft.	N/A			
1.04	TOTAL BUILDING AREA			1,163.22 sq.ft.	N/A			
1.05	BUILDING HT./NO. OF FLOORS			22'-11/2" F.T.	N/A			
1.06	MINIMUM YARDS				N/A			
1.07	GRADE ELEVATION (CGD)				N/A			
1.08	OFF STREET LOADING				N/A			
1.09	MINIMUM PARKING				N/A			
1.10	LANDSCAPING				N/A			
1.11	TOWNHOUSE ORDINANCE				N/A			
<b>PART 2 - BUILDING REQUIREMENTS</b>								
2.01	OCCUP. CLASSIFICATION	3(15-36)P015		A-2	N/A			
2.03	TYPES OF CONSTRUCTION	6(15-80)P032B		III-B	N/A			

DESIGN LOAD	
PER CHICAGO BUILDING CODE 16(15-52-080); 16(15-52-090); 16(15-52-222); 16(15-52-230); 16(15-52-280); 16(15-52-310)	
<b>DESIGN LOADS</b>	
OFFICES FLOOR INCL. FILE AND COMPUTER RM.	50 PSF
LOBBIES & PUBLIC ROOMS	100 PSF
SECOND FLR. CORRIDOR	50 PSF
FIRST FLR. CORRIDORS, STAIRWAYS	100 PSF
PARTITIONS	15 PSF
DWELLING UNITS CORRIDORS	40 PSF
SERVING DWELLING UNITS	40 PSF
SERVING PUBLIC AREAS, LOBBIES	100 PSF
PUBLIC STAIRWAYS, PORCHES & DECKS	100 PSF
PARTITIONS	15 PSF
SNOW LOADS (FLAT ROOF, DRIFTING SNOW LOAD)	25 PSF
WIND LOADS	20 PSF
ROOFING MATERIALS (AT EDGES)	40 PSF
<b>ROOF LOADS</b>	
DEAD LOADS	15 PSF
WIND AND SNOW (OR RAIN)	45 PSF
<b>TOTAL</b>	<b>60 PSF</b>
<b>RAILING LOADS</b>	
VERTICAL & HORIZONTAL THRUST	50 PLF
CONCENTRATED LOADS	200 LF
<b>PROPOSED SOL. BEARING CAPACITY</b>	<b>3000 PSF</b>
(SHALL BE FIELD VERIFIED BY A QUALIFIED TESTING AGENCY)	
<b>DESIGN VALUES FOR USED WOOD (SOUTHWEST PINE)</b>	
FOR STUDS F <sub>t</sub> 8750/ft <sup>2</sup> ; F <sub>c</sub> 9070/ft <sup>2</sup> ; F <sub>v</sub> 9780/ft <sup>2</sup> ; E <sub>x</sub> 1,410,000 PSI	
CONSTRUCTION F <sub>t</sub> 1000/ft <sup>2</sup> ; F <sub>c</sub> 1000/ft <sup>2</sup> ; F <sub>v</sub> 1000/ft <sup>2</sup> ; E <sub>x</sub> 1,540,000 PSI	
NET SERVICES FACTOR F <sub>t</sub> 0.897/ft <sup>2</sup> ; F <sub>c</sub> 0.977/ft <sup>2</sup> ; F <sub>v</sub> 0.807/ft <sup>2</sup>	
<b>DESIGN VALUE FOR DECKS (STEEL)</b>	<b>216 PSI</b>

### GENERAL NOTES

BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO BID. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. SHOULD THE CONTRACT DOCUMENTS CONTRADICT EACH OTHER AT ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE ARCHITECT, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SUBMISSION OF BIDS, OTHERWISE THE ARCHITECT'S INTERPRETATION WILL GOVERN THE PERFORMANCE OF THE WORK AND NO ALLOWANCE SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ERROR OR NEGLIGENCE ON HIS PART IN THIS CONNECTION. SHOULD ANY ERROR OR INCONSISTENCY APPEAR IN THE DRAWINGS, THE CONTRACTOR, BEFORE PROCEEDING WITH THE WORK, MUST CLEARLY BRING THE SAME TO THE ATTENTION OF THE ARCHITECT FOR PROPER ADJUSTMENT AND IN NO CASE SHALL PROCEED WITH THE WORK IN UNCERTAINTY. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS.

### DEMOLITION NOTES

NEW AND EXISTING CONDITIONS AND DIMENSIONS; EACH CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY NEW AND/OR EXISTING CONDITIONS AND NEW AND/OR EXISTING DIMENSIONS AT THE SITE FOR ALL WORK ADJOINING THAT OF OTHER TRADES AND NOTIFY THE ARCHITECT FOR ANY ADVERTISED AND/OR DISCREPANCIES PRIOR TO STARTING WORK. CONDITIONS OF STRUCTURES; OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURE TO BE DEMOLISHED; CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER INsofar AS PRACTICABLE. HOWEVER, MINOR VARIATIONS WITHIN STRUCTURE MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF SELECTIVE DEMOLITION WORK. PROTECTIONS; PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED AND ADJACENT FACILITIES OR WORK TO REMAIN. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACE AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING. REMOVE PROTECTION AT COMPLETION OF WORK. DAMAGE; PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK. FLAME CUTTING; DO NOT USE CUTTING TORCHES FOR REMOVAL UNTIL WORKED AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS INTERIOR OF DUCTS AND PIPE SPACE, VERIFY CONDITION OF HIDDEN SPACE BEFORE STARTING FLAME OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME OPERATIONS. UTILITY SERVICES; MAINTAIN EXISTING UTILITIES INDICATE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR IN-USE FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.



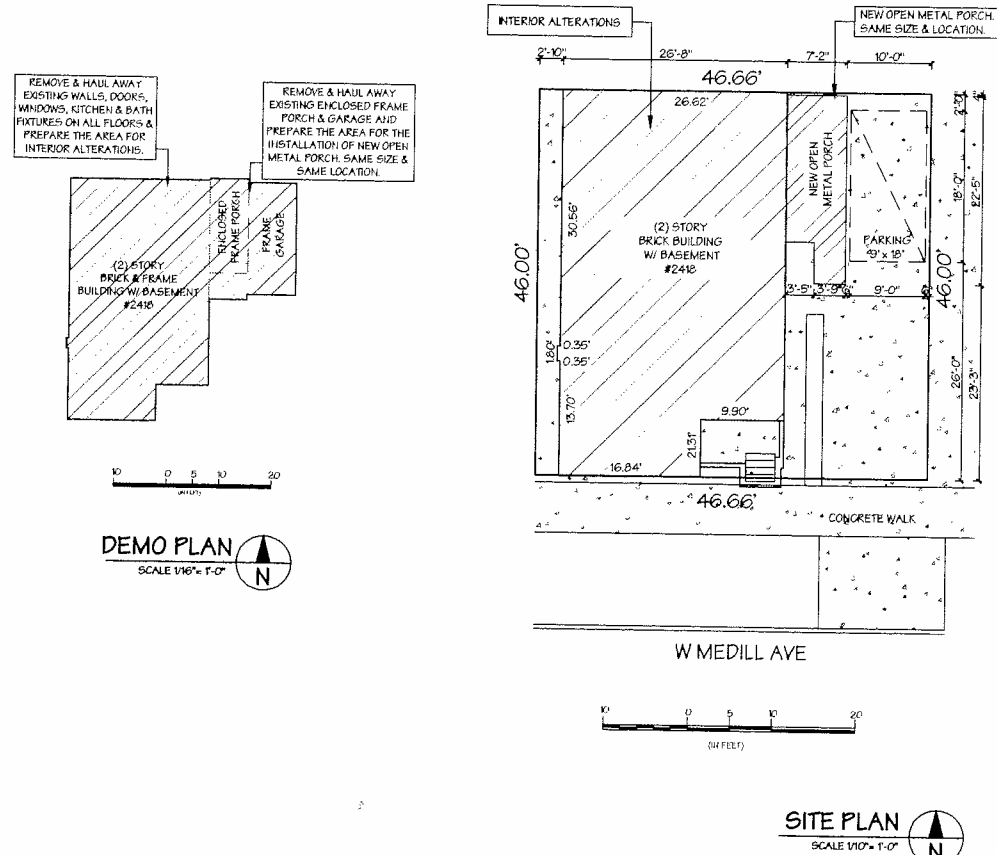
SOUTH-EAST VIEW



SOUTH-WEST VIEW



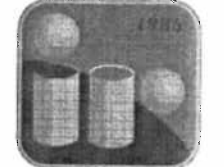
NORTH VIEW



### DRAWING INDEX

- A-0 SITE PLAN, CODE MATRIX & GENERAL INFORMATION
- A-1 EXISTING /DEMOLITION BASEMENT, 1ST FLOOR & 2ND FLOOR PLAN
- A-2 EXISTING/DEMOL ELEVATIONS
- A-3 PROPOSED BASEMENT & 1ST FLOOR PLAN
- A-4 PROPOSED 2ND FLOOR PLAN
- A-5 PROPOSED ELEVATIONS
- A-6 BUILDING SECTION, DETAILS & SCHEDULES
- A-7 PORCH DETAILS
- P-0 PLUMBING LINE DIAGRAM, DETAILS, NOTES & SCHEDULES
- E-0 ELECTRICAL FLOOR PLANS, NOTES & DETAILS
- E-1 ELECTRICAL FLOOR PLANS
- M-0 HVAC FLOOR PLANS, NOTES & DETAILS
- M-1 HVAC FLOOR PLANS, SCHEDULES & DETAILS

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ARCHITECTS  
PLANNERS  
ENGINEERS  
DESIGNERS

### STATEMENTS

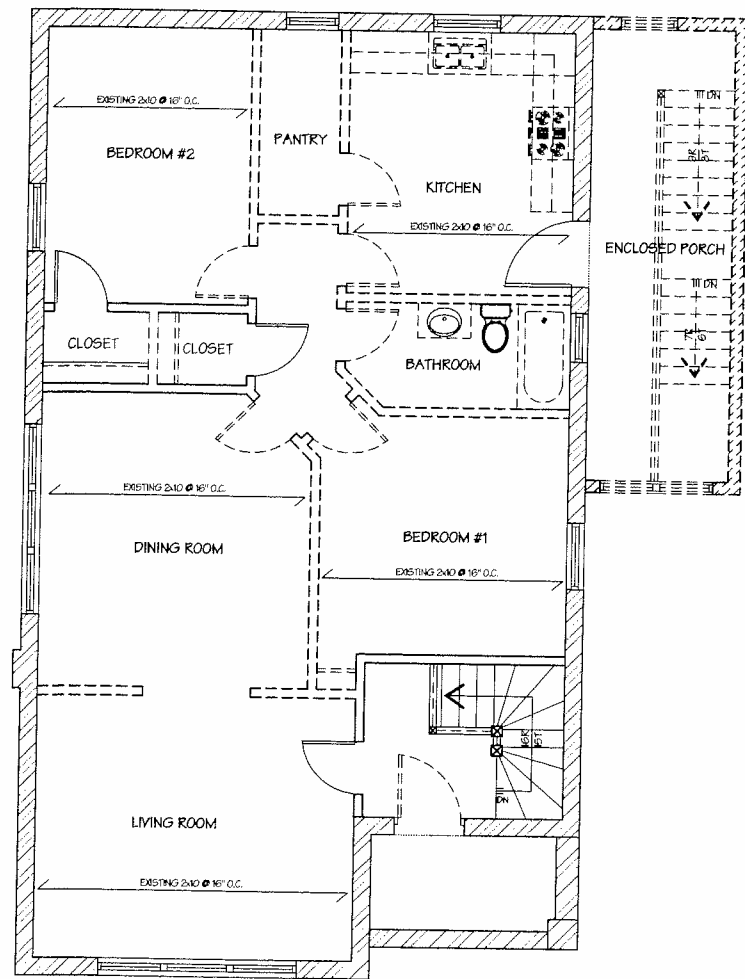
THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO THE REQUIREMENTS OF THE CHICAGO CODES AND THE ACCESSIBILITY STANDARDS OF THE STATE OF ILLINOIS. I CERTIFY THAT I AM THE DESIGN PROFESSIONAL OF RECORD FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR: 2418 W. MEDILL AVE. DO NOT NEED TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, AS EFFECTIVE APRIL 22, 2009. THE PROJECT NEED NOT COMPLY BECAUSE REPLACING PORTION OF THE BUILDING THAT IS NOT CONDITIONED.



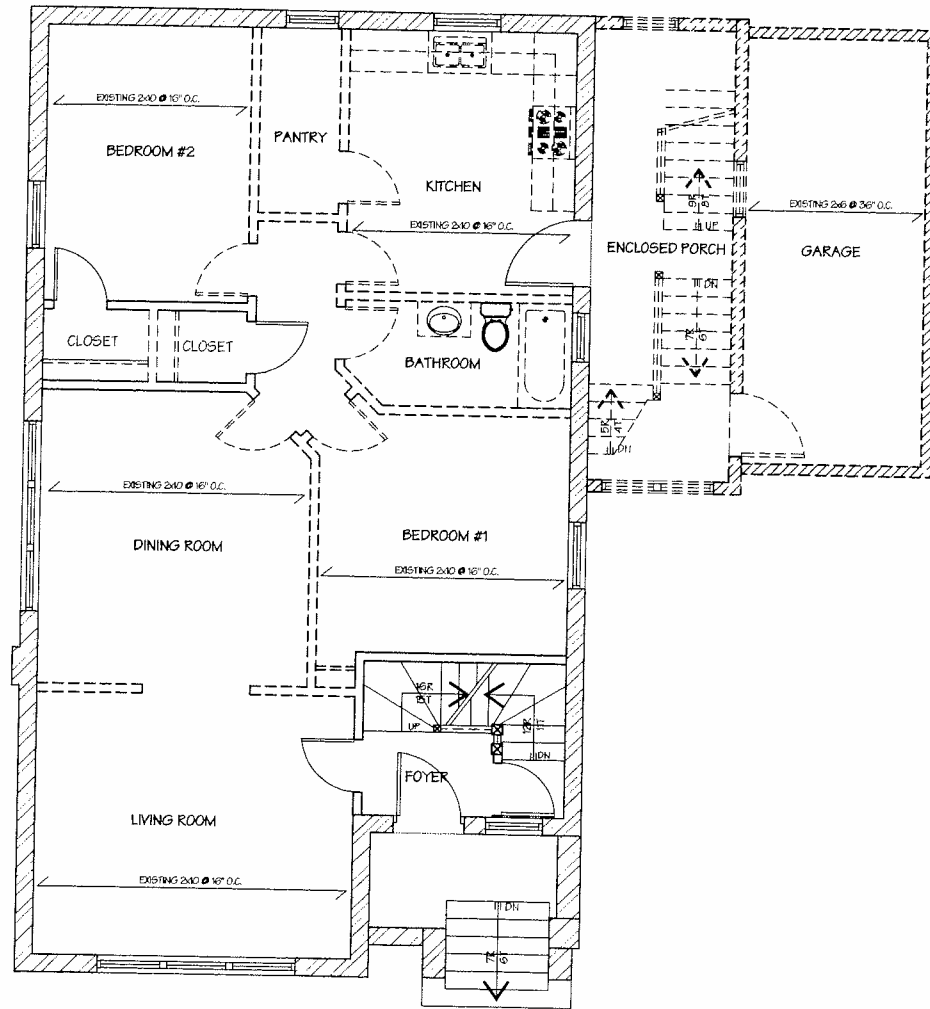
REP/ARCHITECT: Hemal Purohit

INTERIOR ALTERATIONS  
ON EXISTING BUILDING  
& NEW OPEN METAL  
PORCH  
2418 W MEDILL AVE  
CHICAGO, IL 60647

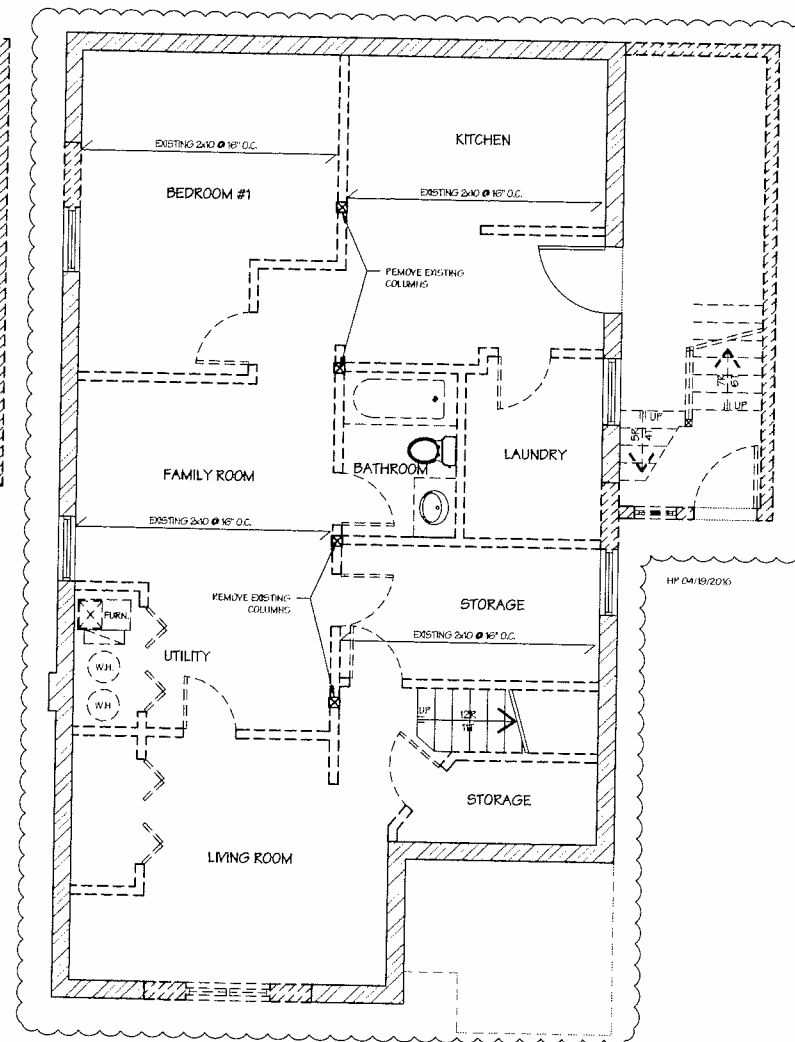
Project No.		
100627039		
2418 W MEDILL AVE		
Revision	Initial	Date
Revision	HP	04/19/16
Revision		
Revision		
Drawn	KC	04/06/16
Checked	IR	04/19/16
Approved	HP	04/19/16
<b>SITE PLAN &amp; INFO</b>		<b>A-0</b>
Title	Sheet No.	



