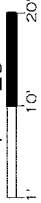




SCALE:
1" = 20'



R&R Surveyors, LTD.

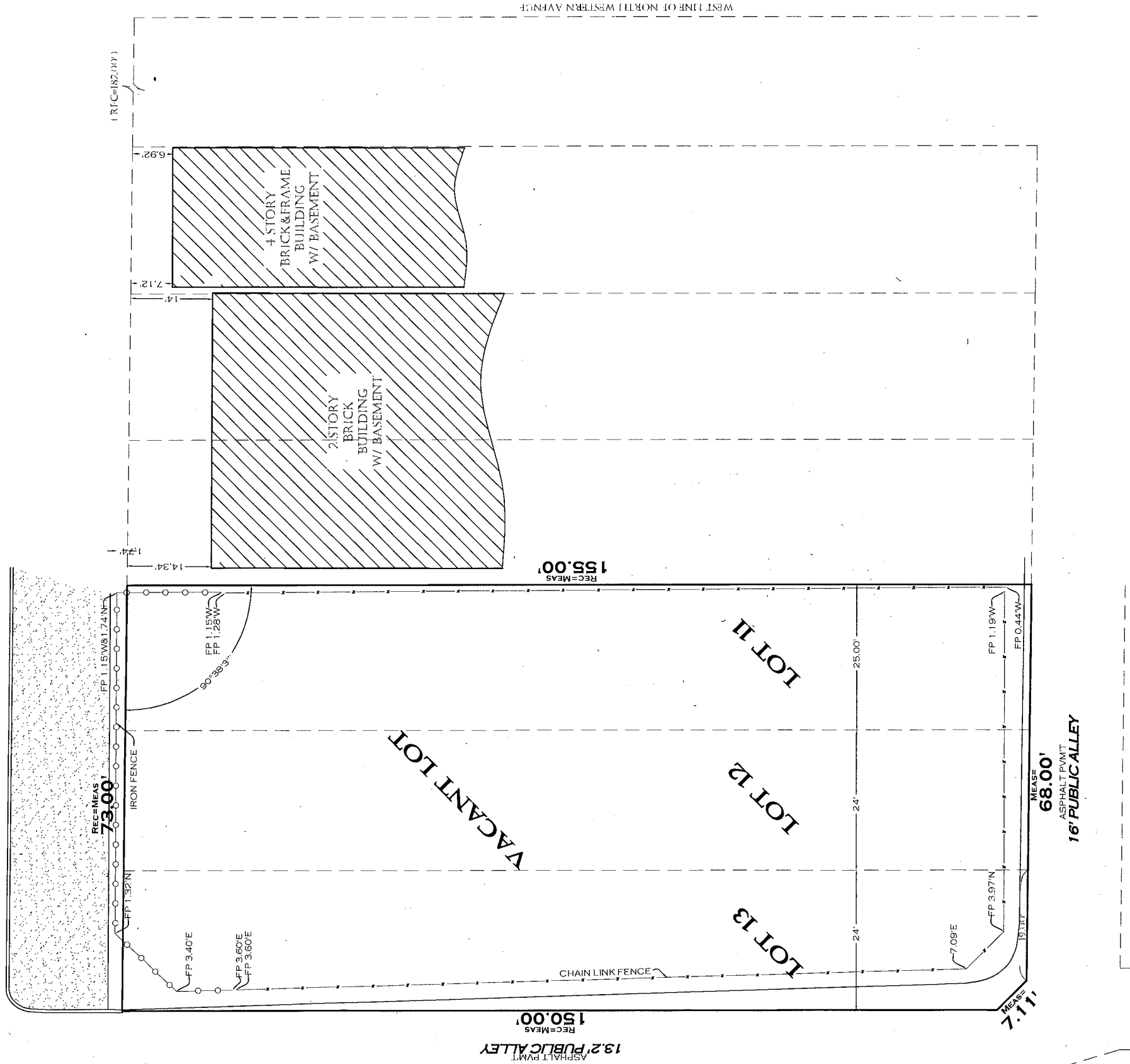
CONSTRUCTION AND LAND SURVEYORS
P.O. BOX 412 WAUCONDA, IL 60084
TEL: (773) 450-9321 FAX: (773) 956-7217
ACCURATEA@ATT.NET

