

LAW OFFICES

DANIEL G. LAUER & ASSOCIATES, P.C.

1424 WEST DIVISION STREET
CHICAGO, ILLINOIS 60642

DANIEL G. LAUER

NICHOLAS R. BAUMGARTNER

TELEPHONE (773) 862-7200

FACSIMILE (773) 862-0600

OF COUNSEL

DAMON M. FISCH

April 11, 2019

Via E-mail (espejo.jose@gmail.com)

Mr. Jose Espejo
Greater Goethe Neighborhood Association
2402 N. Washtenaw Ave.
Chicago, IL 60647

Re: **Zoning changes for 2418 West Lyndale Street**

Dear Mr. Espejo:

I represent EZMB, LLC, the Contract Purchaser of 2418 West Lyndale Street. Enclosed are required submittals in connection with my client's proposal to change zoning from the current RS-3 to proposed RT-4 Residential Two-Flat, Townhouse and Multi-Unit District for the construction of a four (4) dwelling unit building, to be sold as condominiums. The property is located in the 1st Ward.

Enclosed are a full set of your required documents:

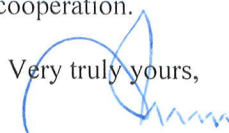
1. GGNA Project Data Sheet;
2. Survey of the property;
3. Zoning Map;
4. Photos of the surrounding properties and property in question;
5. Architect John Hanna's site plan, floor plans and elevation drawings; and
6. Color Rendering.

The proposed building is four (4) units that would replace the small two-story three (3) unit apartment building in the photo attached.

Mr. Banys and I will be happy to present these proposals to your Committee. Kindly add this to the Greater Goethe Neighborhood Association's agenda at your first convenience, and kindly confirm the date.

Thanks in advance for your kind cooperation.

Very truly yours,



Daniel G. Lauer
dan@dglpc.com

DGL/KMW
Enclosures

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information: Project Name: 2418 W. Lyndale St. Date: 04.11.19 Project Address: 2418 W. Lyndale St., Chicago, IL 60647
Proposed Zoning: RT-4 Developer/Owner: EZMB, LLC Current Zoning: RS-3
Architect: Hanna Architects Inc. Zoning of Adjacent Area: RT-4 Contact Phone Number (773) 862-7200 Email dan@dglpc.com Proposed Variences

Dwelling Units: 4 Type: Condos Lot Dimensions: 43.32 ft. x ft. Lot Area: 4,881 s.f. Proposed Floor Area: 5,744 s.f. (new) 2,700 s.f. (existing) 0 s.f. (addition) FAR: 0.9 (existing) 1.20 (proposed) Building area excluded from FAR: 1,687 s.f. Green space (unpaved): 506 s.f. 14 % of lot area Proposed MLA: 1,436 Allowed MLA: 1,650
Proposed Parking: 4 spaces Zoning Required Parking: 4 spaces Building Height Proposed: 35 ft. Allowed: 38 ft.
At highest point: 35 ft. Proposed front yard setback: 10 ft. Required front yard setback: 15 ft. Proposed side yard setback: 4 ft. Required side yard setback: 4 ft. Proposed rear yard setback: 32 ft. Required rear yard setback: 32 ft. Are there any existing buildings on site? Yes describe: Multi-Family (2-4 Unit), 3-Flat Will any (or all) be demolished? Yes Other Remarks: _____

- A) Small scale context footprint. The project streetscape is to come.
- B) A Site plan with setbacks. The Site plan is attached and include the required data.
- C) Zoning Data as shown on the attached Project Data Sheet.
- D) Measured site plan. The measured site plan and survey are attached and include the required data.
- E) Floor plans. The floor plans are attached and include the required data.
- F) Exterior elevations. The exterior elevations are attached and include the required data.
- G) Relevant isometric renderings showing adjacent properties for context. A streetscape is to come. However, attached is a photo from Google Maps showing the adjacent properties for context.
- H) Development Team:

- (a) Developer
EZMB, LLC
1416 North Western Avenue
Chicago, IL 60622
Telephone: (773) 489-3000
Facsimile: (773) 489-1133
Email: cloan1@sbcglobal.net

- (b) Attorney
Daniel G. Lauer, Esq.
Daniel G. Lauer & Associates, P.C.
1424 West Division
Chicago, IL 60622
Telephone: (773) 862-7200
Facsimile: (773) 862-0600
Email: Dan@dglpc.com

- (c) Architect
John Hanna
Hanna Architects, Inc.
180 W. Washington, 6th Floor
Chicago, IL 60602
Telephone: (312) 750-1800
Facsimile: (312) 750-1801
Email: HannaArchitects@sbcglobal.net

- I) Ultimate Property Use and Type of Ownership. The Developer intends to construct a three-story, four (4) dwelling unit building with basement and detached four (4) car garage to be sold as condominiums.