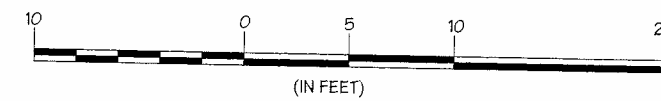
EXISTING/DEMO 2ND FLOOR PLAN  
SCALE 1/4" = 1'-0"



EXISTING/DEMO 1ST FLOOR PLAN  
SCALE 1/4" = 1'-0"



EXISTING/DEMO BASEMENT FLOOR PLAN  
SCALE 1/4" = 1'-0"



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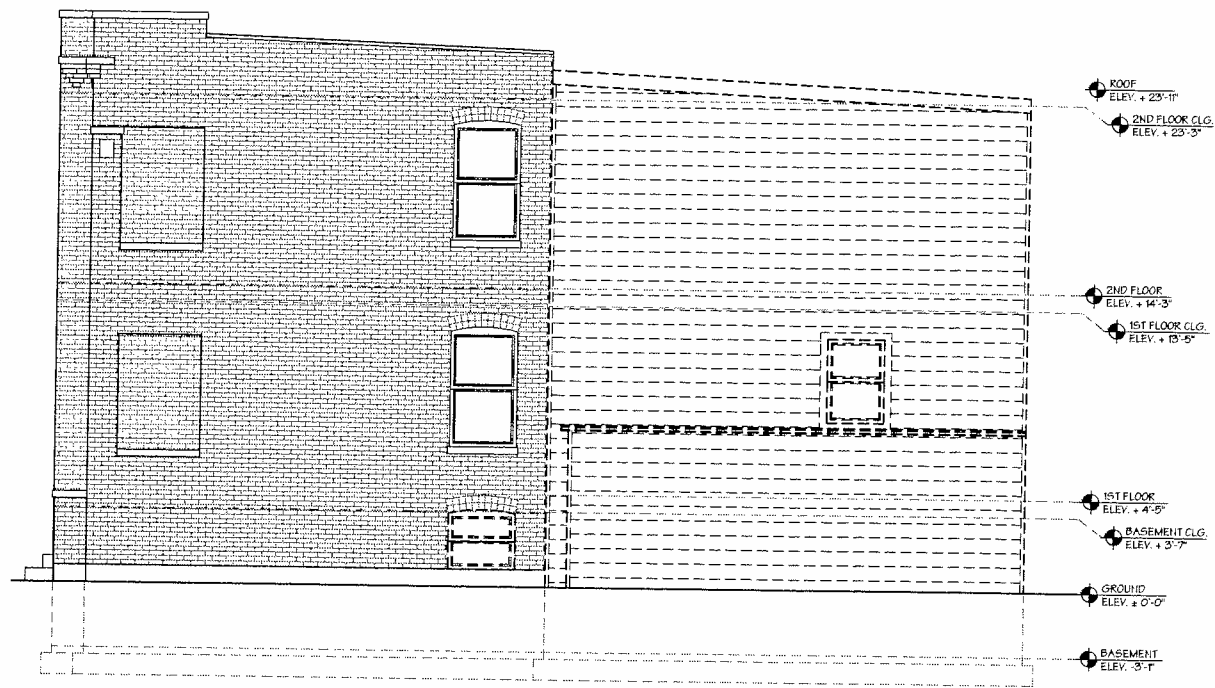
LEGEND:

- EXISTING EXTERIOR WALL
- EXISTING TO BE REMOVED
- EXISTING INTERIOR WALLS

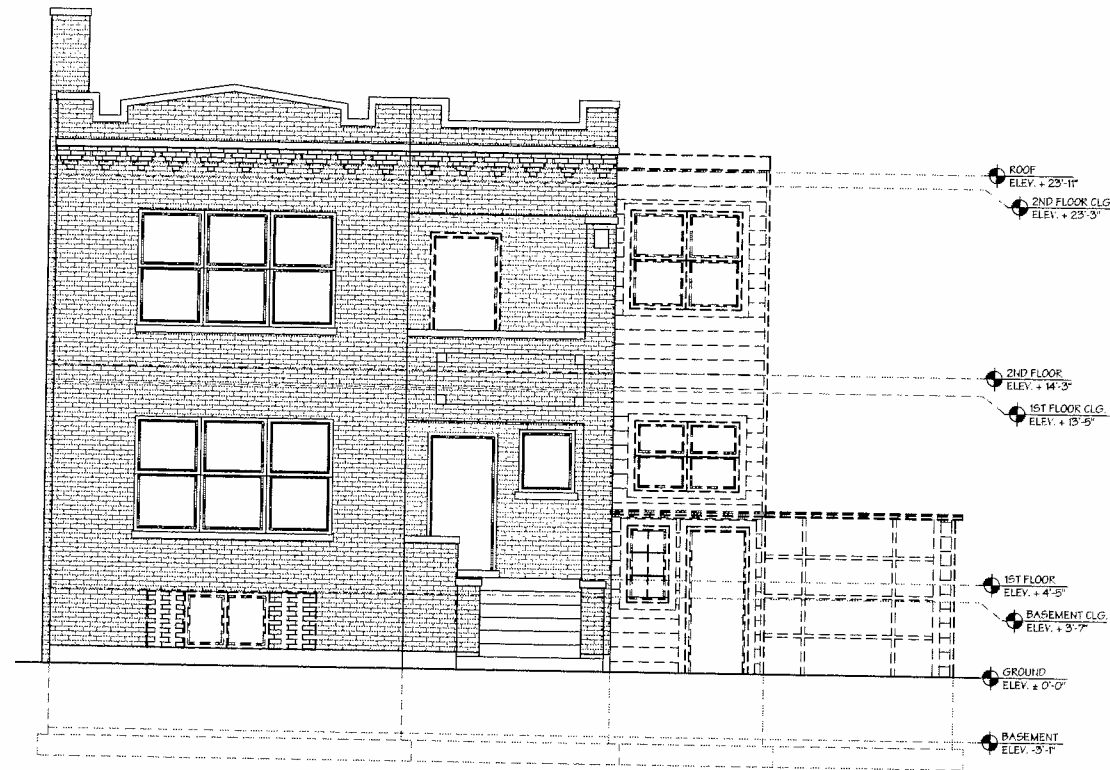


INTERIOR ALTERATIONS  
ON EXISTING BUILDING  
& NEW OPEN METAL  
PORCH  
2418 W MEDILL AVE  
CHICAGO, IL 60647

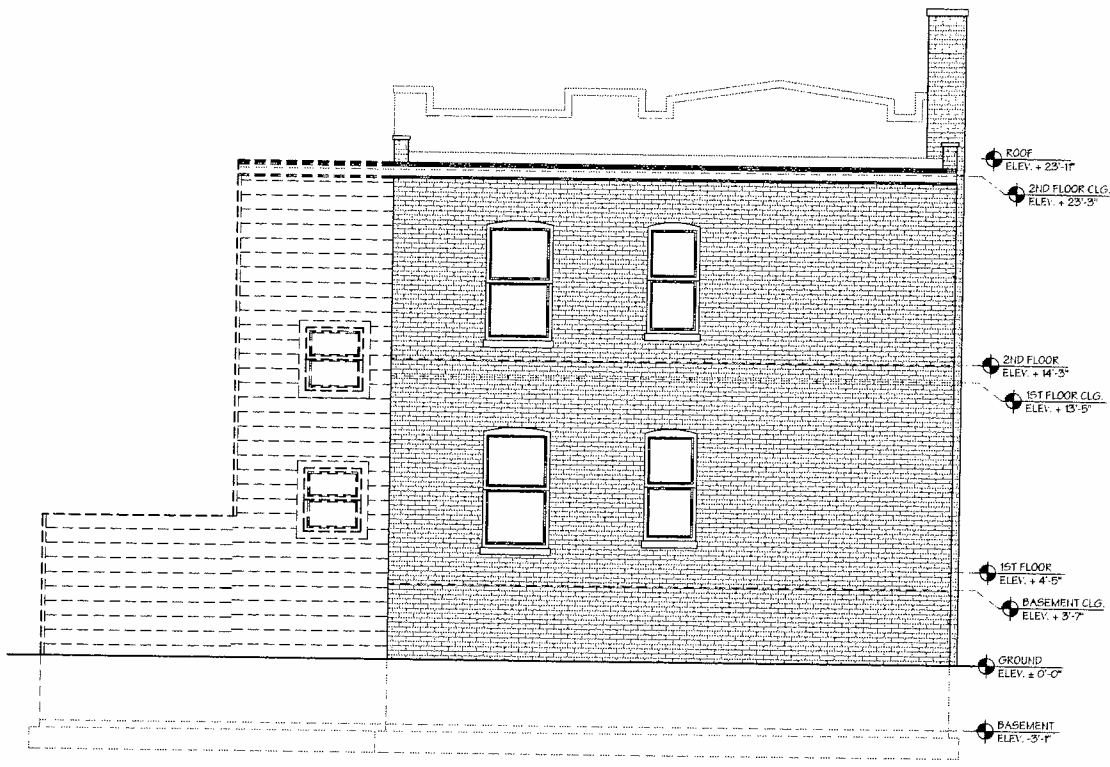
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100627039			
2418 W MEDILL AVE			
Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC	03/17/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	
EXISTING/ DEMO FLOOR PLANS			<b>A-1</b>
Title			Sheet No.



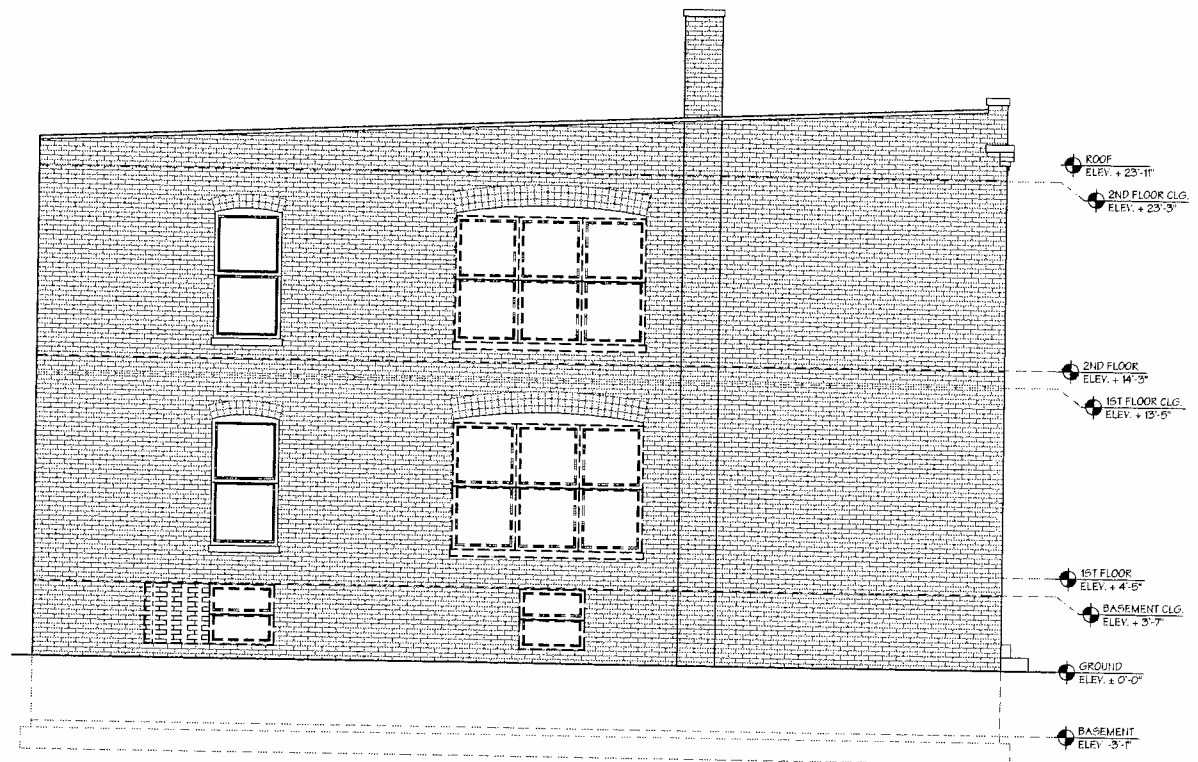
EXISTING/DEMO WEST ELEVATION  
SCALE 1/4" = 1'-0"



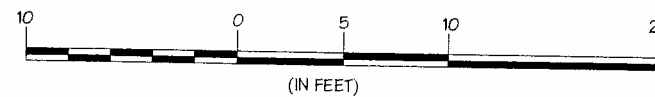
EXISTING/DEMO NORTH ELEVATION  
SCALE 1/4" = 1'-0"



EXISTING/DEMO SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



EXISTING/DEMO EAST ELEVATION  
SCALE 1/4" = 1'-0"



PROFESSIONAL  
DESIGN FIRM  
LIC#184-005444



IR DESIGN INC.  
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FAX: 773-784-9759

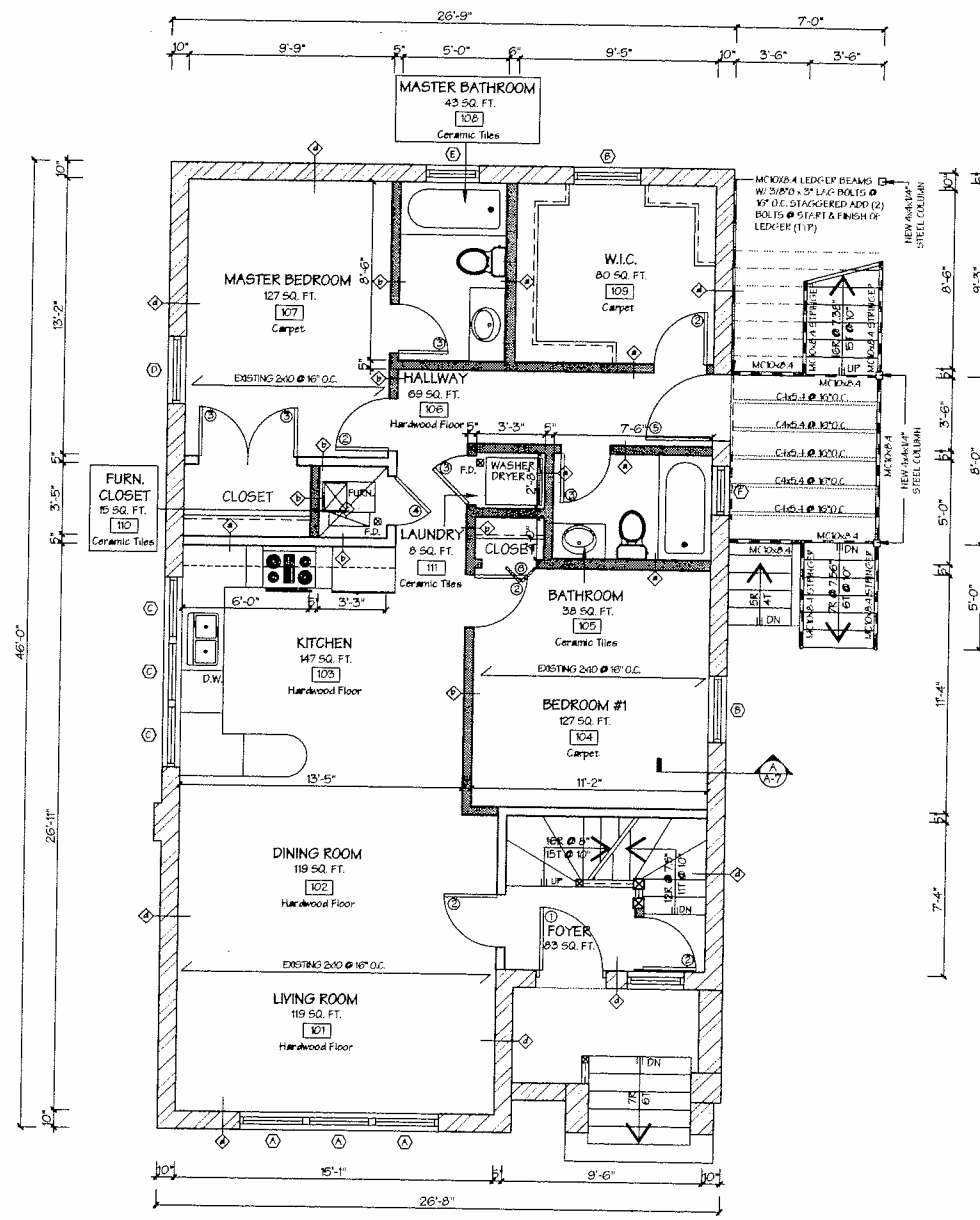
LEGEND:

- EXISTING CONDITION
- TO BE DEMOLISHED

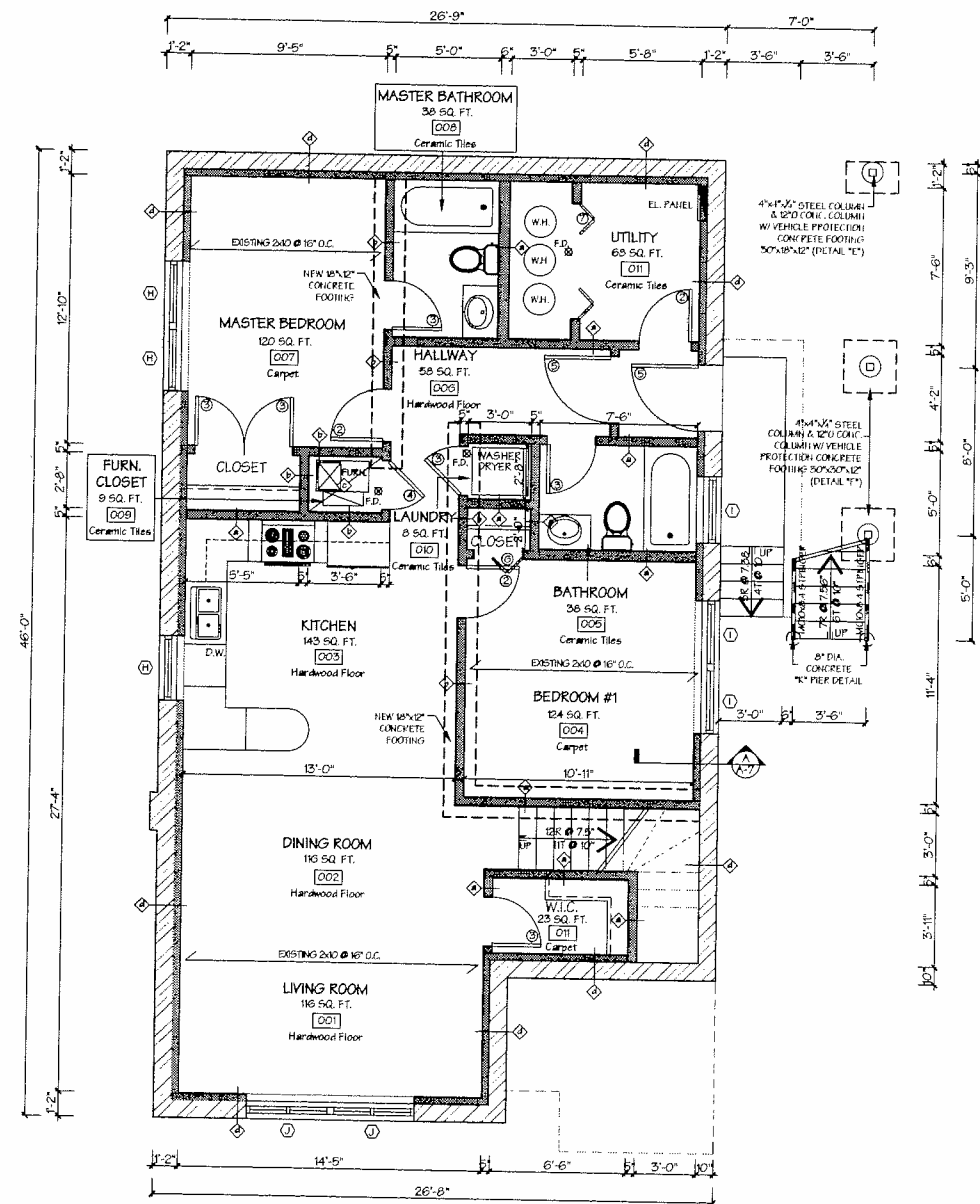


INTERIOR ALTERATIONS  
ON EXISTING BUILDING  
& NEW OPEN METAL  
PORCH  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.			
100627039			
2418 W MEDILL AVE			
Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC	03/17/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	
EXISTING/ DEMO ELEVATIONS	A-2		
Title	Sheet No.		



PROPOSED 1ST FLOOR PLAN  
SCALE 1/4" = 1'-0"



PROPOSED BASEMENT FLOOR PLAN  
SCALE 1/4" = 1'-0"

NOTE:  
ALL DAMAGED/MISSING FLOOR/CILING JOISTS TO BE REPLAZED W/ NEW

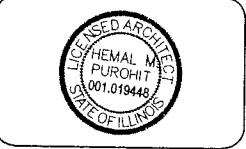


PROFESSIONAL DESIGN FIRM  
LIC# 184-005444



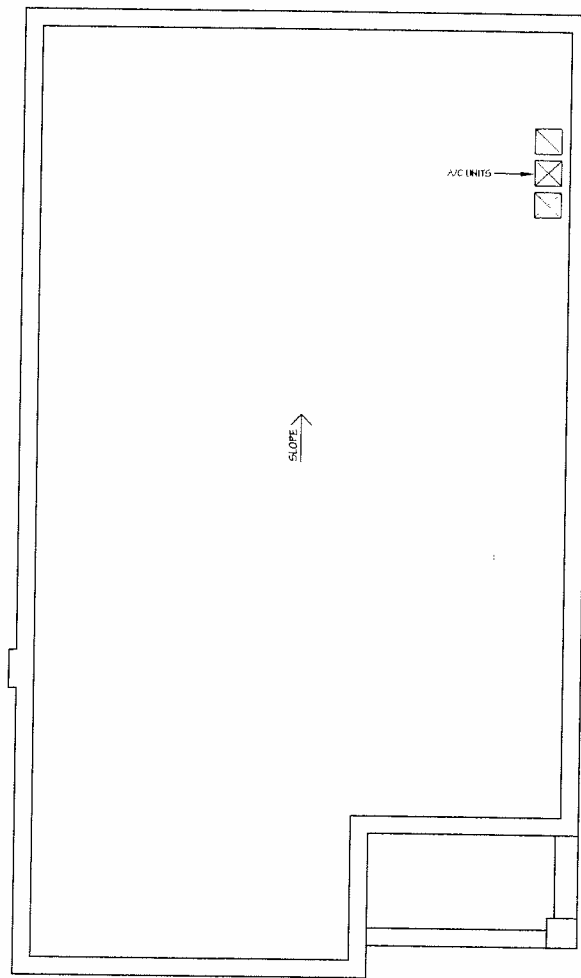
IR DESIGN INC.  
5300 N. DAMEN AVE.  
CHICAGO, IL 60625  
TEL: 773-784-9755  
FAX: 773-784-9759

- LEGEND:
- EXTERIOR WALL
  - INTERIOR WALL
  - DOOR TYPE SEE SHEET A-5
  - WINDOW TYPE SEE SHEET A-5
  - WALL/CILING TYPE SEE SHEET A-5
- NOTES:
- SEE SHEET M-2 FOR LIGHT & VENT SCHEDULE
  - SEE ELECTRICAL FOR SMOKE DETECTORS & CARBON MONOXIDE DETECTORS
  - SEE SHEET A-6 FOR PORCH DETAILS

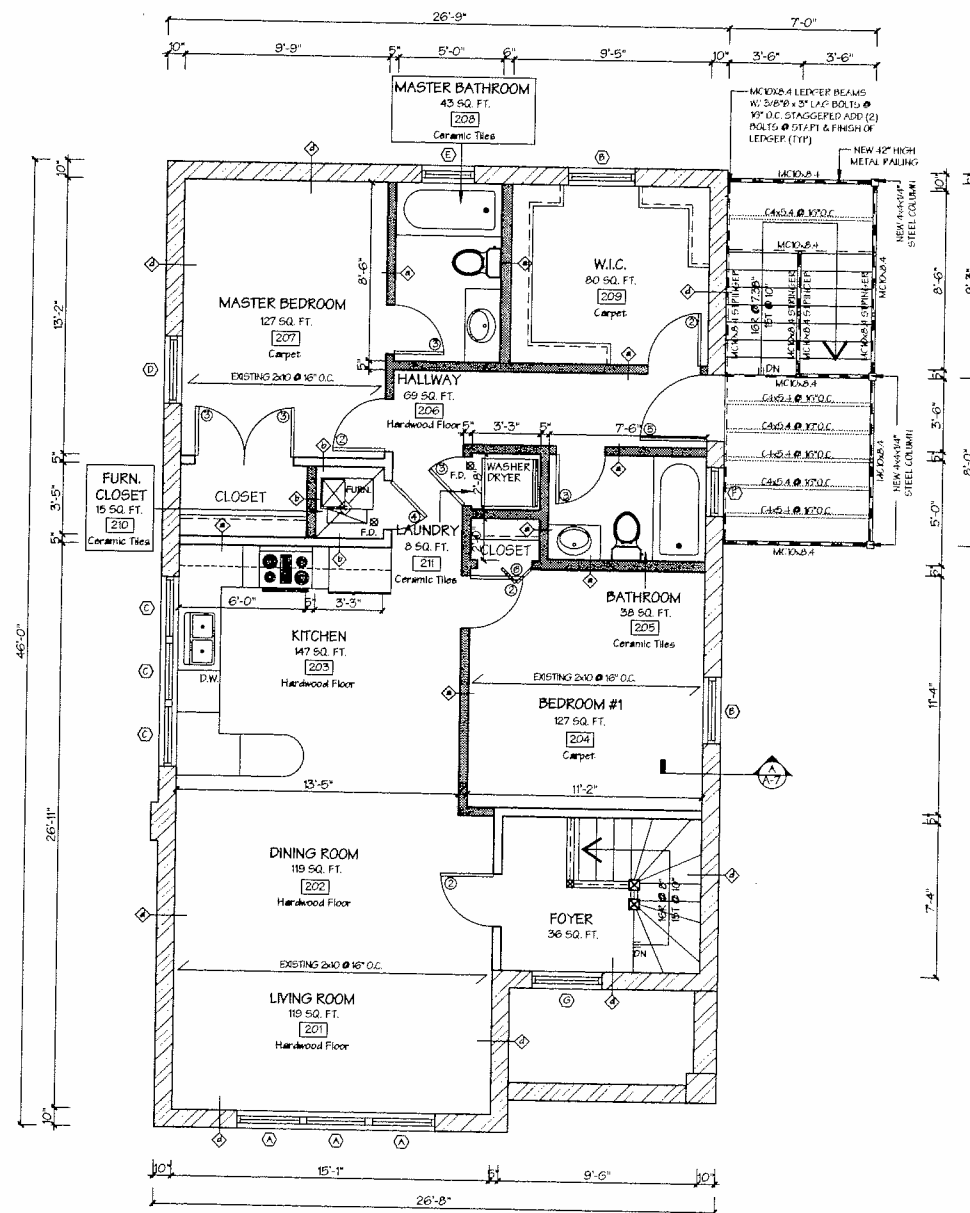


INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.	
100627039	
2418 W MEDILL AVE	
Revision	Initial Date
Revision	HP 04/19/16
Revision	
Drawn	KC 04/06/16
Checked	IR 04/19/16
Approved	HP 04/19/16
PROPOSED FLOOR PLANS	
Title	Sheet No.
	A-3

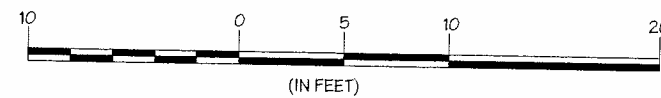


**PROPOSED ROOF FLOOR PLAN**  
SCALE 1/4" = 1'-0"

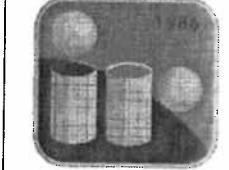


**PROPOSED 2ND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

NOTE:  
ALL DAMAGED MISSING FLOORING JOISTS TO BE REPLACED W/ NEW.



**PROFESSIONAL DESIGN FIRM**  
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**LEGEND:**

- EXTERIOR WALL
- INTERIOR WALL
- DOOR TYPE SEE SHEET A-5
- WINDOW TYPE SEE SHEET A-5
- WALLCOVERING TYPE SEE SHEET A-5

**NOTES:**  
-SEE SHEET M-2 FOR LIGHT & VENT SCHEDULE  
-SEE ELECTRICAL FOR SMOKE DETECTORS & CARBON MONOXIDE DETECTORS  
-SEE SHEET A-6 FOR PORCH DETAILS



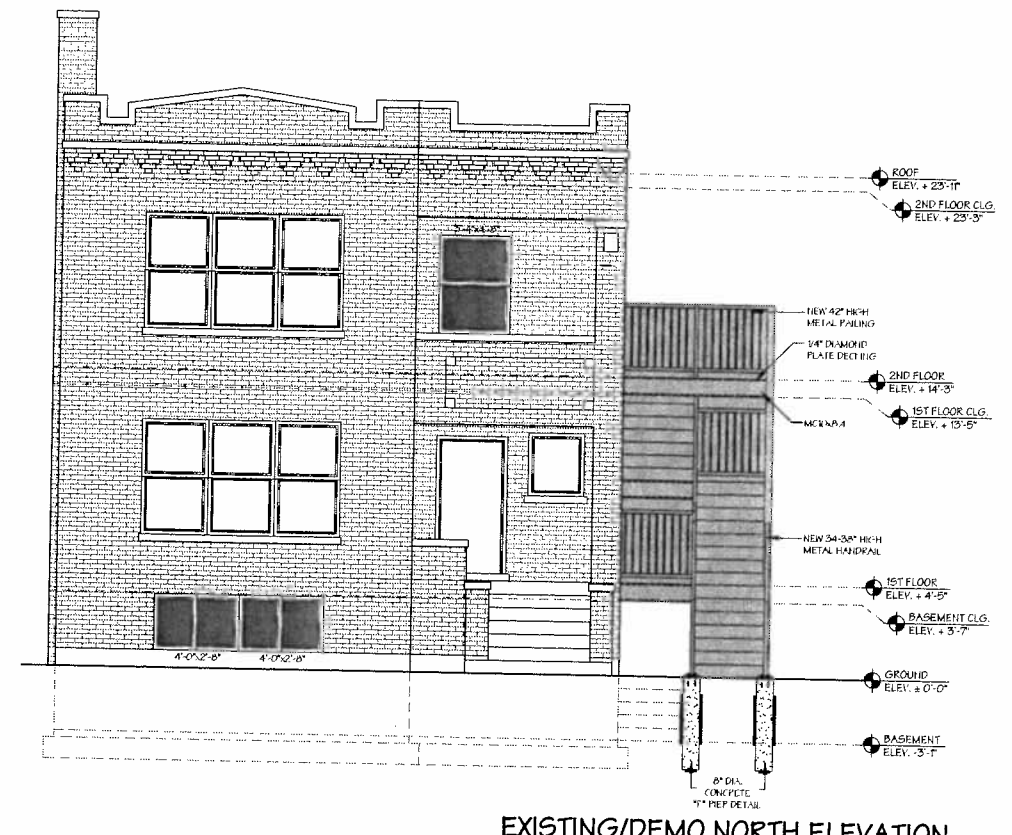
**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

<b>Project No.</b>			
100627039			
2418 W MEDILL AVE			
Revision	HP	04/19/16	Comments
Revision			
Revision			
Drawn	KC	04/06/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	
<b>PROPOSED FLOOR PLANS</b>			<b>A-4</b>
Title	Sheet No.		

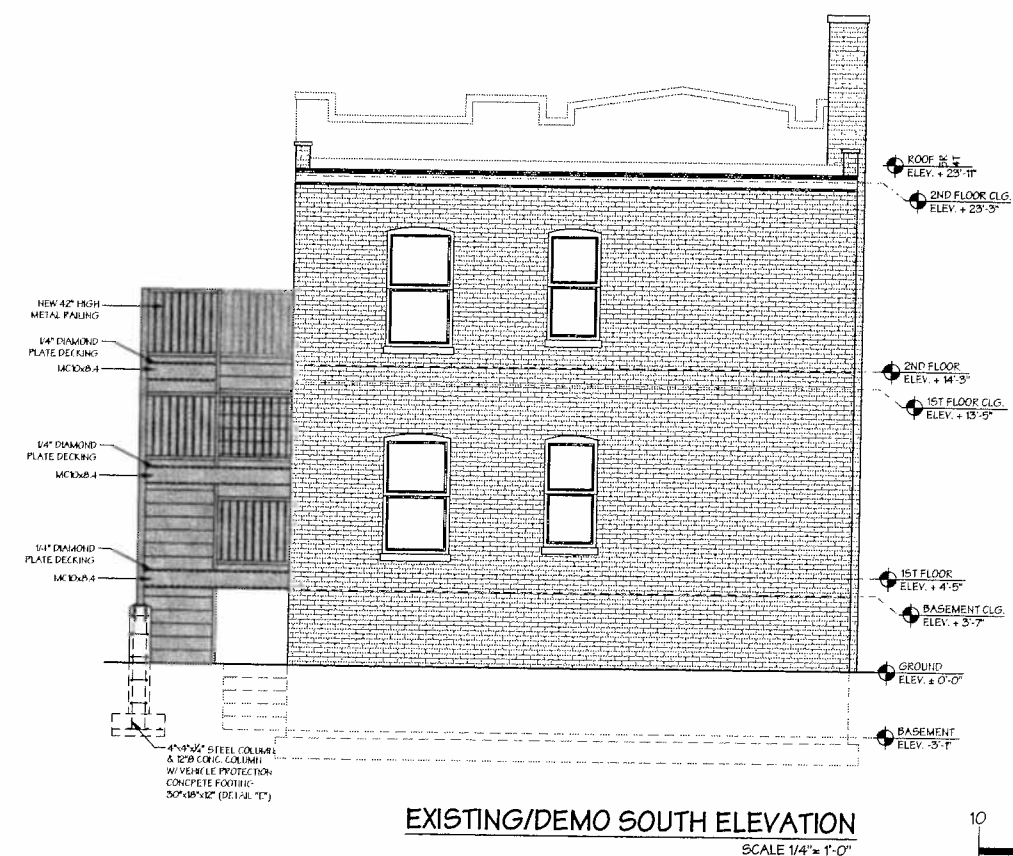




**EXISTING/DEMO WEST ELEVATION**  
SCALE 1/4" = 1'-0"



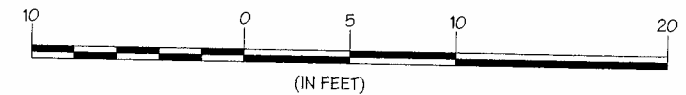
**EXISTING/DEMO NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



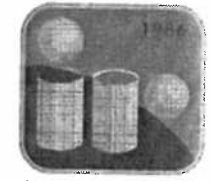
**EXISTING/DEMO SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**EXISTING/DEMO EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**PROFESSIONAL DESIGN FIRM**  
LIC#184-005444

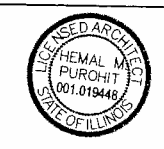


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**LEGEND:**

- EXISTING CONDITION
- NEW CONDITION
- NEW WINDOWS

-SEE SHEET A-6 FOR PORCH DETAILS



**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

<b>Project No.</b>		100627039	
<b>Address</b>		2418 W MEDILL AVE	
Revision	HP	04/19/16	
Revision			
Revision			
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<b>PROPOSED ELEVATIONS</b>		A-5	
Title		Sheet No.	