PLAT OF SURVEY

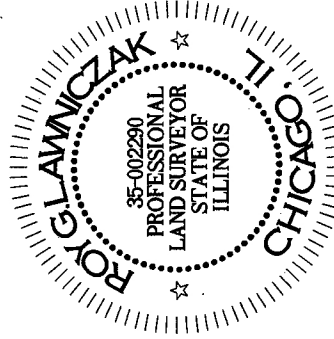
LOT 11, 12 AND 13 IN E.H. AND N.E. GARY'S SUBDIVISION OF THE NORTH 221 FEET OF THE EAST 311.2 FEET OF THE NORTHEAST 1/2 OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 2421-2425 WEST FULLERTON AVENUE, CHICAGO ILLINOIS.

FULLERTON AVENUE



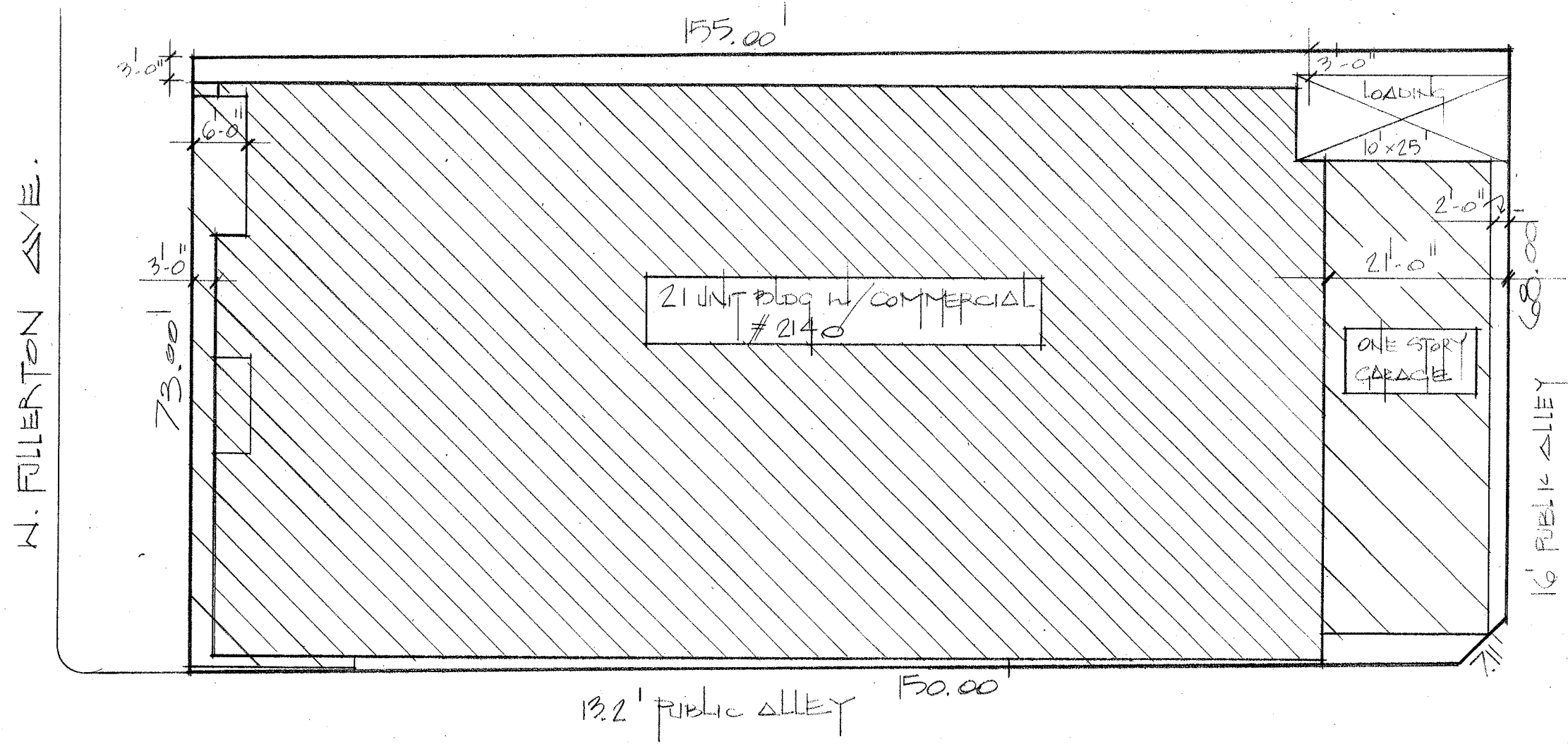
NOTE:
 -DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FARENHEIT.
 -THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER A FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED.
 -DIMENSIONS ARE NOT TO BE ASSUMED FOR SCALING
 -COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES.
 -REFER TO DEED, TITLE POLICY, AND LOCAL ORDINANCES FOR BUILDING RESTRICTIONS