- J) Any relevant information about the historic use and nature of any existing buildings on the property. **There is no historical use for this property.**
- K) Provide product info and if possible, sample of exterior finish materials with proposed color and texture for meetings. **The color rendering for the proposed building is enclosed.**

SPIEWAK CONSULTING

PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184.006518
 1030 W. HIGGINS RD. SUITE 218, PARK RIDGE, IL 60068
 phone (773) 853-2672
 phone (630) 351-9489
 www.landsurveyors.pro
 andrew@landsurveyors.pro

PLAT OF SURVEY

by
ANDREW SPIEWAK LAND SURVEYOR, INC.
 of

THE WEST 10 3/4 FEET OF LOT 3 AND THE EAST 32 3/4 FEET OF LOT 4 IN BLOCK 3 IN PARTY P. POWELL'S SUBDIVISION OF LOTS 3 AND 5 IN CIRCUIT COURT PARTITION OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

BEARINGS ARE SHOWN FOR ANGULAR REFERENCE ONLY AND ARE NOT RELATED TO TRUE OR MAGNETIC NORTH.

COMMONLY KNOWN AS:
 2418 W. LYNDALE ST.,
 CHICAGO, IL 60647

P.L.N. 13-36-213-015-0000,
 13-36-213-016-0000
 LAND AREA ±4,871 Sq.ft.

Legend

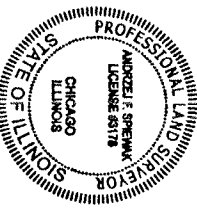
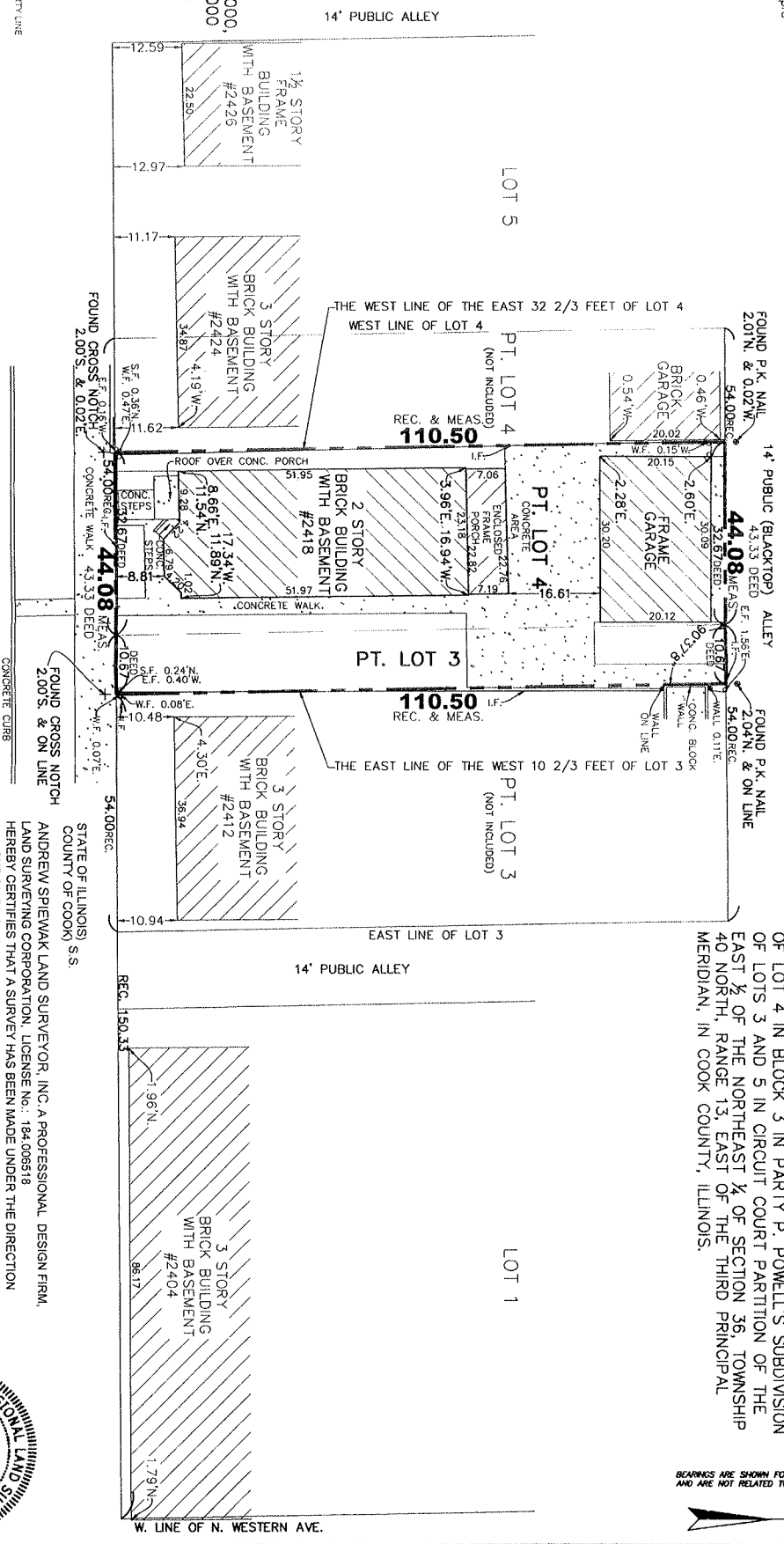
- NO. 3 WOOD FENCE
- N.F. = NORTH FACE S.F. = SOUTH FACE
- W.F. = WEST FACE E.F. = EAST FACE
- I.P. = IRON PIPE I.R. = IRON ROD
- I.F. = IRON FENCE V.F. = V.W. FENCE
- M.S.S. = MEAS/SLAB REC. = RECORD
- IRON ROD FOUND ○ IRON ROD SET
- IRON PIPE FOUND ○ IRON PIPE SET
- ± CROSS FOUND & SET
- P.K. NAIL FOUND ○ P.K. NAIL SET
- PROPERTY LINE