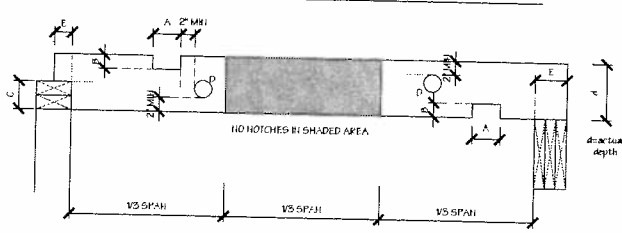
EXISTING/ NEW DOOR SCHEDULE				
TAG	NO. HI	THICK	LABEL	REMARKS
1	30/80	1 3/8"	-	-
2	30/80	1 3/8"	-	-
3	28/80	1 3/8"	-	-
4	30/80	1 3/8"	-	1HK - RATED DOOR
5	30/80	1 3/8"	-	-
6	30/80	1 3/8"	-	(1) 1H-FOLD DOOR
7	32/80	1 3/8"	-	(2) 1H-FOLD DOORS

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT:	
FENESTRATION U-FACTOR	0.35 MAX.
ST. LIGHT U-FACTOR	0.60 MAX.
GLAZED FENESTRATION SHGC	NF
CEILING R-VALUE	49 MIN.
WOOD FRAME WALL R-VALUE	10 OR 10.5 MIN.
MASS WALL R-VALUE	15 MIN.
FLOOR R-VALUE	30 MIN.
BASEMENT WALL R-VALUE	10/15 MIN.
SLAB R-VALUE AND DEPTH	10 MIN. 4FT
CEILING SPACE	10/15 MIN.

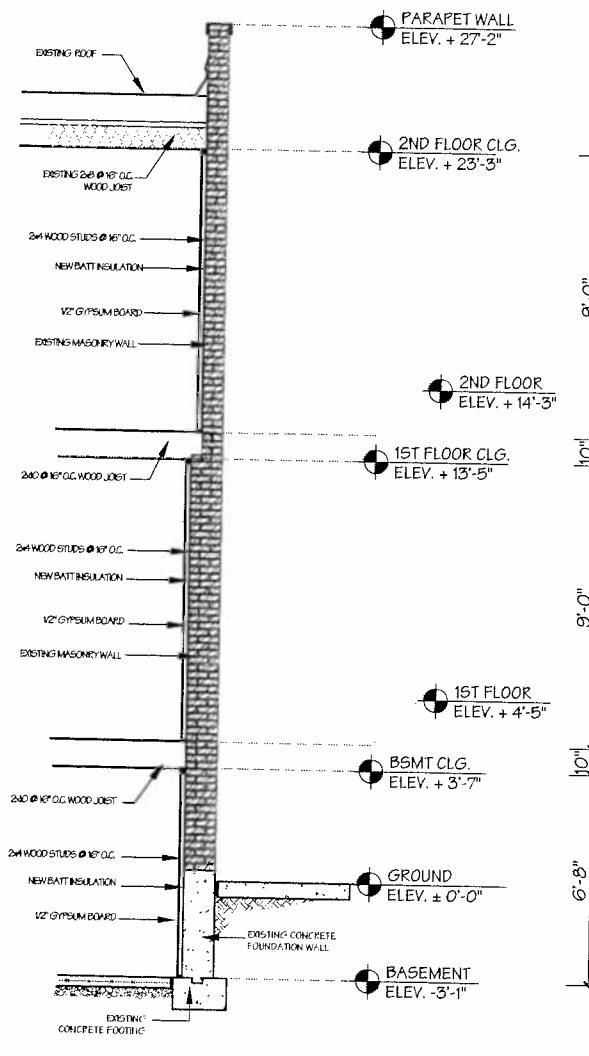
EXISTING/ NEW WINDOW SCHEDULE					
TAG	DIMENSION	TYPE	GLASS AREA	VEH	REMARKS
A	3'-2 1/2" x 4'-0"	DOUBLE-HUNG	12.21	0.36	EXISTING
B	3'-2 1/2" x 4'-0"	DOUBLE-HUNG	12.44	0.22	EXISTING
C	3'-0" x 5'-0"	DOUBLE-HUNG	6.49	0.25	REPLACED
D	3'-2 1/2" x 4'-0"	DOUBLE-HUNG	15.99	7.20	EXISTING
E	2'-0" x 5'-0"	DOUBLE-HUNG	6.50	4.25	EXISTING
F	2'-4" x 4'-0"	DOUBLE-HUNG	0.20	3.10	EXISTING
G	3'-4" x 4'-0"	DOUBLE-HUNG	10.85	5.45	NEW
H	3'-0" x 2'-0"	CASEMENT	0.05	0.05	REPLACED
I	3'-2 1/2" x 2'-0"	CASEMENT	5.78	5.78	REPLACED
J	4'-0" x 2'-0"	SLIDING	0.60	3.45	NEW

**AIR LEAKAGE BUILDING THERMAL ENVELOPE**  
 THE SEALING METHODS BETWEEN DISJOINT MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CABLED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AIR BARRIER MATERIAL, SUITABLE FILM OF SOLID MATERIAL:  
 1. ALL JOINTS, SEAMS & PENETRATIONS.  
 2. SUITE-BUILT WINDOWS, DOORS & SLIDINGS.  
 3. OPENINGS BETWEEN WINDOWS AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS & FRAMING.  
 4. UTILITY PENETRATIONS.  
 5. DROPPED CEILING OR CHASES ADJACENT TO THE THERMAL ENVELOPE.  
 6. WALLS & CEILING SEPARATING A GARAGE FROM CONDITIONED SPACES.  
 7. BEHIND TRIMS & SHOWERS OF EXTERIOR WALLS.  
 8. COMMON WALLS BETWEEN SWELLING UNITS.

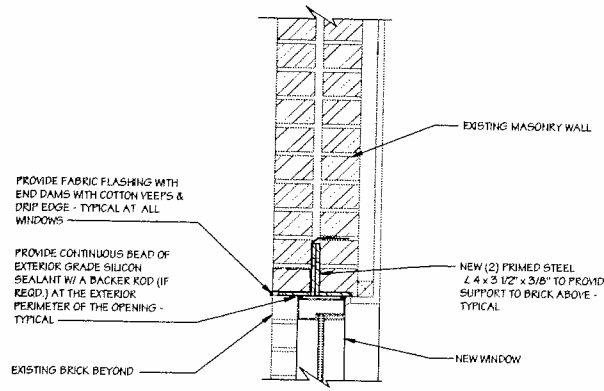
**DRILLING FOR OPENINGS IN JOISTS, BEAMS, AND HEADERS**



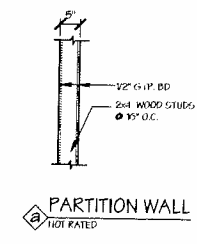
MAXIMUM NOTCH AND HOLE SIZES					
JOIST, BEAM, OR HEADER SIZE	A	B	C	D	E
	MAXIMUM NOTCH LENGTH NOT TO EXCEED 4/5	MAXIMUM NOTCH DEPTH NOT TO EXCEED 4/6	MAXIMUM END NOTCH DEPTH NOT TO EXCEED 4/4	MAXIMUM HOLE DIAMETER NOT TO EXCEED 4/5	WOOD OF STEEL
2x8	2 5/8"	1 3/4"	1 5/8"	2 3/8"	1 1/2" 3"
2x10	3 1/2"	1 1/2"	2 5/8"	3 1/2"	1 1/2" 3"
2x12	3 3/4"	1 7/8"	2 5/8"	3 3/4"	1 1/2" 3"



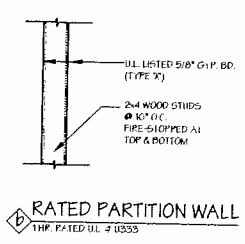
**SECTION "A"**  
SCALE: 3/8" = 1'-0"



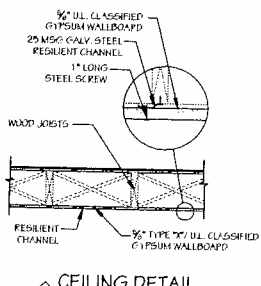
**WINDOW HEAD 'DETAIL B'**  
SCALE: 1/2" = 1'-0"



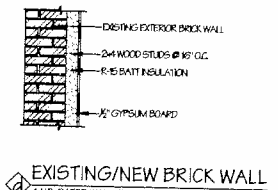
**PARTITION WALL**  
NOT RATED



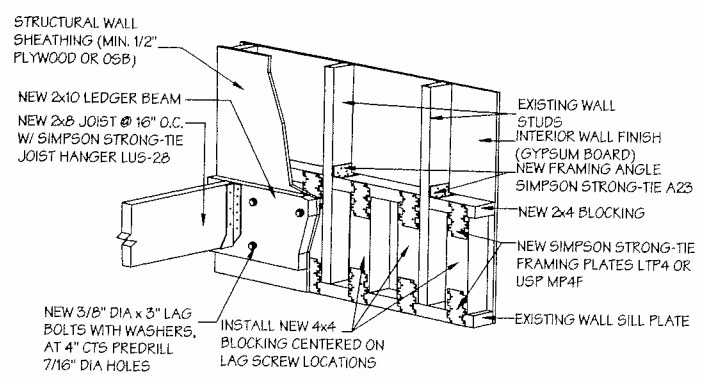
**RATED PARTITION WALL**  
THP. RATED U.L. 2 UB33



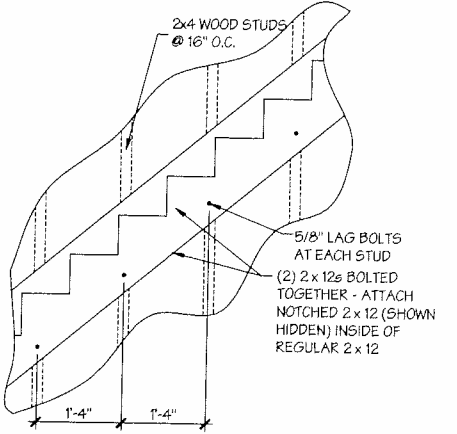
**CEILING DETAIL**  
THP. RATED U.L. 2 UB33



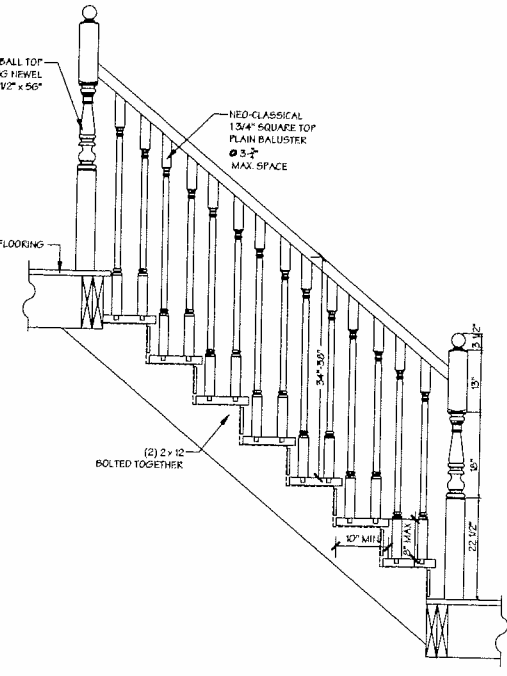
**EXISTING/NEW BRICK WALL**  
THP. RATED WALL PER ASTM E176



**'LBF04'**  
LEDGER BEAM DETAIL @ LANDING



**'LBF03'**  
STRINGER DETAIL (ELEVATION)



**INTERIOR STAIR ELEVATION**  
SCALE: 3/4" = 1'-0"

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LIC# 184-005444

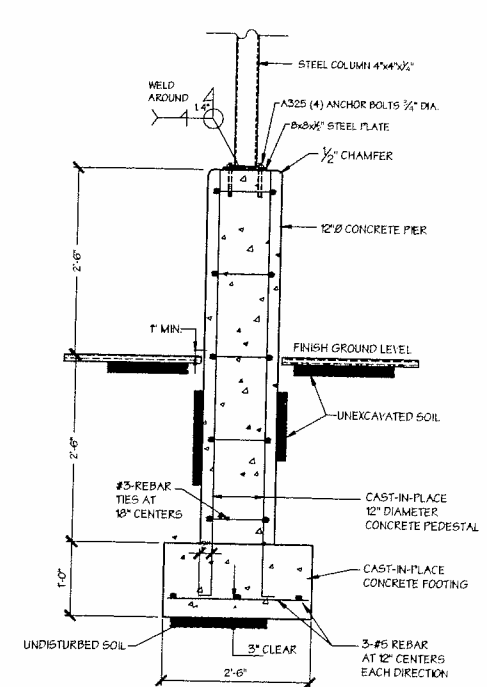
**IR DESIGN INC.**  
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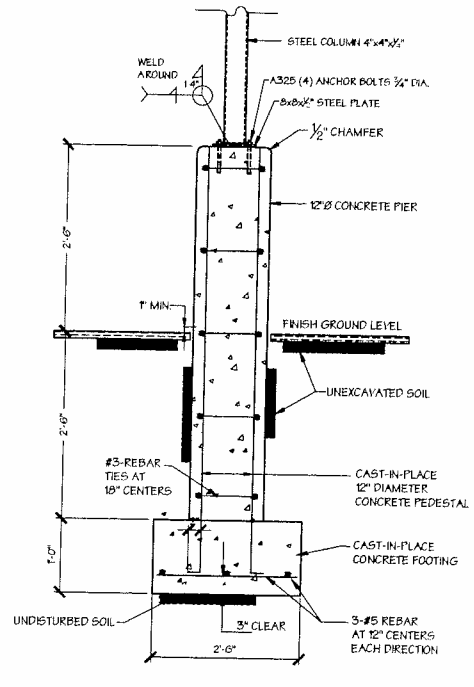
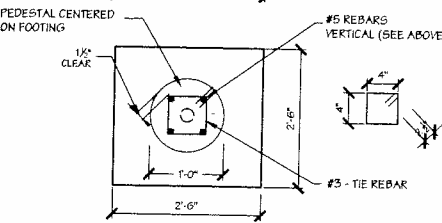
**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.			
100627039			
2418 W MEDILL AVE			
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Approved	HP	04/19/16	
<b>SECTION, DETAILS &amp; SCHEDULES</b>		<b>A-6</b>	
Title		Sheet No.	

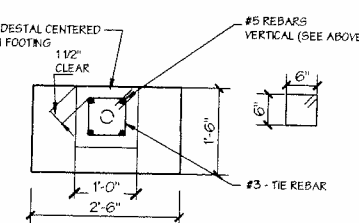




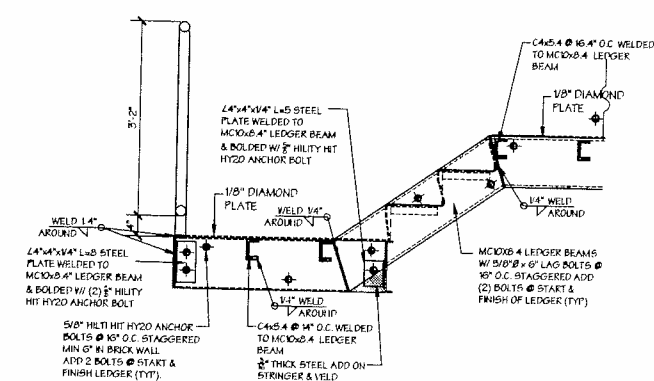
**'F' VEHICLE PROTECTION FOOTING DETAIL**  
NTS



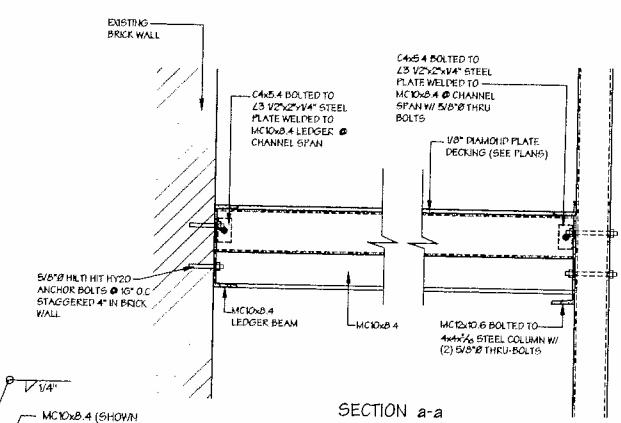
**'E' VEHICLE PROTECTION FOOTING DETAIL**  
NTS



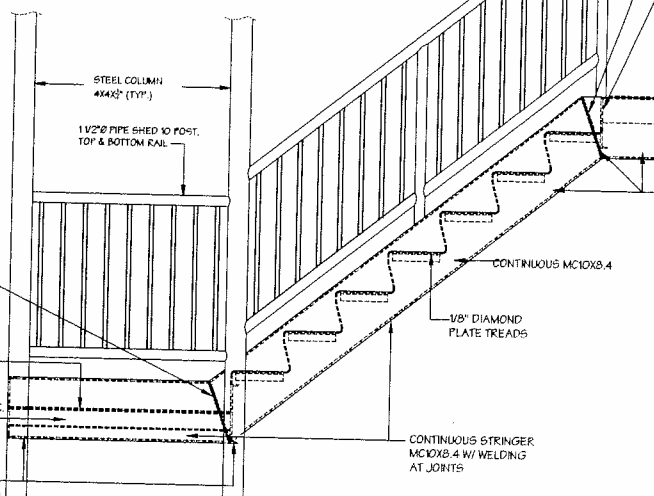
**STAIR & LANDING SECTION**  
NTS



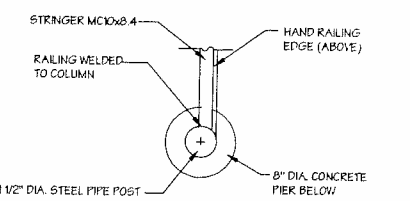
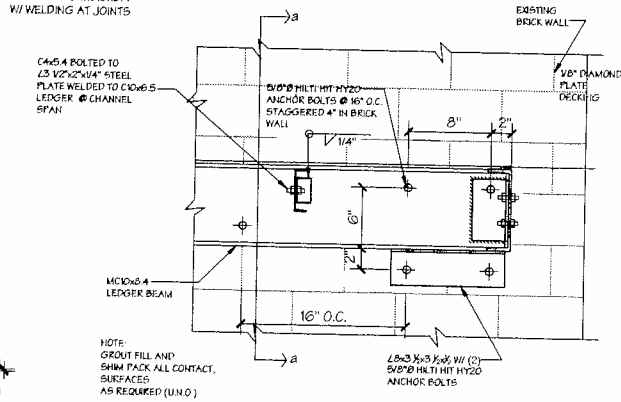
**SECTION a-a**