ORDER# 18-5588
 DATE 3/17/2018
 ORDERED BY: OLEG LESKIV

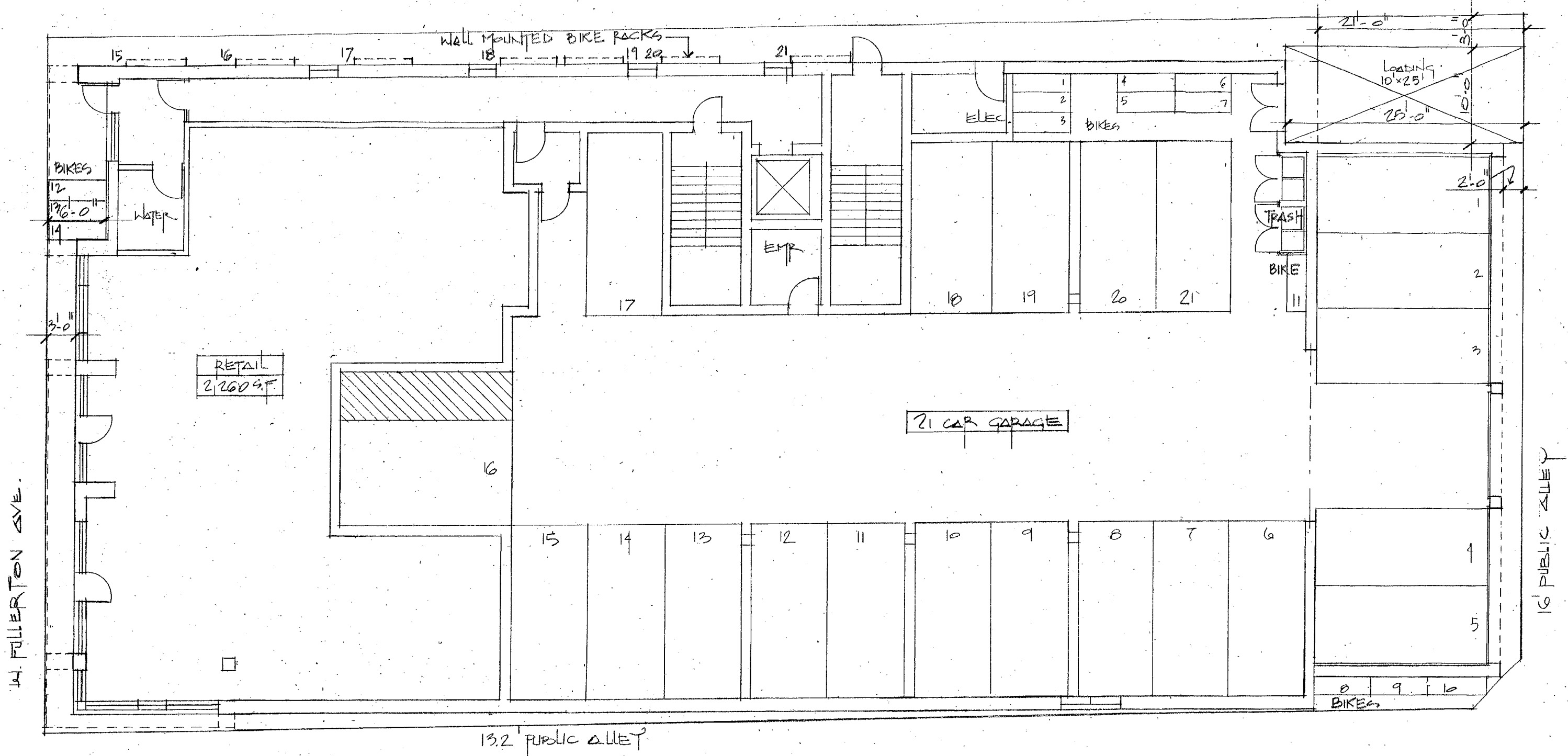
STATE OF ILLINOIS
 COUNTY OF MCHENRY
 I, ROY G. LAWNICZAK,
 DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