ORDERED BY: _____
 COMPANY OR ORGANIZATION: EZWB
 SURVEYED BY: AL SURVEYING INC. Tel: 708-439-2488
 DRAWN BY: JK

CHECKED BY: AFS
 PROJECT NO: G80-2019

THIS SURVEY IS VALID ONLY WITH AN EMBOSSED SEAL

N. LYNDALE ST.



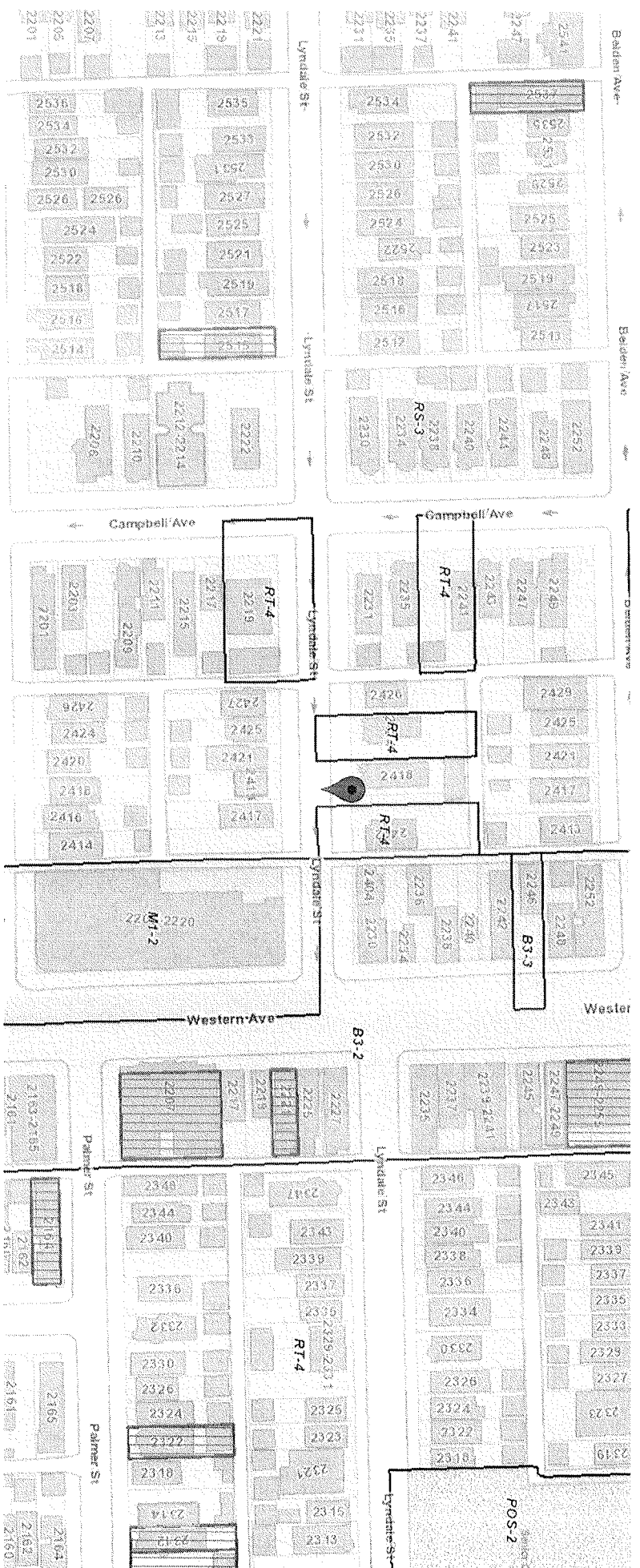
STATE OF ILLINOIS) S.S.
 COUNTY OF COOK)

ANDREW SPIEWAK LAND SURVEYOR, INC. A PROFESSIONAL DESIGN FIRM,
 LAND SURVEYING CORPORATION, LICENSE NO.: 184.006518
 HEREBY CERTIFIES THAT A SURVEY HAS BEEN MADE UNDER THE DIRECTION
 AND SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR OF THE
 ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT
 REPRESENTATION OF SAID SURVEY, THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE
 CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

FIELD WORK WAS COMPLETED ON 20 DAY OF MARCH A.D. 2019.
 CHICAGO, ILLINOIS, DATE OF PLAT 29 DAY OF MARCH A.D. 2019.