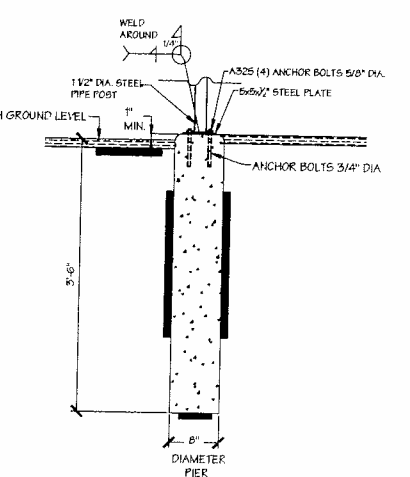
**STRINGER DETAIL**  
NTS



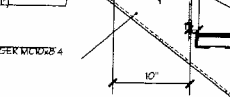
**LEDGER BEAM DETAIL**  
NTS



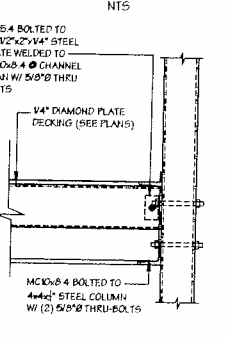
**'K' PIER DETAIL**  
NTS



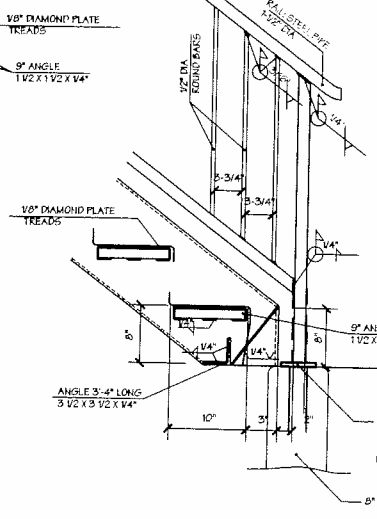
**DETAIL 'B'**  
NTS



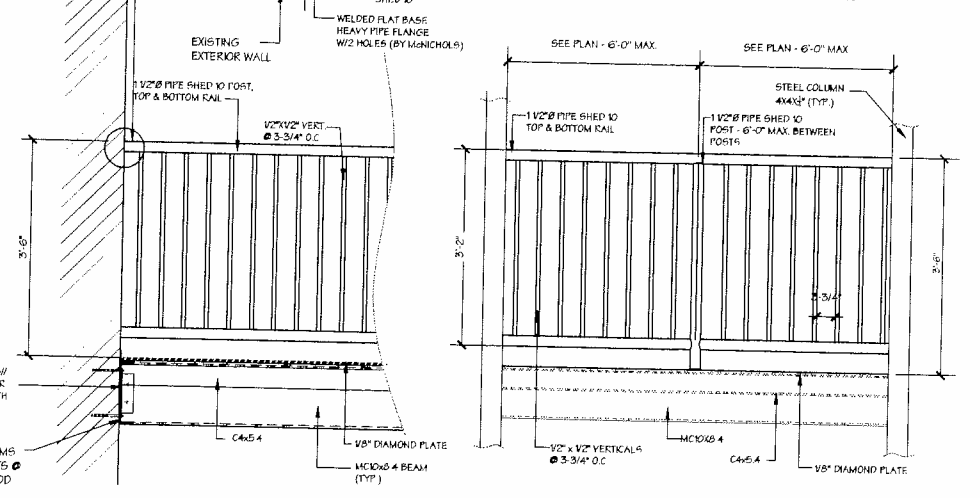
**STEEL COLUMN & M10x8.4 CONNECTION**  
NTS



**DETAIL 'A'**  
NTS



**RAILING ELEVATIONS CONNECTION DETAIL**  
NTS

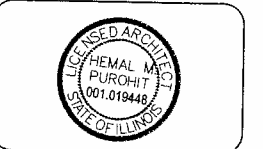


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**MATERIALS TO BE USED:**  
Wood: Southern Yellow Pine, pressure treated to D40 (pounds of preservative per square foot of timber & fire-retardant treated Grade 1). For better detail use for columns, and Grade No. 2 or better shall be used for all other members.  
Fasteners: Fasteners shall be as follows:  
Nails: Stainless steel or hot-dipped galvanized, sized as specified in details. Deck Screws: 2022 to 3127 long, #5 size minimum, stainless steel or hot-dipped galvanized.  
Lag Bolts: Stainless steel or hot-dipped galvanized, sized as specified in details. Material shall be SAE Grade 2. Hot-Dip Stainless steel or hot-dipped galvanized, sized as specified in details. Material shall be ASTM A307.  
Concrete: Concrete, whether precast or cast-in-place, shall have a compressive strength of 3,500 pounds per square inch 28 days after placement, and shall have 5% to 8% air entrainment.  
Reinforcement Bars: Reinforcement bars shall be ASTM A603, Grade 60 steel.  
Masonry: Masonry units shall comply with applicable ASTM standards, and mortar shall be Type M or S, with 7m x 1.50 pounds per square foot.  
Metal Construction Connectors: These shall be stainless steel or hot-dipped galvanized Simpson Strong-Tie or equal, to be used for joint hanger, column base, metal strap, and metal angle connections. Note that if hot-dipped galvanized connectors are used, all of the fasteners for their connection must be hot-dipped galvanized as well, since stainless steel could damage the galvanizing.  
Painting and Sealants: Flashing shall be 30-gauge aluminum or 16-gauge cold-rolled copper. Caulking Coatings: CCW-705 Self-Adhering Vapor/Air Barrier System or equal shall be used for the vapor barrier at the ledger beam connections. Sealant shall be 100% Silicone Durable Sealant with a 50-year durability guarantee. Structural Steel: All structural steel shall be ASTM A36, coated with a rust-protective primer with a minimum dry thickness of 5 mils.

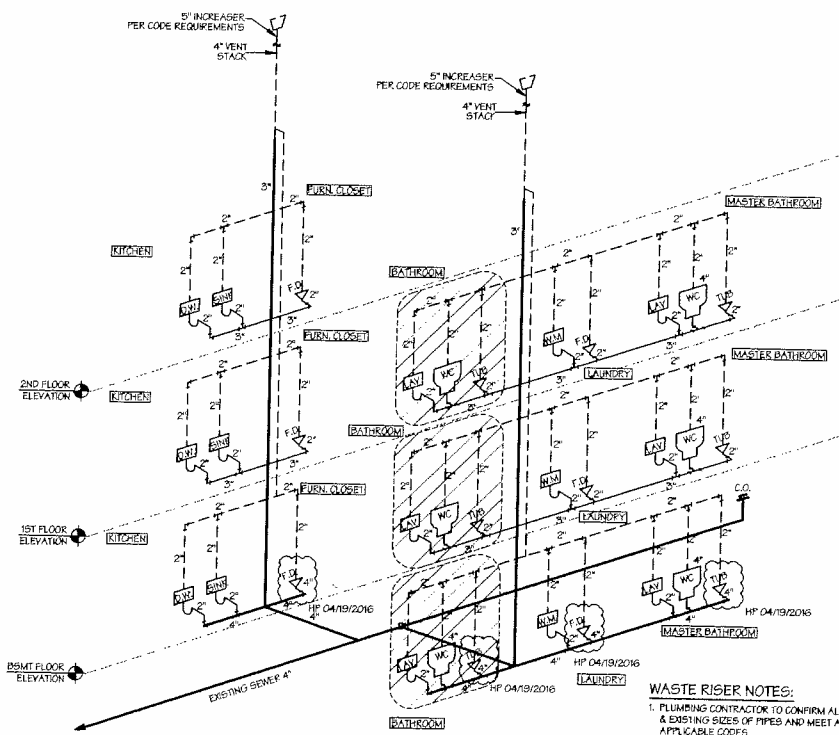


**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
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<b>Project No.</b>	
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<b>PORCH DETAILS</b>	<b>A-7</b>
Title	Sheet No.

**PLUMBING SPECIFICATIONS**

- 1. GENERAL**
- A. ALL PROVISIONS OF THE ARCHITECT'S GENERAL CONDITIONS SHALL APPLY AND IS CONSIDERED PART OF THE WORK SPECIFIED HEREIN.
  - B. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION AND OPERATION OF NEW SYSTEMS AND MODIFICATIONS TO THE EXISTING SYSTEMS SHOWN ON THE DRAWINGS, INCLUDING ALL RELATED ACCESSORIES AS NOTED ON THE DRAWINGS AND AS NOTED AFTER SPECIFIED.
  - C. COORDINATE WITH ALL TRADES TO AVOID INTERFERENCE. WORK THAT IS INSTALLED WHICH INTERFERES WITH THE WORK OF OTHER TRADES DUE TO THE LACK OF COORDINATION SHALL BE CHANGED AT NO ADDITIONAL COST TO THE OWNER.
  - D. FINISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND FEASIBLY NECESSARY TO COMPLETE THE INSTALLATION AND USUALLY INCLUDED BY TRADE WORK, EVEN THOUGH NOT SPECIFICALLY MENTIONED IN THE CONTRACT DOCUMENTS. SUCH ITEMS ARE BOLTS, NUTS, WASHERS, NAILS, BRACKETS, SLEEVES, MINOR OFFSETS IN PIPING BEYOND OF UNOBTAINABLE OBSTRUCTIONS, ETC.
  - E. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT JOB SITE PRIOR TO SUBMITTAL OF BID. FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S RISK. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. NO CONSIDERATION WILL BE GIVEN TO REQUEST FOR ADDITIONAL COMPENSATION AFTER THE LETTING OF CONTRACT.
  - F. ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, COMPLETE SYSTEM SHALL BE FULLY OPERATIONAL, ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT. PROVIDE MAXIMUM HEADROOM AND AVOID OBSTRUCTIONS.
  - G. SCOPE OF WORK SHALL INCLUDE:
1. FURNISH ALL LABOR, MATERIAL, TOOLS, EQUIPMENT, AND SERVICES FOR PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS AND HEREINAFTER SPECIFIED, INCLUDING PROVIDING ALL SUPPLEMENTS, FITTINGS AND INCIDENTAL MISCELLANEOUS ITEMS, APPURTENANCES AND DEVICES INCIDENTAL TO OR NECESSARY FOR A SOUND, SECURE AND COMPLETE INSTALLATION OF SYSTEMS, BUT NOT LIMITED TO THE FOLLOWING:
    - A. PROVIDE ALL DEMOLITION WORK, INCLUDING CAPPING AND/OR PLUGGING PIPING SYSTEMS TO MEET FIELD CONDITIONS. REMOVE ENTIRE PLUMBING SYSTEM IN ITS ENTIRETY, INCLUDING COLD WATER, SANITARY, WASTE & VENT.
    - B. NEW COLD AND HOT WATER PIPING AS SHOWN ON THE DRAWINGS, INCLUDING ALL RELATED INSTALLATION ACCESSORIES.
    - C. SANITARY SEWER AND VENT PIPING, ABOVE AND BELOW GROUND AS SHOWN ON THE PLANS, INCLUDING ALL RELATED INSTALLATION ACCESSORIES.
    - D. PLUMBING FIXTURES WITH TRIM AS SCHEDULED ON THE DRAWINGS.
    - E. EXHAUSTING PIPING AND FINAL CONNECTION TO EQUIPMENT AND FIXTURES FURNISHED BY OTHERS.
    - F. FLOOR DRAIN, CLEANOUTS AND ALL RELATED SPECIALTY PLUMBING ACCESSORIES AS SHOWN ON THE DRAWINGS.
    - G. ALL VALVES, RELATED VALVE TAGGING, AND VALVE SCHEDULE.
    - H. PROVIDE ALL EXCAVATION AND BACKFILLING FOR NEW UNDERGROUND WORK.
    - I. PROVIDE PIPE INSULATION OF NEW HOT AND COLD WATER PIPING.
    - J. TEST, DEMONSTRATIONS AND CLEANING OF ALL NEW PIPING SYSTEMS.
    - K. ALL FEES, LICENSES, APPROVALS, INSPECTIONS, TESTS, OBTAINING OF CERTIFICATES OF INSPECTION, AND OTHER APPURTENANCES SHALL BE OBTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE.
    - L. WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES, REGULATIONS, JURISDICTION AND ORDINANCES AS WELL AS LATEST OSHA REQUIREMENTS.
    - M. CONTRACTOR SHALL COORDINATE ALL FLOOR, WALL, CEILING AND ROOF OPENINGS REQUIRED FOR INSTALLATION OF HIS WORK.
    - N. CONTRACTOR SHALL PROVIDE ONE (1) YEAR WARRANTY ON ALL MATERIALS AND WORKMANSHIP AGAINST DEFECT.
    - O. REMOVE FROM THE PREMISES ALL RUBBISH ACCUMULATED AND GENERATED AND KEEP PREMISES CLEAN DURING PROGRESS OF THE WORK.
    - P. FINAL INSPECTION AND TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER. CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, INSTRUMENTS AND MISCELLANEOUS EQUIPMENT REQUIRED FOR HIS TESTS.
    - Q. FOR EACH PRODUCT SPECIFIED, PROVIDE COMPONENTS BY SAME MANUFACTURER, IF APPLICABLE.
    - R. ENSURE PRODUCTS AND INSTALLATION OF SPECIFIED PRODUCTS ARE IN CONFORMANCE WITH RECOMMENDATIONS AND REQUIREMENTS OF NATIONAL SANITATION FOUNDATION (NSF) AND UNDERWRITERS LABORATORIES (UL).
    - S. BURIED SANITARY SEWERS SHALL BE CAST IRON PIPE ASTM A74 SERVICE WEIGHT. FITTINGS SHALL BE CAST IRON. JOINTS SHALL BE RUBBER GASKET, COMPRESSION TYPE WITH ASTM D2064 NEOPRENE GASKETS.
    - T. SIZE 2" AND LARGER SANITARY SEWER PIPING, ABOVE GRADE SHALL BE PVC.
    - U. SIZE 1 1/2" AND SMALLER SANITARY SEWER PIPING, ABOVE GRADE SHALL BE SCHEDULE 40.
    - V. DOMESTIC HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE COPPER. TUBING ASTM B88, TYPE L AND T. HARD DRAWN OR GALVANIZED STEEL PIPE ASTM A53, SCHEDULE 40. FITTINGS FOR COPPER PIPE SHALL BE ANGLEWEDGE BRASS, COST BRASS OR ANGLEWEDGE BRASS. WROUGHT COPPER JOINTS SHALL BE ANGLEWEDGE BRASS SOLDER, GRADE 9014. FITTINGS FOR STEEL PIPE SHALL BE CAST IRON. JOINTS SHALL BE THREADED AND SEALED WITH JOINT COMPOUND.
    - W. UNIONS AND COUPLINGS:
      - A. PIPE SIZE 2" AND UNDER, 150 PSI MALLEABLE IRON UNIONS FOR THREADED FERROUS PIPING; BRONZE UNIONS FOR COPPER PIPE, SOLDERED JOINTS.
      - B. DIELECTRIC CONNECTIONS UNION WITH GALVANIZED OR PLATED STEEL THREADED END, COPPER SOLDER END, WATER IMPERMEABLE ISOLATION BARRIER.
      - C. GATE VALVES SHALL BE AS MANUFACTURED BY MILWAUKEE VALVE CO. MODEL 180 OR 180 BRONZE. OTHER ACCEPTABLE MANUFACTURERS OF FITTINGS EQUIVALENT PRODUCTS ARE NIBCO, STOCKHAM AND CRANE. VALVES SHALL BE BRONZE BODY, BRONZE TRIM, RUBBER STEAM HANDHELD INSIDE SCREW, DOUBLE WEDGE OF DGC, SOLDER OF THREADED ENDS RATED FOR 225 PSI.
      - D. BALL VALVES SHALL BE AS MANUFACTURED BY MILWAUKEE VALVE CO. MODEL BA-100 OR BA-100 BRONZE. OTHER ACCEPTABLE MANUFACTURERS OF FITTINGS EQUIVALENT PRODUCTS ARE NIBCO, STOCKHAM AND CRANE. VALVES SHALL BE ONE-PIECE BRONZE BODY, CHROME PLATED STEEL BALL, TEFLOON SEATS AND STUFFING BOX FRIC. LEVER HANDLE SOLDER OF THREADED ENDS.
      - E. CLEANOUTS SHALL BE PLACED AT ALL DEAD ENDS, AT ALL CHANGES OF DIRECTION AND AT 50 FT. INTERVALS ON HORIZONTAL PIPING. CARE SHALL BE EXERCISED TO LOCATE CLEANOUTS TO AVOID EQUIPMENT INSTALLATIONS OR OTHER INTERFERENCES.
      - F. CLEANOUT EXTENSION TO FINISHED FLOORS INSIDE THE BUILDING SHALL TERMINATE IN STANDARD BRASS CLEANOUT PLUGS, SET BELOW THE FLOOR AND PROVIDED WITH HEAVY DUTY CLEANOUT CONSISTING OF CAST IRON SPIGOT BODY WITH CUTOFF GROOVES, AND NIBCO BRONZE ADJUSTABLE TOPS, SET FLUSH WITH FINISHED FLOOR AND HELD IN PLACE WITH BRASS SCREWS. CLEANOUTS SHALL BE SMITH NO. 4180.
      - G. PROVIDE A TRAP WITH CLEANOUT PLUG FOR EACH FLOOR DRAIN NOT FINISHED WITH AN INTEGRAL TRAP OR SEAL.
    - X. PROVIDE SHUT OFF VALVES AT ALL FIXTURES.
    - Y. PROVIDE AIR CHAMBERS AT ALL FIXTURES.
    - Z. PROVIDE AIR CHAMBERS AT ALL PIPERS.
    - AA. PROVIDE ANTISCALED DEVICE IN ALL SANITARY.
    - AB. ALL HOSE DRIPS SHALL BE EQUIPPED WITH CUMULATIVE DRAPEERS.