CHICAGO, ILLINOIS
 MARCH 17, 2018
 BY: *Roy G. Lawniczak*
 ROY G. LAWNICZAK, ILL. REG. LAND SURVEYOR NO. 3502290

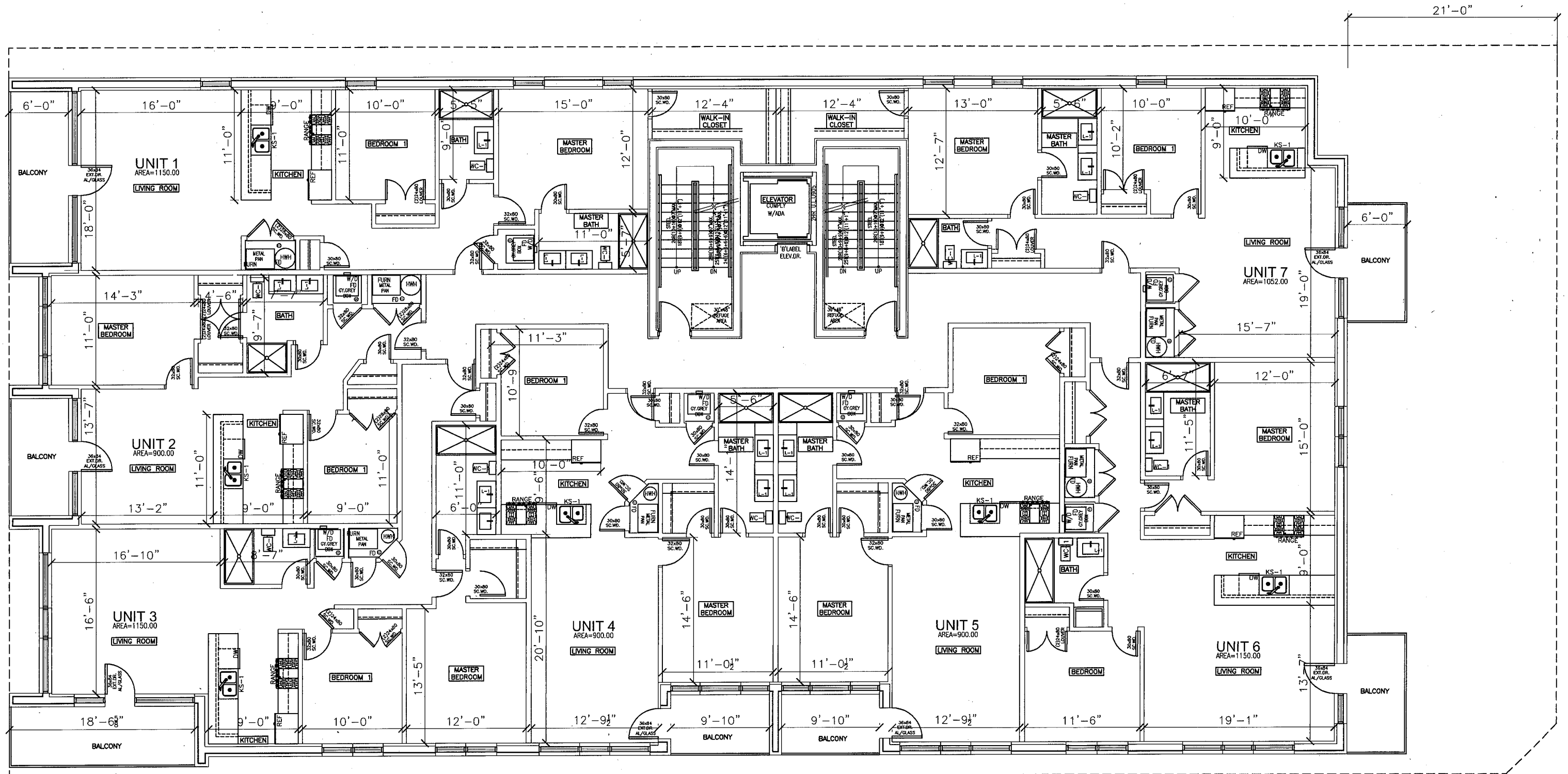


○ SITE PLAN
1/16" = 1'-0"