BY Andrew F. Spiewak
 ILLINOIS PROFESSIONAL LAND SURVEYOR
 ANDREW F. SPIEWAK LICENSE NO. 035.003178 LICENSE EXPIRES 11/30/2020

PROFESSIONAL DESIGN FIRM, LAND SURVEYING CORPORATION,
 LICENSE NO. 184.006518 EXPIRES 04/30/2019





2418 West Lyndale



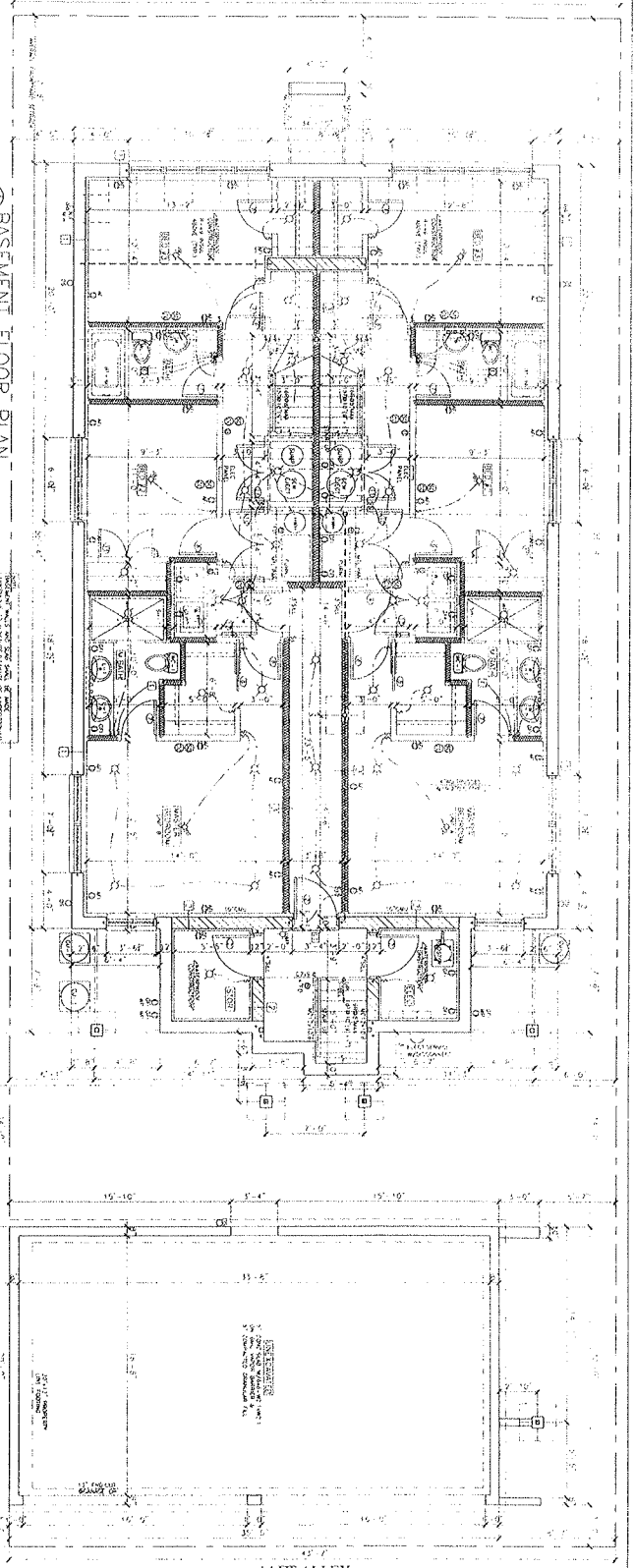
**2424 West Lyndale
RT-4 Zoning District
4 Unit Building**