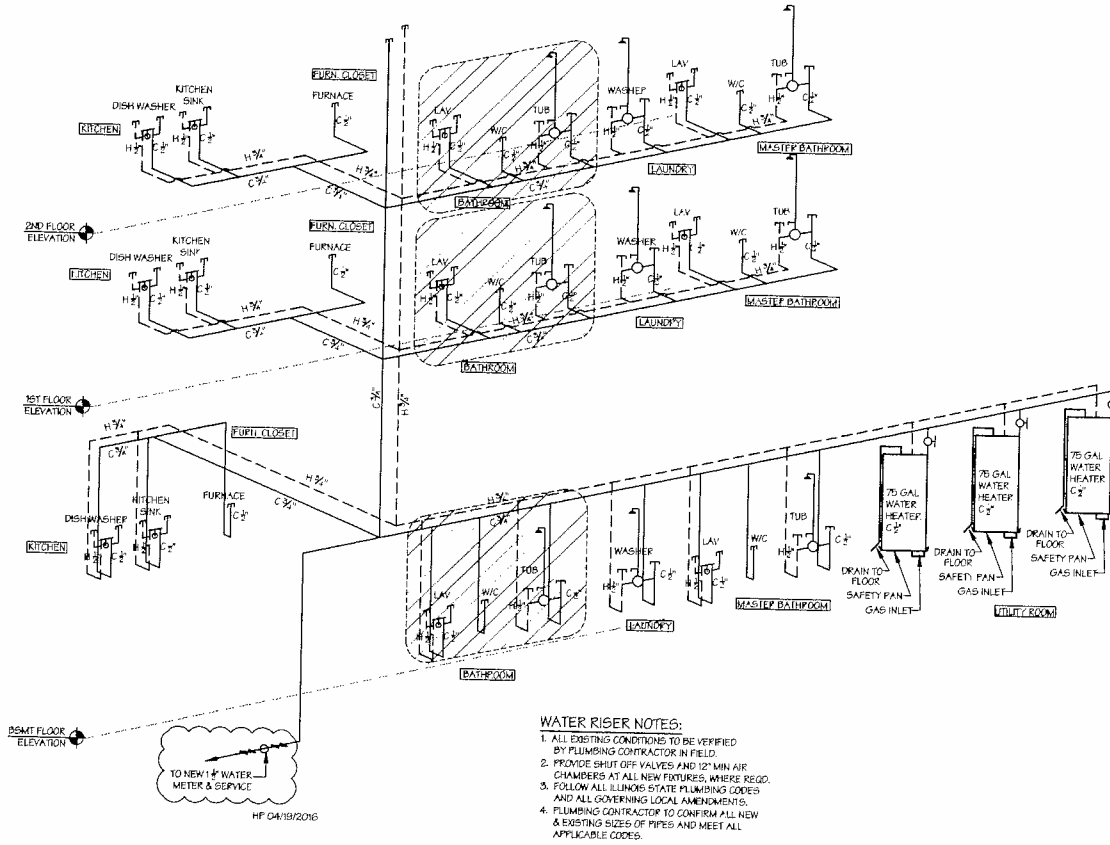
**WASTE RISER NOTES:**

1. PLUMBING CONTRACTOR TO CONFIRM ALL NEW & EXISTING SIZES OF PIPES AND MEET ALL APPLICABLE CODES.
2. FOLLOW ALL ILLINOIS STATE PLUMBING CODES AND ALL GOVERNING LOCAL AMENDMENTS.
3. ALL NEW SANITARY WASTE AND VENT LINES SHALL BE PVC (OR TO MATCH EXISTING TYPE), AND CAST IRON BELOW GRADE.
4. ALL EXISTING CONDITIONS TO BE VERIFIED BY PLUMBING CONTRACTOR IN FIELD.
5. PROVIDE APPROVED AIR GAP ON ALL DRAINS REQUIRED BY CODE.

VENT LINE    SANITARY WASTE LINE

**WASTE RISER DIAGRAM**  
N.T.S.

NEW PLUMBING FIXTURES SCHEDULE				
(OR ARCHITECT/OWNER APPROVED EQUAL)				
FIXTURE	MAKE & MODEL	MATERIAL	REPLACED	NEW
W.C. (TOILET)	FORNEY "WELLWORTH" (T-3420)	VITREOUS CHINA	2	2
LAV.	FORNEY WIDEOPEN LAVATORY (W-202)	VITREOUS CHINA	2	2
KITCHEN SINK	FORNEY "ADELITE" - 24" OR EQUAL	STAINLESS STEEL	1	0
DISH WASHER	BOSCH 24" DISHWASHER (DHE14P25K)	STAINLESS STEEL	0	1
WASHER	LG WM24HXP FRONT LOAD WASHER	STAINLESS STEEL	0	1
WASHER	LG (BY OWNER)	STAINLESS STEEL	0	1
BATH TUB	KOHLER "WELLWORTH" (K-837)	CAST IRON	2	0
SHOWER	BY OWNER	CAST IRON	0	2
UTILITY SINK	BY OWNER	VITREOUS CHINA	0	1
TOTAL			7	11

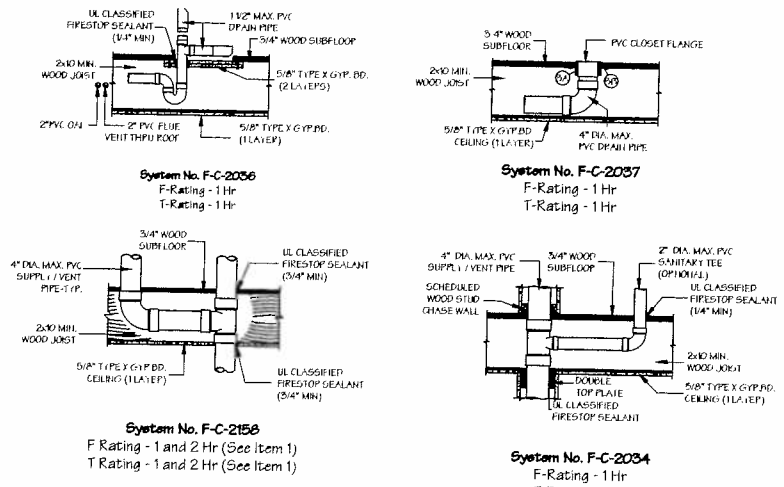


**WATER RISER NOTES:**

1. ALL EXISTING CONDITIONS TO BE VERIFIED BY PLUMBING CONTRACTOR IN FIELD.
2. PROVIDE SHUT OFF VALVES AND 1/2" MIN AIR CHAMBERS AT ALL NEW FIXTURES, WHERE REQD.
3. FOLLOW ALL ILLINOIS STATE PLUMBING CODES AND ALL GOVERNING LOCAL AMENDMENTS.
4. PLUMBING CONTRACTOR TO CONFIRM ALL NEW & EXISTING SIZES OF PIPES AND MEET ALL APPLICABLE CODES.

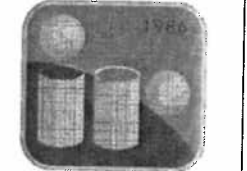
HOT WATER    COLD WATER

**WATER RISER DIAGRAM**  
N.T.S.



**PLUMBING FIRESTOP DETAILS**  
N.T.S.

**PROFESSIONAL DESIGN FIRM**  
LIC # 184-005444



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**LEGEND:**

- NEW
- REPLACED/EXISTING
- C.O. CLEAN OUT
- J. CODE APPROVED TRAP



**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.			
100627039			
2418 W MEDILL AVE			
Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC.	03/17/16	
Checked	JR	03/17/16	
Approved	HP	04/19/16	
<b>PLUMBING LINE DIAGRAM</b>		<b>P-0</b>	
Title		Sheet No.	

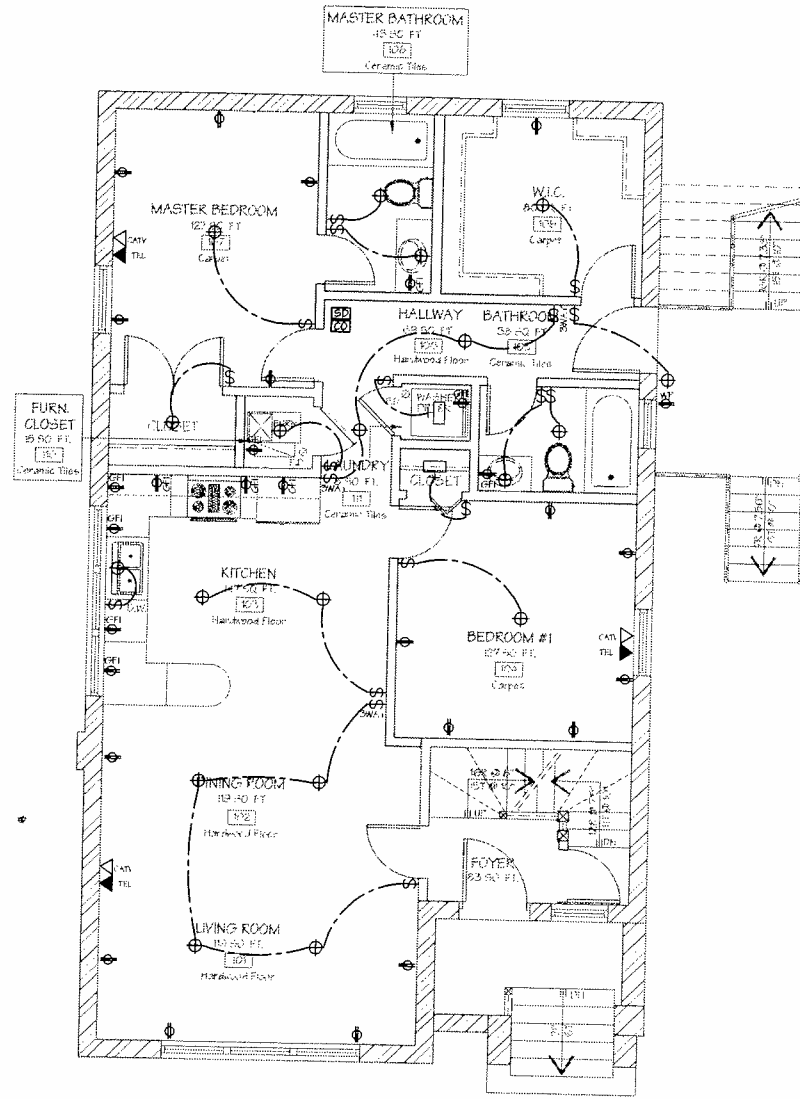


**ELECTRICAL NOTES**

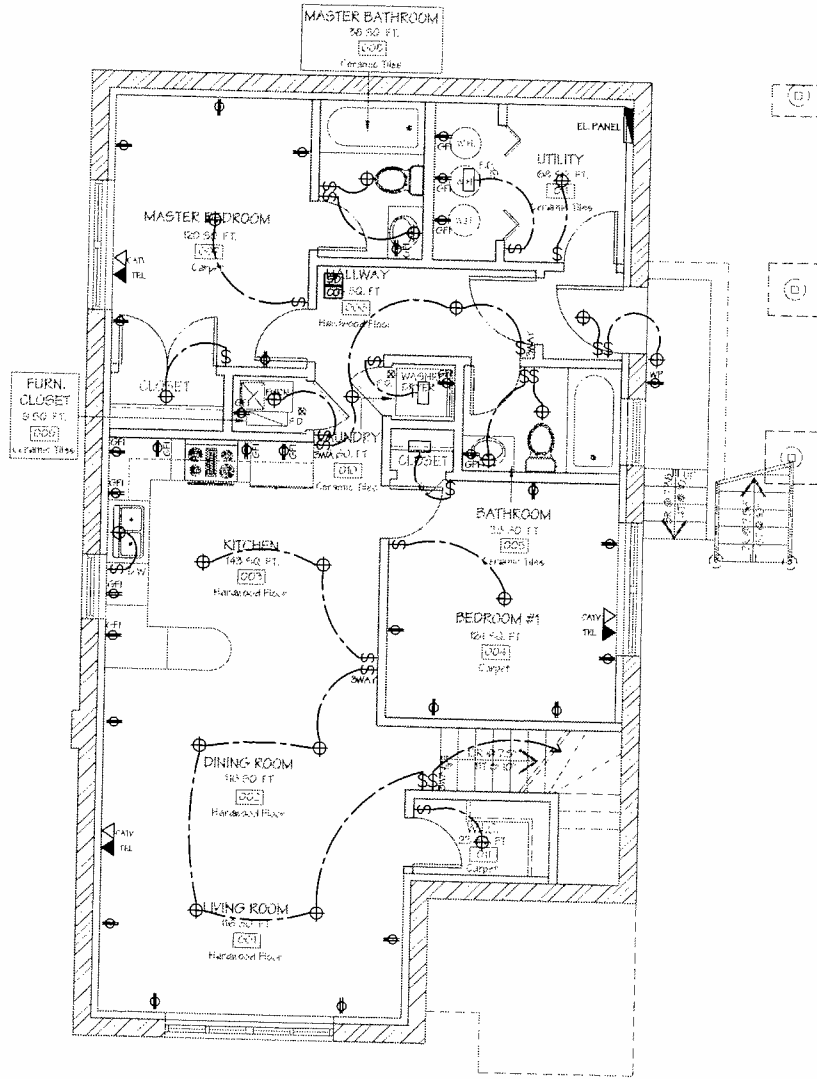
1. IT IS THE PURPOSE AND INTENT OF THE SPECIFICATION, NOTES AND DRAWINGS, THAT THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF ELECTRICAL SERVICES AS INDICATED ON THE PLANS AND AS HEREINAFTER SPECIFIED COMPLETE IN MATERIALS AND FITTINGS AS MAY BE REQUIRED TO MAKE THE WORK COMPLETE FOR THE PURPOSE INTENDED.
2. THE DRAWINGS PERTAINING TO THIS INSTALLATION GENERALLY INDICATE THE LOCATION OF EQUIPMENT AND OTHER DETAILS NECESSARY TO THE COMPLETE INSTALLATION. BIDDEES SHALL AGREE TO THESE NOTES WITH THE WORKING CONDITIONS AND REQUIREMENTS AT THE BUILDING SITE. AS PER CONTRACT FOR THIS WORK SHALL BE BASED UPON FURNISHING ALL LABOR AND MATERIALS REQUIRED TO ENTIRELY COMPLETE THE WORK, READY FOR USE.
3. ANY CHANGES IN THE LOCATION OF THE EQUIPMENT, ETC., FROM THOSE SHOWN ON THE DRAWINGS SHALL BE MADE WITHOUT CHANGE IF SO DIRECTED BY THE ARCHITECT BEFORE INSTALLATION.
4. ALL ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND IN FULL ACCORD WITH LOCAL ELECTRICAL CODES AND REQUIREMENTS.
5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS AND INSPECTIONS FOR ALL WORK COVERED BY THIS CONTRACT. ALL CERTIFICATES OF INSPECTIONS SHALL BE DELIVERED TO THE OWNER.
6. ALL CUTTING AND PATCHING WORK MUST BE DONE IN ORDER THAT THE ELECTRICAL WORK MAY BE PROPERLY INSTALLED. SHALL BE DONE BY APPROPRIATE TRADESMEN. ALL DISTURBED CONSTRUCTION SURFACES OR FINISHES MUST BE REPLACED OR REPAIRED TO THE ARCHITECT'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. UNDER NO CIRCUMSTANCES SHALL STRUCTURAL WORK BE CUT EXCEPT UPON APPROVAL OF THE ARCHITECT.
7. PROVIDE PROPER AND SUFFICIENT GROUND CONNECTION FOR ALL ELECTRICAL DEVICES AND EQUIPMENT. ALL CONDUIT CONNECTIONS SHALL BE DRAWN UP RIGHT AND SECURE.
8. CONTRACTOR'S ATTENTION IS CALLED TO THE TYPE OF CONSTRUCTION SO THAT HE CAN FURNISH PROPER AND SUFFICIENT SUPPORT FOR ALL FITTINGS, CONDUIT, ETC., AS REQUIRED.
9. CONTRACTOR SHALL CORRELATE LOCATIONS OF ALL LIGHTING FIXTURES, DEVICES AND THE LINE WITH ARCHITECT'S DETAILS AND FLOORING PLANS. ARCHITECT'S DECISION OF PLACEMENT SHALL BE FINAL.
10. ALL CONDUITS MUST BE INDEPENDENTLY SUPPORTED. NO CONDUITS SHALL BE SUPPORTED FROM DUCTS, PIPING, HANGERS OR CEILING SUSPENSION WIRES.
11. SECURELY ANCHOR EXPOSED CONDUITS. ROUTE ALL EXPOSED CONDUIT IN A NEAT APPROVED MANNER.
12. SUBMIT SHOP DRAWINGS FOR REVIEW IN ACCORDANCE WITH ARCHITECT'S SPECIFICATIONS.
13. PROVIDE TYPEWRITTEN DIRECTORY TOP PANEL BOARD.
14. MINIMUM WIRE SIZE TO BE #12 (NEC CODE) OVER 75 FT. PIPES TO BE MINIMUM #10 UNLESS NOTED OTHERWISE ON THE PLANS. MINIMUM CONDUIT SIZE TO BE 1/2 INCH EMT CONDUITS AND CONNECTORS TO BE COMPRESSION OR SET-SCREW TYPE.
15. THIS CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT AND WIRING FREE FROM INHERENT MECHANICAL AND ELECTRICAL DEFECTS FOR THE PERIOD OF ONE (1) YEAR FROM THE DATE OF INSTALLATION. ALL REPAIRS OR ADJUSTMENTS INCLUDE LABOR, MADE NECESSARY BY INHERENT MECHANICAL OR ELECTRICAL DEFECTS SHALL BE REQUIRED WITHOUT COST TO THE OWNER.
16. THIS CONTRACTOR SHALL OBTAIN APPROVAL FROM COMMONWEALTH OF ILLINOIS CO. PRIOR TO INSTALLATION OF METERS. INSTALL ELECTRICAL SERVICE PER COMMONWEALTH OF ILLINOIS CO. SPECIFICATION.
17. ALL TEMPERATURE CONTROL CONDUITS SHALL BE IN ELECTRICAL CONTROL WIRING BY MECHANICAL CONTRACTOR.
18. ELECTRICAL CONTRACTOR SHALL WIRE AND INSTALL DISCONNECTS INCLUDING CONNECTIONS FOR ALL MECHANICAL EQUIPMENT AS REQUIRED.
19. ALL ELECTRICAL EQUIPMENT SHALL BE SIZED TO MEET OR EXCEED THE AVAILABLE SHORT CIRCUIT CURRENT.
20. IT IS RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CHECK FUSE, CIRCUIT BREAKER, AND WIRE SIZE REQUIREMENTS FOR THE EQUIPMENT ACTUALLY INSTALLED (WORK MAY DIFFER FROM THAT DESCRIBED IN THE DRAWINGS).
21. ALL ELECTRICAL WORK SHALL BE INSTALLED IN A METAL CONDUIT SYSTEM.
22. GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL. ALL FEEDERS SUPPLYING 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL: ALL BATHROOMS, RESTROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENT, KITCHEN (COUNTERTOPS) AND WET BATH LOCATIONS.
23. ARC-FAULT CIRCUIT INTERRUPTER PROTECTION: ALL BRANCH CIRCUITS SUPPLYING 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI).