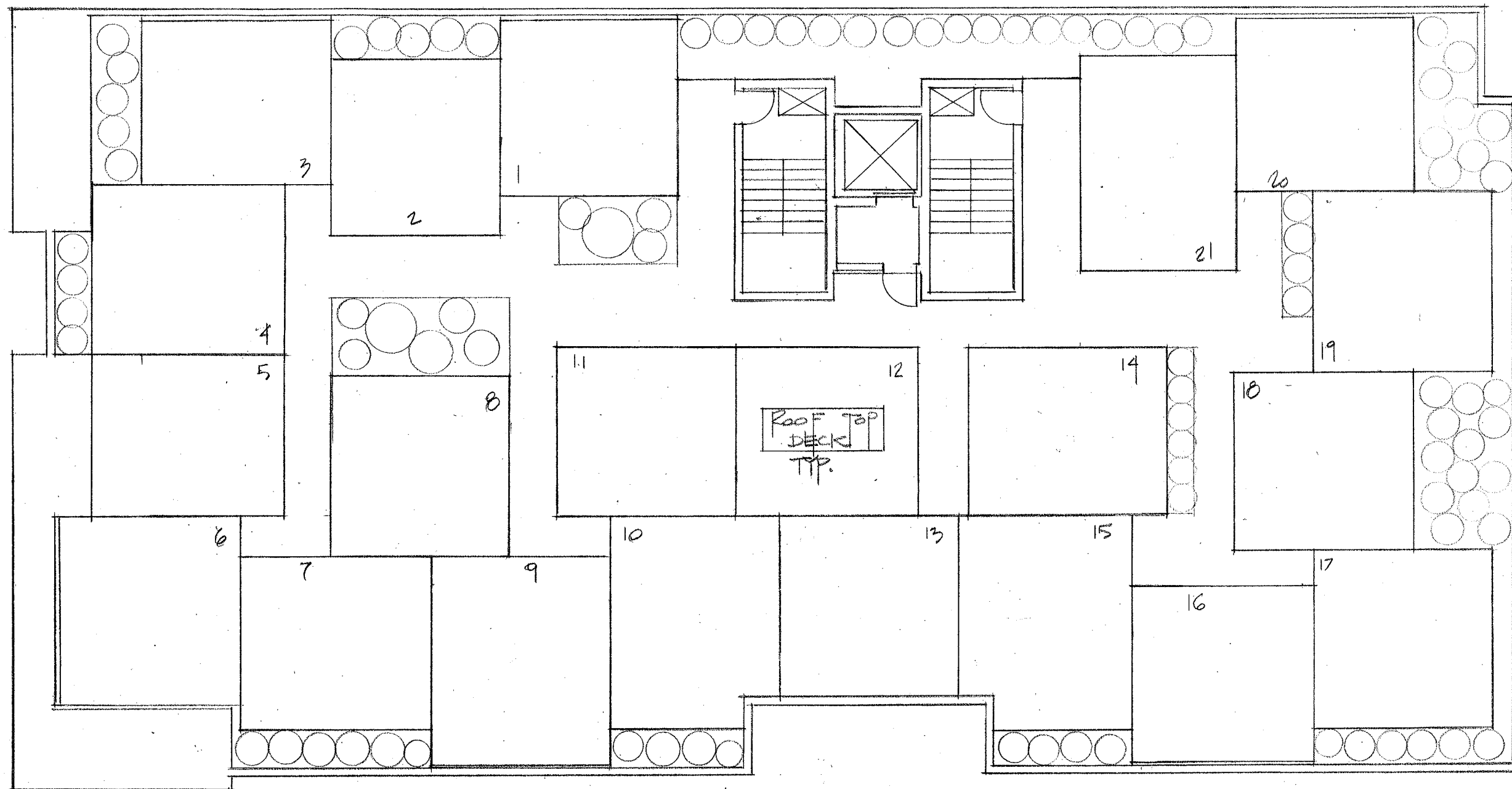
ZONING INFORMATION	
LOT AREA	11,302.5
F.A.R.	3.0
MAX. BUILDABLE	33,907.5
1ST FLOOR	4,000
2ND FLOOR	8,850
3RD FLOOR	8,850
4TH FLOOR	8,850
TOTAL	30,550 SF