**2412 W. Lyndale
RT-4 Zoning
4 Unit Building**



W. LYNDALE ST



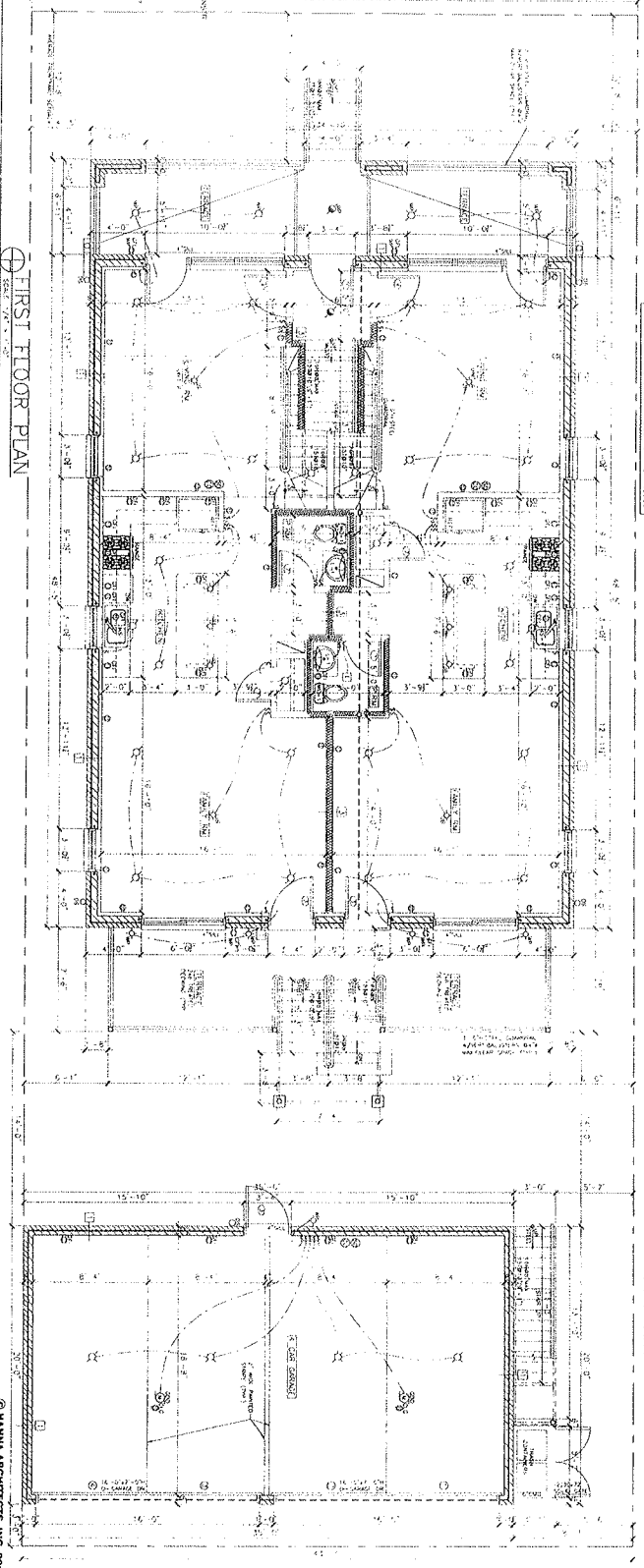
14 FT ALLEY

BASEMENT FLOOR PLAN

THIS SECTION DOES APPLY TO THIS PROJECT

- ELECTRICAL SYMBOLS**
- 1. 150 AMP SERVICE
 - 2. 100 AMP SERVICE
 - 3. 60 AMP SERVICE
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- WALL SYMBOLS**
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FIRST FLOOR PLAN