**GENERAL NOTES**

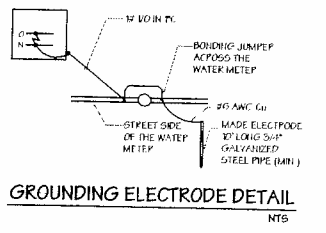
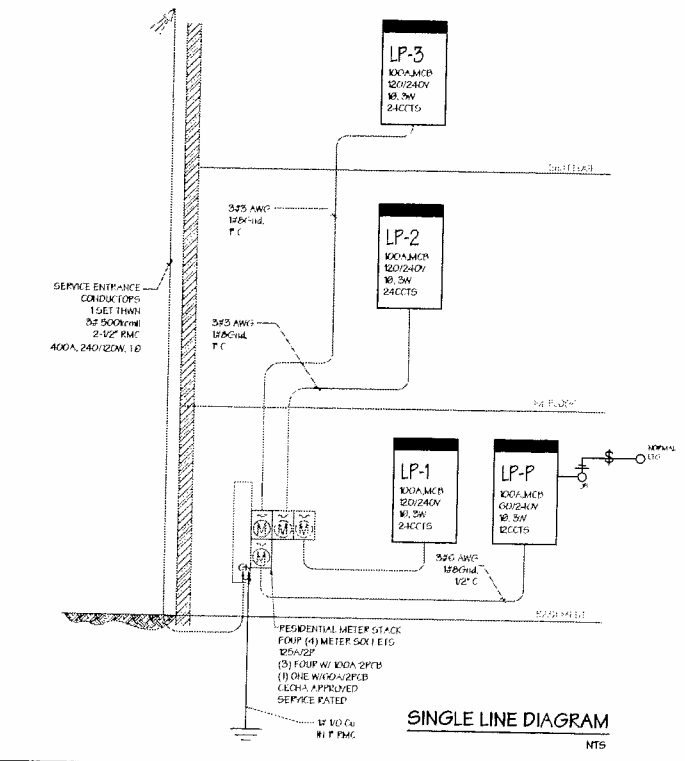
- A. ELECTRICAL CONTRACTOR SHALL VISIT SITE TO THOROUGHLY FAMILIARIZE HIMSELF WITH THE AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT.
- B. ORIENTATE ALL TOGGLE SWITCHES IN THE VERTICAL POSITION WITH "OFF" IN THE DOWN POSITION AND "ON" IN THE UP.
- C. ORIENTATE ALL DUPLEX RECEPTACLES IN THE HORIZONTAL POSITION WITH THE GROUNDING SLOT AT RIGHT (UNLESS NOTED OR DIRECTED OTHERWISE).
- D. DEVICES AND COVER PLATES SHALL BE STYLE, TYPE AND FINISH AS SELECTED AND APPROVED BY ARCHITECT.
- E. MOUNTING HEIGHTS INDICATED ARE TO CENTER LINE UNLESS NOTED OTHERWISE. ALL LINE DEVICES SHALL BE MOUNTED AT IDENTICAL MOUNTING HEIGHTS. VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- F. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONNECTION REQUIREMENTS OF EQUIPMENT PRIOR TO WORK. THIS SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
  1. LOCATION, VOLTAGE, HORSEPOWER, PHASE, CONTROL, MOUNTING HEIGHT, ETC.
  2. PROVIDE COMPLETE CONNECTION OF ALL EQUIPMENT AS REQUIRED. REVIEW ALL SHOP DRAWINGS AND INSTALLATION SPECIFICATIONS.
- G. ALL ELECTRICAL CONDUIT WORK SHALL BE SUPPORTED FROM STRUCTURE. DO NOT UTILIZE OR ATTACH CONDUIT TO MECHANICAL EQUIPMENT OR ASSOCIATED PIPING, DUCTWORK, OR SUPPORTS.
- H. INSTALLATION OF ALL ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OTHER CONTRACTORS AND IN COMPLIANCE WITH THE BUILDING CONSTRUCTION PHASING SCHEDULE.
- I. COORDINATE LOCATION OF ALL ELECTRIC WORK AT CASEWORK WITH RESPECTIVE CONTRACTOR.
- J. ALL ELECTRICAL CONDUIT LOCATED BELOW CEILING, OR EXPOSED TO WEATHER SHALL BE RIGID GALVANIZED STEEL CONDUIT.
- K. SMOKE DETECTORS SHALL NOT BE SUPPORTED FROM CEILING TILES. PROVIDE SECURE SUPPORT FROM STRUCTURE.
- L. PLASTER FRAMES AND OF FINISH SHALL BE PROVIDED WHERE EQUIPPED BY CEILING CONSTRUCTION.
- M. GENERAL INTENT OF THE ELECTRICAL DRAWING IS TO PROVIDE A "SCHEMATIC ONLY" DESIGN. DO NOT SCALE DRAWINGS. PROVIDE ALL EQUIPMENT, ETC. TO MEET FIELD CONDITIONS AND INTENT OF THE DRAWINGS AND SPECIFICATIONS.



**ELECTRICAL 1ST FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**ELECTRICAL BASEMENT FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**PROFESSIONAL DESIGN FIRM**  
LIC#184-005444



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**ELECTRICAL SYMBOL LEGEND**

- ☐ SMOKE DETECTOR
- ☐ CARBON MONOXIDE DETECTOR
- ⊕ SWITCHED LIGHT
- LED LIGHTING UNDER CABINETS
- ⊕ DUPLEX OUTLET AT 12" AFF BRD
- ⊕ OUTLET W/ GROUND FAULT INT. CIRCUIT
- ⊕ WALL SWITCH
- ⊕ 3-WAY WALL SWITCH
- ⊕ TELEPHONE JACK LOCATION
- ⊕ CABLE TV
- ⊕ LIGHTING OF POWER AND/OR COMMUNICATION PANELBOARD
- ⊕ CLOSET LIGHT



**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.			
100627039			
2418 W MEDILL AVE			
Revision	By	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC	03/17/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	
<b>ELECTRICAL FLOOR PLANS</b>			<b>E-0</b>
Title			Sheet No.

**ELECTRICAL NOTES**

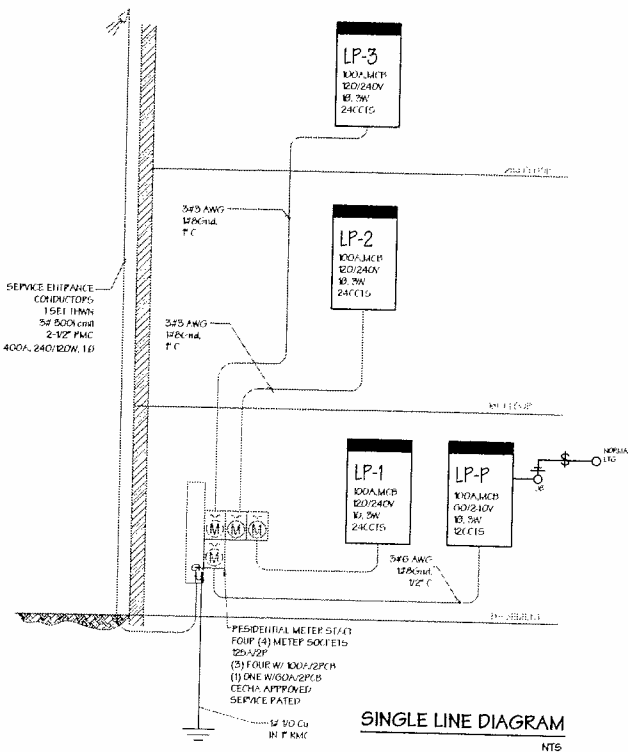
1. IT IS THE PURPOSE AND INTENT OF THE SPECIFICATION NOTES AND DRAWINGS THAT THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF ELECTRIC SERVICES AS INDICATED ON THE PLANS AND AS HERINAFTER SPECIFIED COMPLETE IN MATERIALS AND FINISHES AS MAY BE REQUIRED TO MAKE THE WORK COMPLETE FOR THE PURPOSE INTENDED.
2. THE DRAWINGS PERTAINING TO THIS INSTALLATION GENERALLY INDICATE THE LOCATION OF EQUIPMENT AND OTHER DETAILS NECESSARY TO THE COMPLETE INSTALLATION. BIDDEES SHALL ADJUST THEMSELVES WITH THE WORKING CONDITIONS AND REQUIREMENTS AT THE BUILDING SITE. AS AN CONTRACTOR FOR THIS WORK WILL BE BASED UPON FINISHING ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE WORK READY FOR USE.
3. ANY CHANGES IN THE LOCATION OF THE EQUIPMENT, ETC. FROM THOSE SHOWN ON THE DRAWINGS SHALL BE MADE WITHOUT CHARGE IF SO DIRECTED BY THE ARCHITECT BEFORE INSTALLATION.
4. ALL ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND IN FULL ACCORD WITH LOCAL ELECTRICAL CODES AND REQUIREMENTS.
5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS AND INSPECTIONS FOR ALL WORK COVERED BY THIS CONTRACT. ALL CERTIFICATES OF INSPECTIONS SHALL BE DELIVERED TO THE OWNER PROPERLY INSTALLED. SHALL BE DONE BY APPROPRIATE TRADESMAN. ALL DISTURBED CONSTRUCTION SURFACES OR FINISHES MUST BE REPLACED OR REPAIRED TO THE ARCHITECT'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. UNDER NO CONDITION SHALL STRUCTURAL WORK BE CUT EXCEPT UPON APPROVAL OF THE ARCHITECT.
6. PROVIDE PROPER AND SUFFICIENT GROUND CONNECTION FOR ALL ELECTRICAL DEVICES AND EQUIPMENT. ALL CONDUIT CONNECTIONS SHALL BE DRAWN UP TIGHT AND SECURE.
7. CONTRACTOR'S ATTENTION IS CALLED TO THE TYPE OF CONSTRUCTION SO THAT HE CAN FURNISH PROPER AND SUFFICIENT SUPPORT FOR ALL FIXTURES, CONDUITS, ETC. AS REQUIRED.
8. CONTRACTOR SHALL CORRELATE LOCATIONS OF ALL LIGHTING FIXTURES, DEVICES AND THE LIRE WITH ARCHITECT'S DETAILS AND FLOORING PLANS. ARCHITECT'S DECISION OF PLACEMENT SHALL BE FINAL.
9. ALL CONDUITS MUST BE INDIVIDUALLY SUPPORTED. NO CONDUITS SHALL BE SUPPORTED FROM DUCTS, PIPING, HANGERS OR CEILING SUSPENSION SYSTEMS.
10. BE DIRECTLY ABOVE EXPOSED CONDUITS. ROUTE ALL EXPOSED CONDUIT IN A NEAT APPROVED MANNER.
11. SURFACE MOUNTED DEVICES FOR PIPING IN ACCORDANCE WITH ARCHITECT'S SPECIFICATIONS.
12. MINIMUM WIRE SIZE TO BE #12 THRU COPPER, OVER 75 FT. RUNS TO BE MINIMUM #10 UNLESS NOTED OTHERWISE ON THE PLANS. MINIMUM CONDUIT SIZE TO BE 1/2 INCH EMT CONDUITS AND CONDUITS TO BE COMPRESSED OR SET TO FIT.
13. THIS CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT AND WIRING FREE FROM INHERENT MECHANICAL AND ELECTRICAL DEFECTS FOR THE PERIOD OF ONE (1) YEAR FROM THE DATE OF INSTALLATION. ALL REPAIRS OR ADJUSTMENTS INCLUDE LABOR MADE NECESSARY BY INHERENT MECHANICAL OR ELECTRICAL DEFECTS SHALL BE PERFORMED WITHOUT COST TO THE OWNER, WITH GUARANTEED PERIOD.
14. THIS CONTRACTOR SHALL OBTAIN APPROVAL FROM COMMONWEALTH EDISON CO. PRIOR TO INSTALLATION OF METERS. INSTALL ELECTRICAL SERVICES PER COMMONWEALTH EDISON CO. SPECIFICATIONS.
15. ALL TEMPERATURE CONTROL CONDUITS SHALL BE BY ELECTRICAL CONTROL WIRING BY MECHANICAL CONTRACTOR.
16. ELECTRICAL CONTRACTOR SHALL WIRE AND INSTALL DISCONNECTS INCLUDING CONNECTIONS FOR ALL MECHANICAL EQUIPMENT AS REQUIRED.
17. ALL ELECTRICAL EQUIPMENT SHALL BE SIZED TO MEET OR EXCEED THE AVAILABLE SHORT CIRCUIT CURRENT.
18. IT IS RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO CHECK FUSE, CIRCUIT BREAKER, AND WIRE SIZE REQUIREMENTS FOR THE EQUIPMENT ACTUALLY INSTALLED (WHICH MAY DIFFER FROM THAT DESCRIBED IN THE DRAWINGS).
19. ALL ELECTRICAL WORK SHALL BE INSTALLED IN A METAL CONDUIT SYSTEM.
20. GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL: ALL FEEDERS SUPPLYING 120-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTABLE BRANCH CIRCUITS INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL: ALL BATHROOMS, RESTROOMS, GARAGES, OUTDOORS, FINISH SPACES, UNFINISHED BASEMENT, KITCHEN (COUNTERTOPS) AND WET BATH SPAC LOCATIONS.
21. ARC-FAULT CIRCUIT INTERRUPTER PROTECTION: ALL BRANCH CIRCUITS SUPPLYING 120-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTABLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S).

**GENERAL NOTES**

- A. ELECTRICAL CONTRACTOR SHALL VISIT SITE TO THOROUGHLY FAMILIARIZE HIMSELF WITH THE AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT.
- B. ORIENTATE ALL TOGGLE SWITCHES IN THE VERTICAL POSITION WITH "OFF" IN THE DOWN POSITION AND "ON" IN THE UP.
- C. ORIENTATE ALL DUPLEX RECEPTABLES IN THE HORIZONTAL POSITION WITH THE GROUNDING SLOT AT RIGHT (UNLESS NOTED OR DIRECTED OTHERWISE).
- D. DEVICES AND COVER PLATES SHALL BE STILE, TYPE AND FINISH AS SELECTED AND APPROVED BY ARCHITECT.
- E. MOUNTING HEIGHTS INDICATED ARE TO CENTER LINE UNLESS NOTED OTHERWISE. ALL LIKE DEVICES SHALL BE MOUNTED AT IDENTICAL MOUNTING HEIGHTS, VERT IF ALL MOUNTING HEIGHTS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- F. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONNECTION REQUIREMENTS OF EQUIPMENT PRIOR TO INSTALLATION. THIS SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING: LOCATION, VOLTAGE, HORSEPOWER, PHASE, CONTROL, MOUNTING HEIGHT, ETC.
- G. PROVIDE COMPLETE CONNECTIONS OF ALL EQUIPMENT AS REQUIRED. REVIEW ALL SHOP DRAWINGS AND INSTALLATION SPECIFICATIONS.
- H. ALL ELECTRICAL CONTROL WORK SHALL BE SUPPORTED FROM STRUCTURE. DO NOT UTILIZE OF AT EACH CONDUIT TO MECHANICAL EQUIPMENT OR ASSOCIATED PIPING, DUCTWORK OR SUPPORTS.
- I. INSTALLATION OF ALL ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OTHER CONTRACTORS AND IN COMPLIANCE WITH THE BUILDING CONSTRUCTION PHASING SCHEDULE.
- J. COORDINATE LOCATION OF ALL ELECTRICAL WORK WITH RESPECTIVE CONTRACTOR.
- K. ALL ELECTRICAL CONDUIT LOCATED BELOW GRADE, OR EXPOSED TO WEATHER SHALL BE PROTECTED GALVANIZED STEEL CONDUIT.
- L. SMOKE DETECTORS SHALL NOT BE SUPPORTED FROM CEILING TILES. PROVIDE SECURE SUPPORT FROM STRUCTURE.
- M. PLASTER FRAMES AND OR FINISH SHALL BE PROVIDED WHERE REQUIRED BY CEILING CONSTRUCTION.
- N. GENERAL INTENT OF THE ELECTRICAL DRAWINGS IS TO PROVIDE A "SCHEMATIC ONLY" DESIGN. DO NOT SCALE DRAWINGS. PROVIDE ALL EQUIPMENT, ETC. TO MEET FIELD CONDITIONS AND INTENT OF THE DRAWINGS AND SPECIFICATIONS.