1st Floor Plan
1/8" = 1'-0"



⊕ 2ND 3RD 4TH FLOOR PLAN



○ ROOF PLAN
1/8" = 1' - 0"



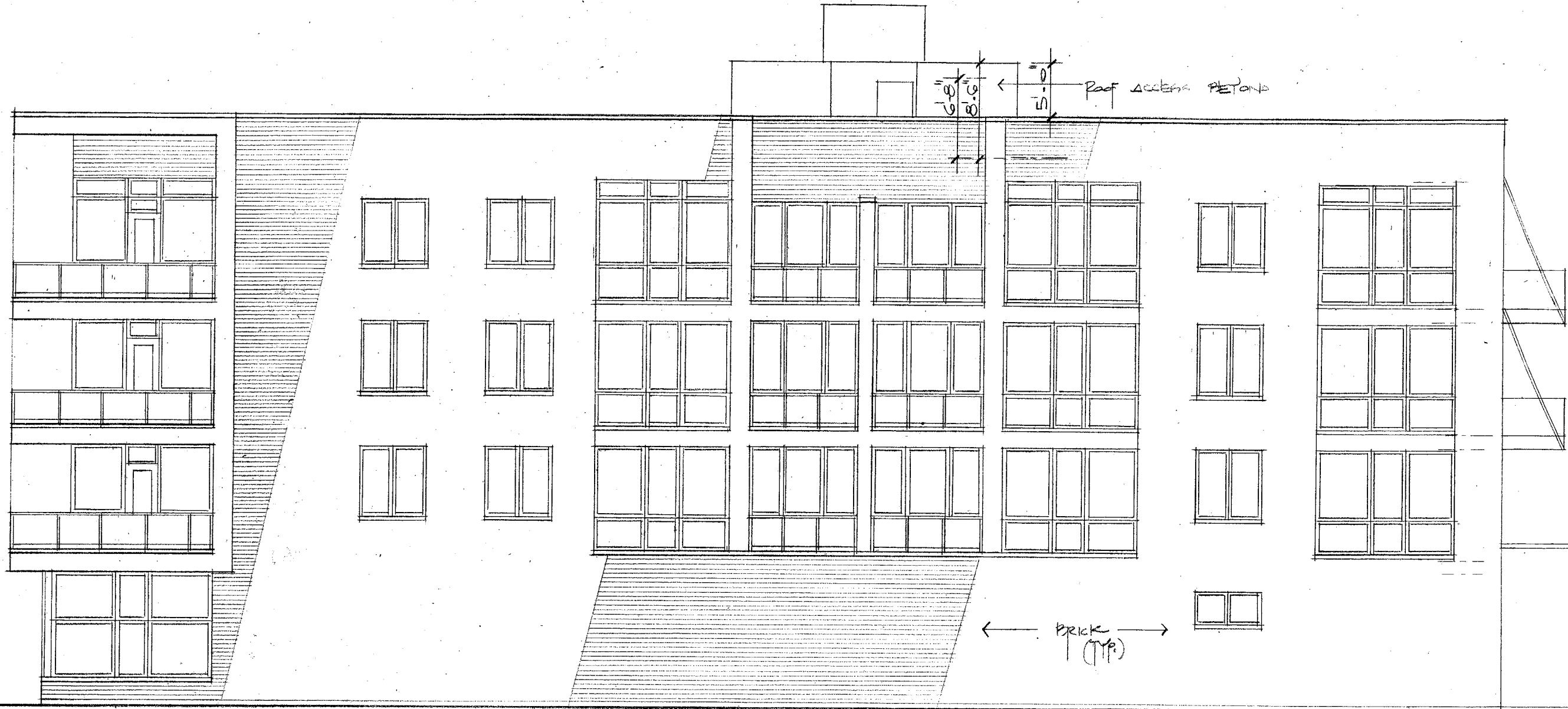


PROFESSIONAL DESIGN FIRM