PROJECT NAME & ADDRESS
2418 W. LYNDALE ST
4 UNITS / 3 STORY
M.S. BLDG. W/STAIR
CHICAGO, ILLINOIS

SHEET TITLE
BASEMENT
AND FIRST
FLOOR PLANS

SHEET NUMBER
A-2

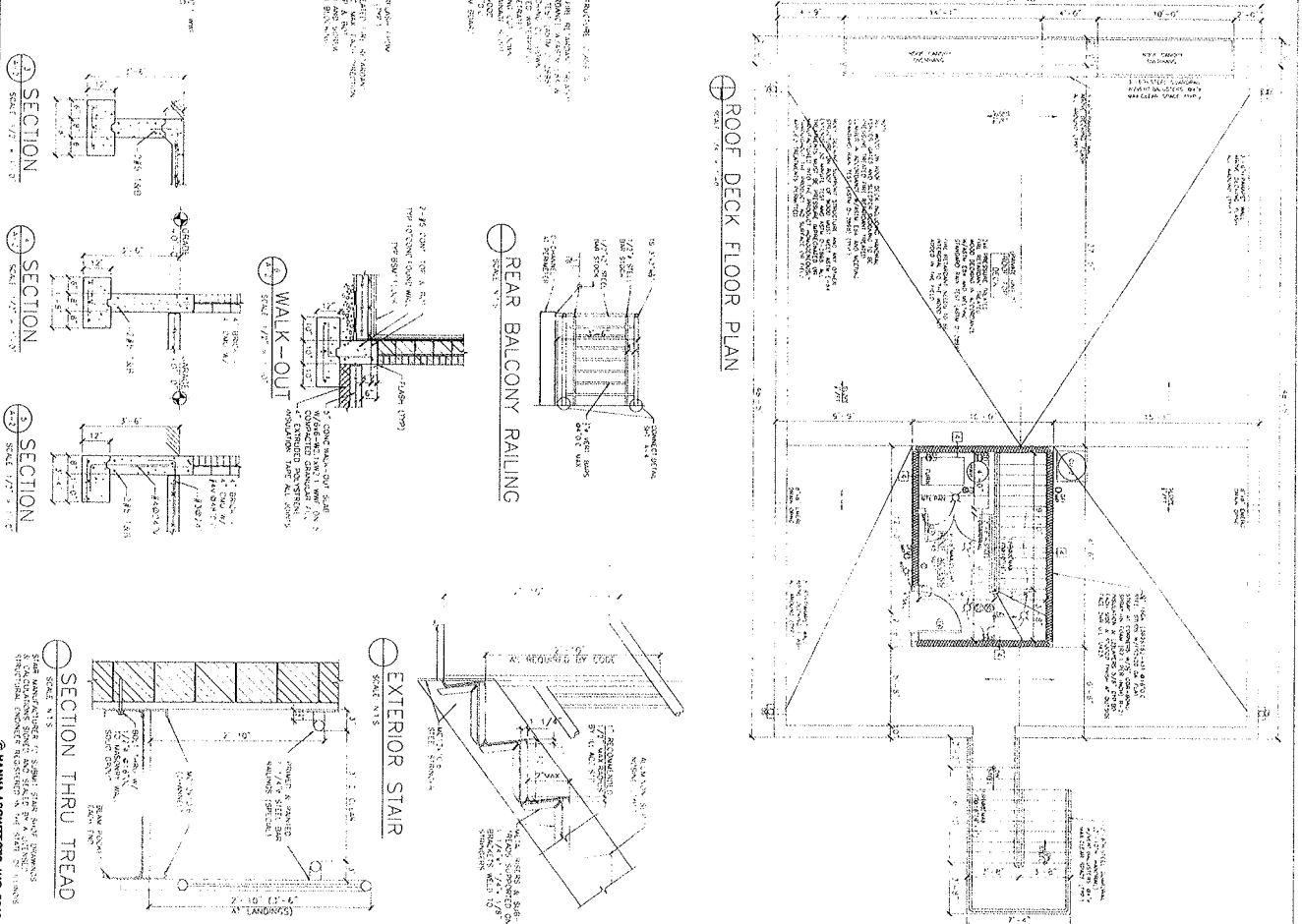
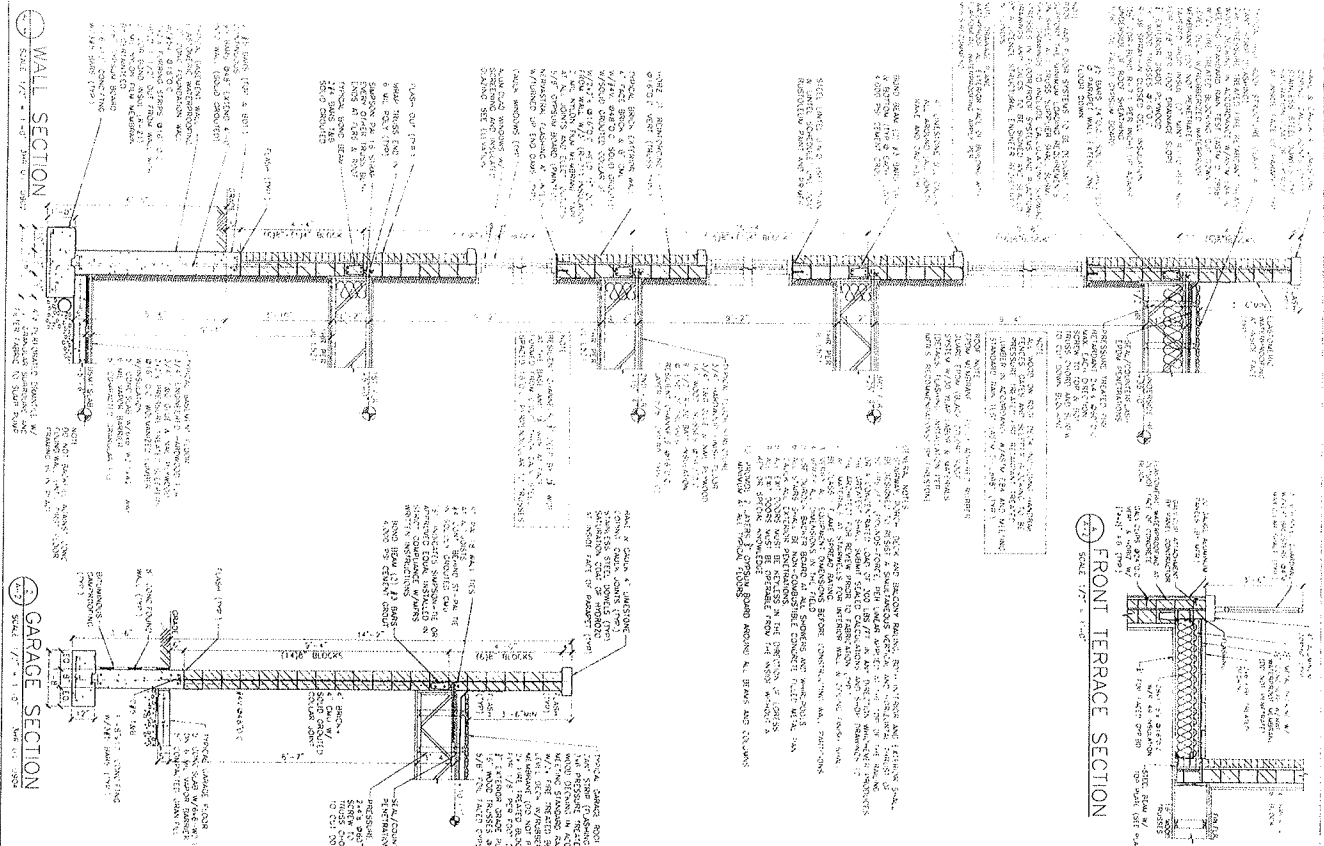
DATE
01-01-17