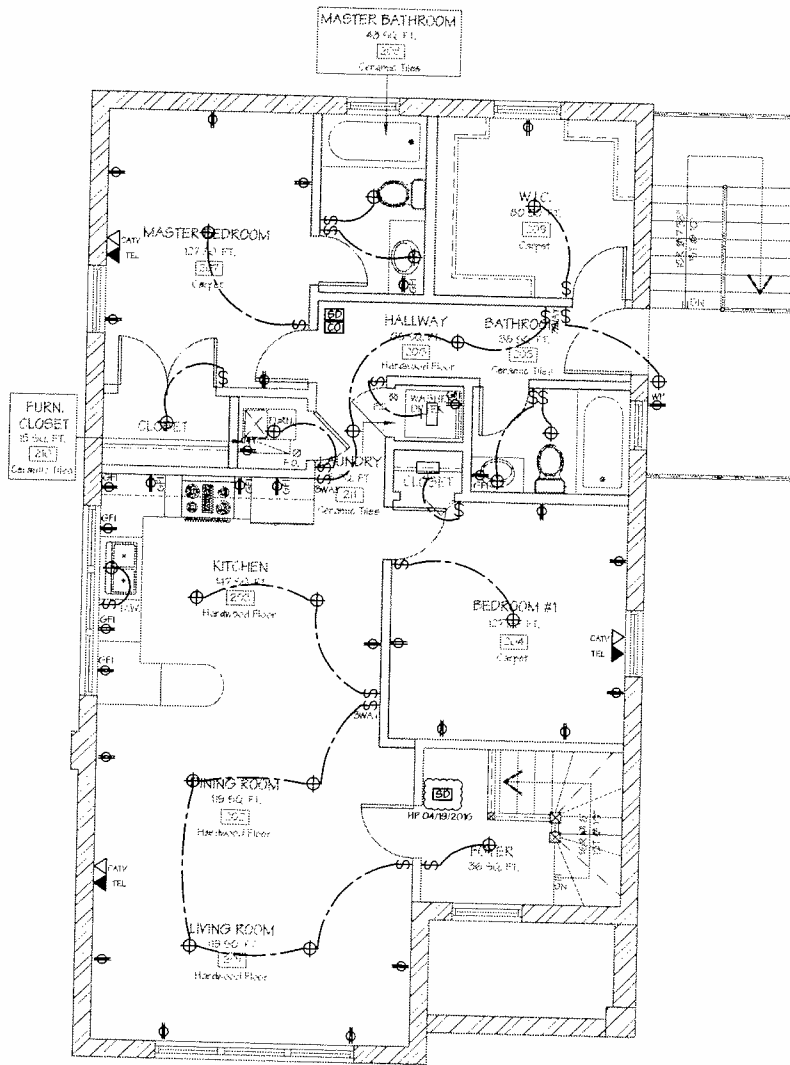
**GROUNDING ELECTRODE DETAIL**

NTS



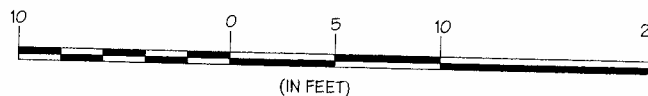
**SINGLE LINE DIAGRAM**

NTS

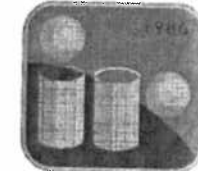


**ELECTRICAL 2ND FLOOR PLAN**

SCALE 1/4" = 1'-0"



**PROFESSIONAL DESIGN FIRM**  
LIC# 184-005444



**IR DESIGN INC.**  
5300 N. DAMEN AVE.  
CHICAGO, IL 60625  
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**ELECTRICAL SYMBOL LEGEND**

- ☐ SMOKE DETECTOR
- ☐ CARBON MONOXIDE DETECTOR
- ⊕ SWITCHED LIGHT
- LED LIGHTING UNDER CABINETS
- ⊕ DUPLEX OUTLET AT 12" AFF. UNO
- ⊕ OUTLET W/ GROUND FAULT INT. CIRCUIT
- ⊕ WALL SWITCH
- ⊕ 3-WAY WALL SWITCH
- ⊕ TELEPHONE JACK LOCATION
- ⊕ CABLE TV
- ⊕ LIGHTING OF POWER AND/OR COMBINATION PANELBOARD
- ⊕ CLOSET LIGHT



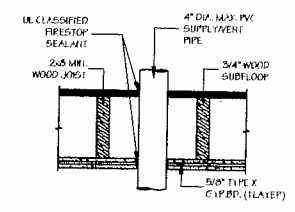
**INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH**  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.			
100627039			
2418 W MEDILL AVE			
Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			
Drawn	KC	03/17/16	
Checked	IR	04/19/16	
Approved	HP	04/19/16	
<b>ELECTRICAL FLOOR PLANS</b>			<b>E-1</b>
Title			Sheet No.

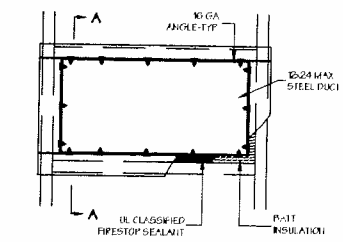
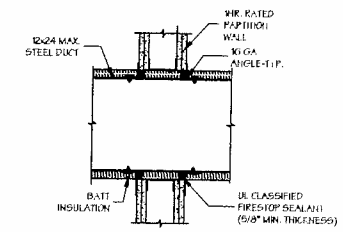




NOTE:  
CLEARANCE FOR FORCED AIR FURNACES MUST CONFORM TO MANUFACTURER'S REQUIREMENTS



System No. F-C-2021  
F-Rating - 1 and 2 Hr (See Item 1)  
T-Rating - 1 and 2 Hr (See Item 1)  
L Rating At Ambient - 1 CFM/sq ft  
L Rating At 400 F - Less Than 1 CFM/sq ft



System No. W-L-7060  
F Ratings - 1 and 2 Hr (See Item 1)  
T Rating - 0 Hr

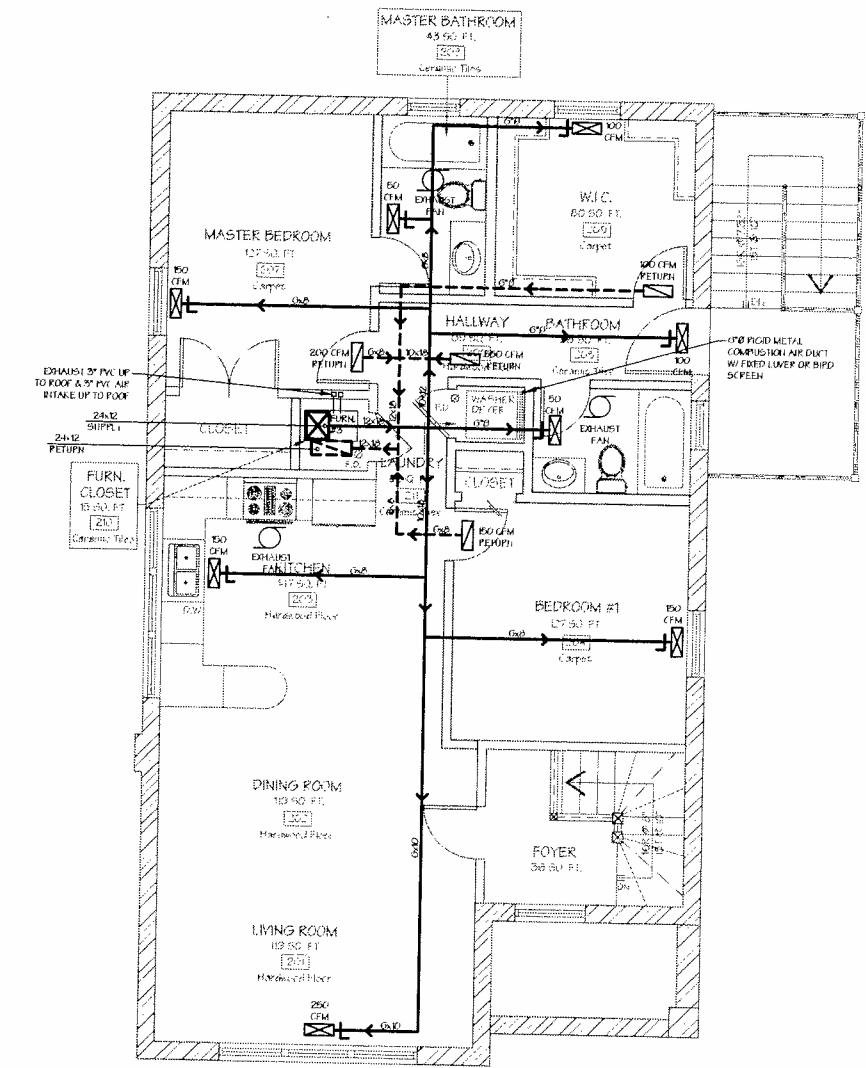
LIGHTING & VENTILATION SCHEDULE									
ROOM #	ROOM NAME	ROOM PURPOSE (REF TABLE 402.2)	FLOOR AREA	ORDINANCE REQUIREMENTS		ACTUAL PROVIDED		ORDINANCE REQUIREMENTS	
				NATURAL & VENT (SF)	METHEANICAL	NATURAL & VENT (SF)	METHEANICAL		
				GLASS AREA AS	VENT AREA AS	GLASS AREA	VENT AREA	EXHAUST AIR (From Room)	HEAT LOSS (BTU/HR)
BASEMENT									
001	LIVING ROOM	LIVING QUARTERS	100	0.5	4.0	0.7	6.86	•	232
002	DINING ROOM	LIVING QUARTERS	100	0.5	4.0	0.7	6.86	•	232
003	KITCHEN	LIVING QUARTERS	113	NP	NP	0.22	0.08	150 CFM	2401
004	BEDROOM #1	LIVING QUARTERS	124	0.9	5.0	0.56	10.56	•	3548
005	BATHROOM	TOILET (RESIDENTIAL)	36	NP	NP	0.78	0.78	60 CFM	1360
006	HALLWAY	---	49	NP	NP	NP	NP	•	1523
007	MASTER BEDROOM	LIVING QUARTERS	120	0.5	4.0	0.08	12.08	•	3240
008	MASTER BATHROOM	TOILET (RESIDENTIAL)	36	NP	NP	6.15	12	60 CFM	1268
009	FURNACE	---	9	NP	NP	NP	NP	•	242
010	STORAGE	---	25	NP	NP	NP	NP	•	621
011	LAUNDRY	---	8	NP	NP	NP	NP	•	242
012	UTILITY	---	45	NP	NP	NP	NP	•	1011
			TOTAL						21608
FIRST FLOOR									
101	LIVING ROOM	LIVING QUARTERS	189	0.5	4.0	0.08	18.47	•	7215
102	DINING ROOM	LIVING QUARTERS	189	0.5	4.0	0.08	18.47	•	7215
103	KITCHEN	LIVING QUARTERS	147	NP	NP	0.47	0.21	150 CFM	2402
104	BEDROOM #1	LIVING QUARTERS	127	0.2	5.1	0.48	22.8	•	3423
105	BATHROOM	TOILET (RESIDENTIAL)	36	NP	NP	4.81	4.81	60 CFM	1026
106	HALLWAY	---	69	NP	NP	NP	NP	•	1815
107	MASTER BEDROOM	LIVING QUARTERS	127	0.2	5.1	0.29	7.00	•	3423
108	MASTER BATHROOM	TOILET (RESIDENTIAL)	45	NP	NP	8.50	4.25	60 CFM	1011
109	W.C.	---	80	NP	NP	12.44	0.22	•	2900
110	FURNACE	---	9	NP	NP	NP	NP	•	242
111	LAUNDRY	---	8	NP	NP	NP	NP	•	242
			TOTAL						23701
SECOND FLOOR									
201	LIVING ROOM	LIVING QUARTERS	189	0.5	4.0	0.08	18.47	•	7215
202	DINING ROOM	LIVING QUARTERS	189	0.5	4.0	0.08	18.47	•	7215
203	KITCHEN	LIVING QUARTERS	147	NP	NP	0.47	0.21	150 CFM	2402
204	BEDROOM #1	LIVING QUARTERS	127	0.2	5.1	0.48	22.8	•	3423
205	BATHROOM	TOILET (RESIDENTIAL)	36	NP	NP	4.81	4.81	60 CFM	1026
206	HALLWAY	---	69	NP	NP	NP	NP	•	1815
207	MASTER BEDROOM	LIVING QUARTERS	127	0.2	5.1	0.29	7.00	•	3423
208	MASTER BATHROOM	TOILET (RESIDENTIAL)	45	NP	NP	8.50	4.25	60 CFM	1011
209	W.C.	---	80	NP	NP	12.44	0.22	•	2900
210	FURNACE	---	9	NP	NP	NP	NP	•	242
211	LAUNDRY	---	8	NP	NP	NP	NP	•	242
			TOTAL						25700

GAS FURNACE SCHEDULE													
TAG	LOCATION	QTY	TYPE	TOTAL INPUT (MBH)	TOTAL OUTPUT (MBH)	CFM/SPEED	E.S.P. IN W.C.	WEIGHT (LB)	MOTOR DATA	DESIGN BASIS	MODEL	BURNERS / #	REMARKS
F-1	BASEMENT	1	UPFLOW	40	37	800	0.10	104	1	101	4.0	MONOPORT (2)	92% ANNUAL FUEL UTILIZATION EFFICIENCY
F-2	1ST FL	1	UPFLOW	40	37	1000	0.10	105	1	101	5.0	MONOPORT (2)	92% ANNUAL FUEL UTILIZATION EFFICIENCY
F-3	2ND FL	1	UPFLOW	40	37	1000	0.10	105	1	101	5.0	MONOPORT (2)	92% ANNUAL FUEL UTILIZATION EFFICIENCY

AIR-COOLED CONDENSING UNIT SCHEDULE													
TAG	QTY SERVED	LOCATION	REFRIGERANT TYPE	AMBIENT TEMP. (°F)	CFM	VOL	PH	CONDENSER FAN	MCA	'CAPREF' MODEL #	SEER	UNIT WT (LBS)	REMARKS
AC-1	1	ROOF	R-22	95	1000	208/220	1	48	9.0	1	0.7	12	GSX4 OMBK 14 151
AC-2	1	ROOF	R-22	95	1000	208/220	1	48	9.0	1	0.7	12	GSX4 OMBK 14 151
AC-3	1	ROOF	R-22	95	1000	208/220	1	48	9.0	1	0.7	12	GSX4 OMBK 14 151

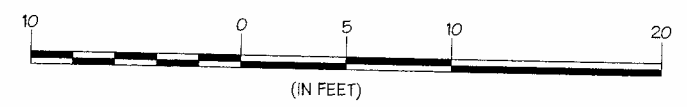
REFRIGERATION SCHEDULE									
UNIT NO.	QTY	LOCATION	REFRIG TYPE	QTY OF REFRIG.	COMPRESSOR TYPE	# OF COMPRESS.	HP	TOTAL TONS	AIR COOLED
AC-1	1	ROOF	R-22	80	SCROLL	1	1	15	YES
AC-2	1	ROOF	R-22	80	SCROLL	1	1	15	YES
AC-3	1	ROOF	R-22	80	SCROLL	1	1	15	YES

DIFFUSER-REGISTER-GRILLE SCHEDULE						
TAG	SEPKKE	TYPE	NECK SIZE	DAMPEN	MOUNTING TYPE	MANUFACTURER & MODEL
A	SUPPLY	36" DOUBLE DEFLECTION LOW/HP	5/8" PLANS	MANUAL VOLUME	SURFACE MOUNT	TITUS 300PL
B	RETURN	REGISTER WITH 2" BLADE SPACING AND 36" FIXED DEFLECTION	SEE PLANS	---	SURFACE MOUNT	TITUS 350PL



NOTE:  
SEE ROOF PLAN (SHEET A-4) FOR CONDENSING UNIT LOCATION

HVAC 2ND FLOOR PLAN  
SCALE 1/4" = 1'-0"



PROFESSIONAL DESIGN FIRM  
LIC#184-005444

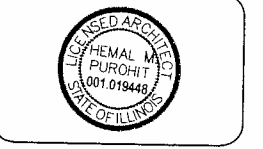


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**MECHANICAL LEGEND**

- AIR RETURN
- AIR SUPPLY
- DUCT UP
- DUCT DOWN
- FLOOR WITH HIGH EFF GAS-FIRED FURNACE W/ PVC FLEUE THROUGH ROOF
- DIRECTION OF AIR
- EXHAUST FAN
- SUPPLY DUCT W/ SIZE
- RETURN DUCT W/ SIZE
- AC UNIT

REGSTEP SCHEDULE (90% HEAT EXCHANGER)  
FREE AREA (MBL)  
UP TO (IN INCHES)  
200 CFM USE 808  
250 CFM USE 890  
300 CFM USE 891  
350 CFM USE 892  
400 CFM USE 893  
450 CFM USE 894  
500 CFM USE 895



INTERIOR ALTERATIONS ON EXISTING BUILDING & NEW OPEN METAL PORCH  
2418 W MEDILL AVE  
CHICAGO, IL 60647

Project No.  
**100627039**  
2418 W MEDILL AVE

Revision	Initial	Date	Comments
Revision	HP	04/19/16	
Revision			
Revision			

Drawn: KC 03/02/16  
Checked: IR 04/19/16  
Approved: HP 04/19/16

HVAC FLOOR PLANS, SCHEDULES & DETAILS  
Title Sheet No. **M-1**