ARCHITECT CORPORATION
LICENSE NUMBER 184 - 001485

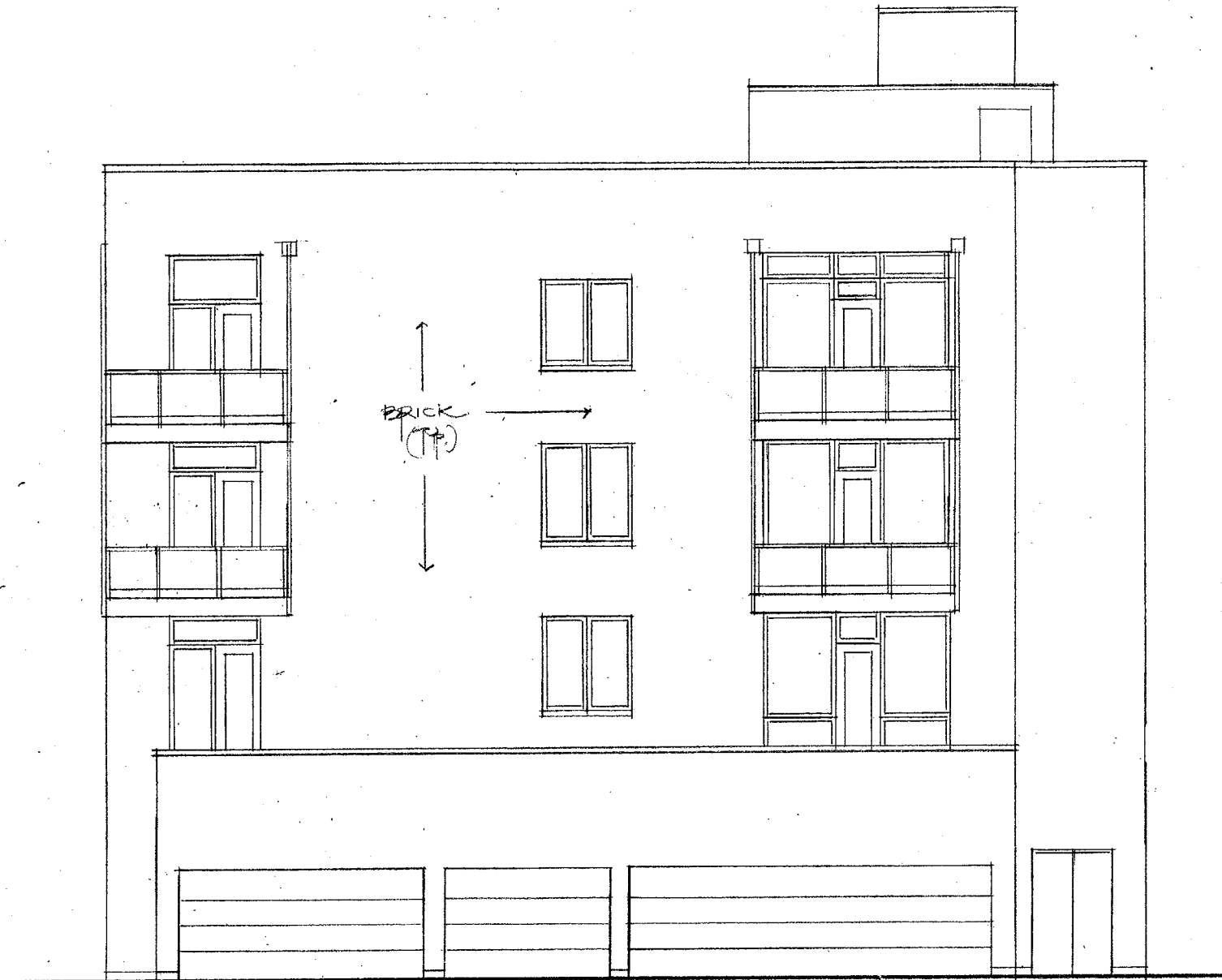
180 W. WASHINGTON
CHICAGO, ILLINOIS 60602
PHONE: 312-750-1800
FAX: 312 750-1801