DESIGNED BY
CHECKED BY
IN CHARGE

PROF. SEAL
HANNA ARCHITECTS, INC.
01-01-17

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HANNA ARCHITECTS, INC.
1801 N. WASHINGTON
CHICAGO, ILLINOIS 60614
TEL: (773) 752-1801
PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LICENSE NUMBER 034-000460



HANNA ARCHITECTS, INC.
180 N. WASHINGTON
CHICAGO, ILLINOIS 60601
PROFESSIONAL DESIGN FIRM
LICENSE NUMBER 001-011855

PROJECT NAME & ADDRESS
2418 W. LYNDALE ST
411 UNIT/S STORE
M.S. Bldg. #10501F
CHICAGO, ILLINOIS

SHEET TITLE
ROOF DECK
FLOOR PLAN
& WALL SECT.

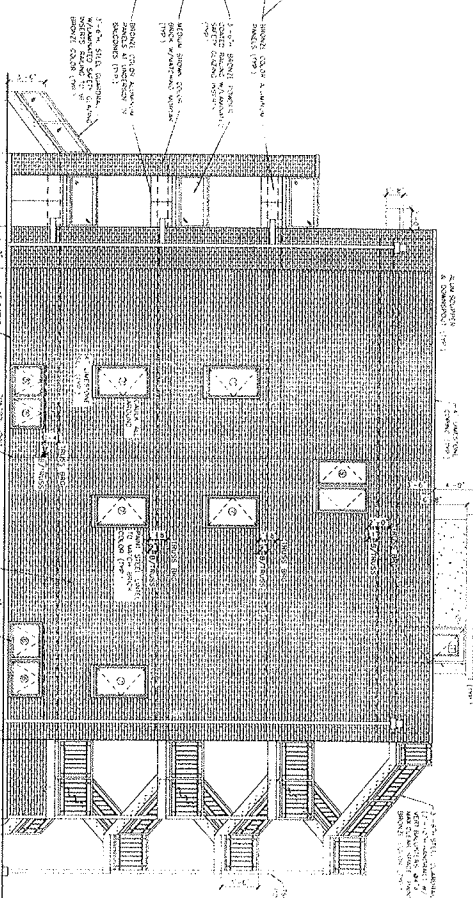
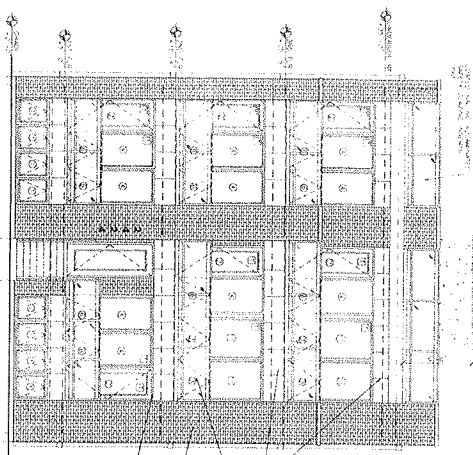
DESIGNED BY
JOHN HANNA
08/20/17

CHECKED BY
JOHN HANNA
08/20/17

DATE
08/20/17

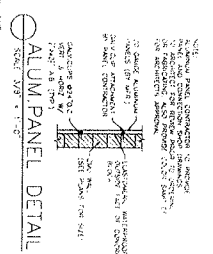
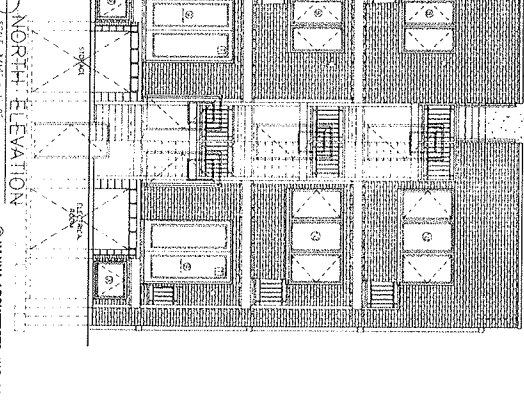
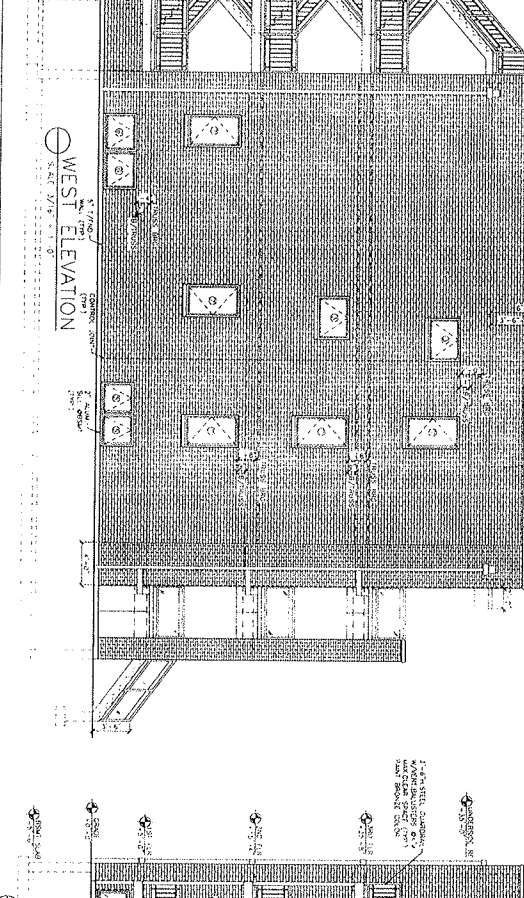
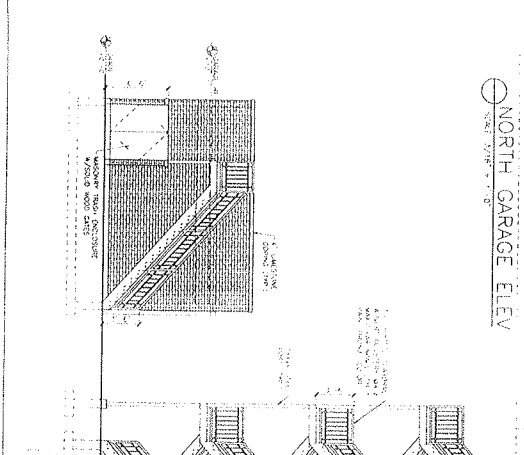
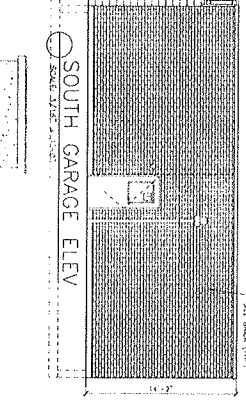
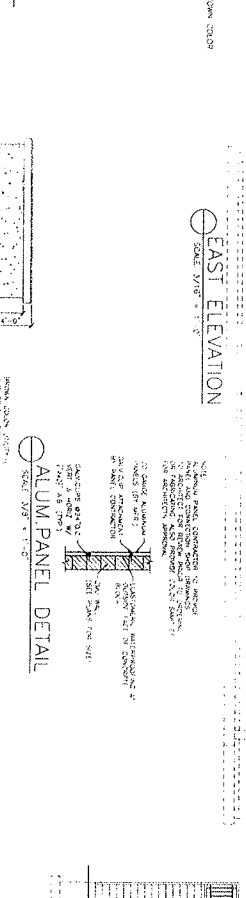
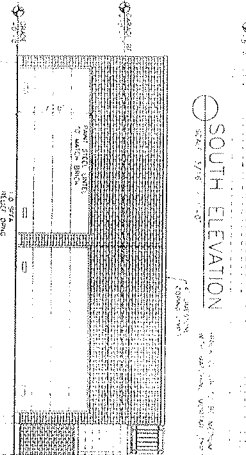
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PROJECT NUMBER
A-4



WINDOW SCHEDULE

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HANNA ARCHITECTS, INC.
 1810 N. WASHINGTON
 CHICAGO, ILLINOIS 60602
 PHONE: (312) 754-1800
 FACSIMILE: (312) 754-1801
 PROFESSIONAL DESIGN FIRM
 ARCHITECT CORPORATION
 LICENSE NUMBER: 041-000400

PROJECT NAME & ADDRESS
 2418 N. LYNDALE ST
 4 UNIT/3 STORY
 MASS. BLDG. W/SSMT
 CHICAGO, ILLINOIS

BUILDING ELEVATIONS

SHEET NUMBER
 A-5

FILE NAME

DATE

DESIGNED BY

DRAWN BY

CHECKED BY

DATE

SCALE

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISHES ARE AS SHOWN ON THE DRAWINGS.
 3. MATERIALS AND METHODS OF CONSTRUCTION ARE AS SHOWN ON THE DRAWINGS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS AND EGRESS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SIGNAGE AND MARKING.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SAFETY AND PROTECTION.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS AND AS-BUILT DRAWINGS.



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2418 W. LYNDAL

Chicago, Illinois