email: hannaarchitects@sbcglobal.net

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WEST ELEVATION
1/8" = 1'-0"



○ SOUTH ELEVATION
1/8" = 1'-0"

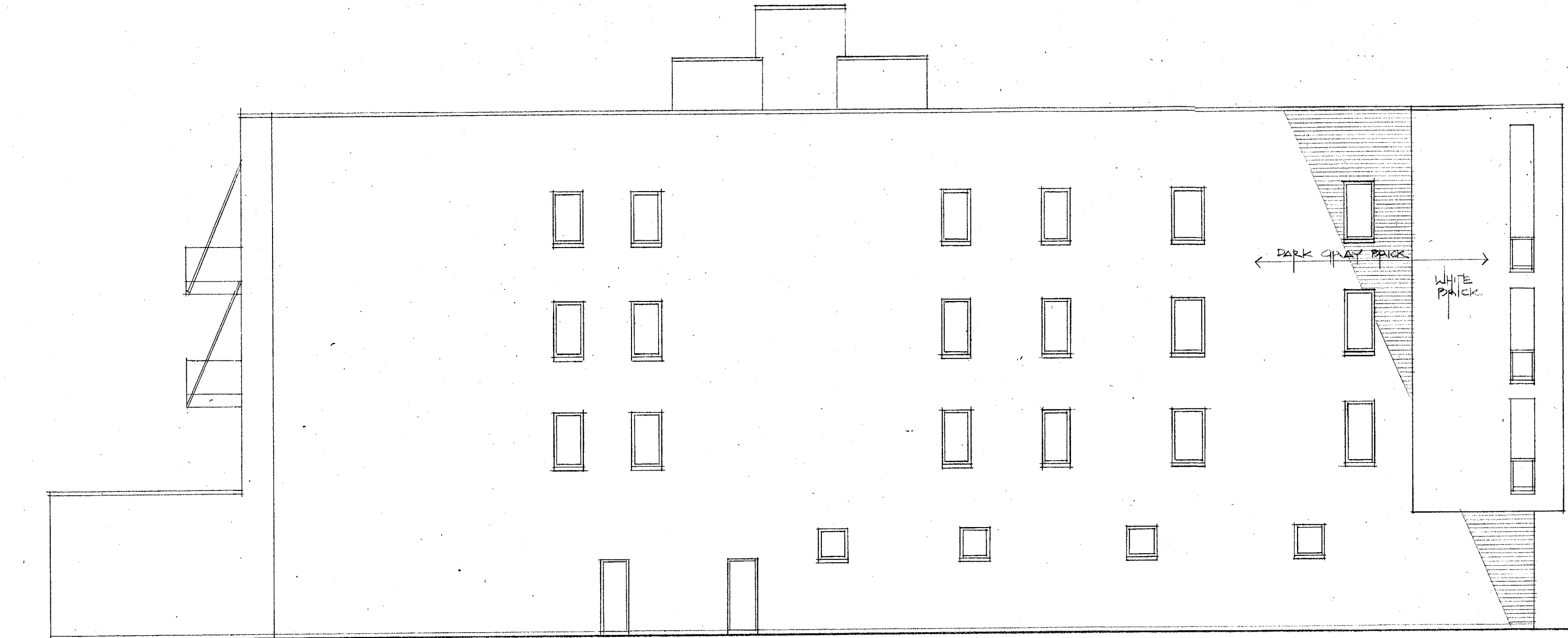


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email: hannaarchitects@sbcglobal.net

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○ EAST ELEVATION
1/8" = 1'-0"