

Project Data Sheet
Greater Goethe Neighborhood Association
Zoning & Planning Committee
August 14, 2023

Project Name: **2429 W Fullerton, Chicago, Illinois**

Project Address: **2429 W Fullerton, Chicago, Illinois**

Proposed Zoning: **B2-3**

Developer/Owner: **SNSRG, LLC 2042 W. Belmont Chicago, IL 60618 info@snsrealtygroup.com
773-665-1900**

Architect: **Red Architects 2123 N. DAMEN AVE. CHICAGO, IL 60647 773.772.2756 info@red-arc.com**

Current Zoning: **B3-1**

Zoning of Adjacent Area: **B3-3, to the west on Fullerton, and RS-3 to the south on Campbell**

Proposed Variances: **Front and sides yards (see attached)**

Proposed Dwelling Units: **38 Dwelling units, 20 one-bedroom units, 16 two-bedroom units and 2 three-bedroom units.**

Lot Dimensions: **126.8' x 96.81'**

Lot Area: **12,250.15 sf**

Proposed Floor Area: **35,108 sf of new construction (not including garage)**

Building area excluded from FAR:**5,937 sf Garage, not included in FAR**

Green space: **The Building is set back 3 feet off of Fullerton, and 5.8 feet off of Campbell- this landscaped area will be approximately 728 sf, over 6% of the lot area. Note also that the building will also be set back 30' from the southern lot line. Even though "hardscape", this will constitute over 30% of the lot area.**

Proposed MLA: **The B2-3 District provides for one dwelling unit for every 300 sf of lot area. The lot is**

12,250 sf, so 40 units would be allowed in the B2-3 District. (We are proposing 38 units).

Allowed MLA: The current B3-1 District provides for one dwelling unit for every 2,500 sf of lot area. The lot is 12,250 sf, so 5 units would be allowed in the B3-1 District.

Proposed Parking: Because this is a “Transportation Oriented Development” property, 18 automobile parking spaces are required. We are proposing 18 parking spaces. We are also proposing 38 bicycle spaces and there is a Divvy Station on Campbell outside of our building.

Building Height Proposed: The main body of the building is 5 stories. There is a common area room on the first floor at the corner of Fullerton/Campbell- this room will be visible from the street. The building is 56’ in height.

Required Set Backs/Proposed Set Backs/Requested Variances: See attached and below

SETBACKS	FRONT: 50% OF ABUTTING R-ZONED LOT = 21.25' (NEIGHBORING R-ZONED LOT SETBACK) REAR: 30 FEET AT DWELLING UNIT FLOORS SIDE: RS-3 LOT REQUIREMENTS APPLY 20% LOT WIDTH (NEITHER SIDE LESS 8%)	FRONT: 10.63' REAR: 30 FT (REQUIRED; RESIDENTIAL) SIDE: 19.32' (COMBINED)	FRONT: 3.00' (REQUIRES VARIANCE) REAR: 30.03' RESIDENTIAL SIDE: 5.80' WEST 0.00' EAST 5.80' COMBINED
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Are there any existing buildings on site? Will any (or all) be demolished? **Property is vacant.**

Developer Qualifications: **See Powerpoint.**

Proposed Exterior Materials: **See Powerpoint**

Architectural Drawings: **Attached**

Ultimate property use and type of ownership: **Rental, to be retained by developer for long-term investment.**

NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 18 REAR OPEN PARKING PADS WITH BALCONIES AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
Z.01	Zoning District	ZONING MAP	82-3			T1.0	
Z.02	Zoning District	17-2-0105	Residential Occupancy			T1.0	
Z.03	Lot Area	17-2-0301	12,250.15 SF			T1.0	
Z.04	Density	17-2-0303	380 S.F. Per D.U. 200 S.F. Per Eff. Unit	38 Dwelling Units		T1.0	Seeking MUA Reduction for Transit Served Location. See TSL site plan.
Z.05	Floor Area Ratio (FAR)	17-2-0304	3.5	42,875.53 Max		T1.0	Seeking FAR Increase for Transit Served Location and 50% Affordable Units.
Z.06	Total Floor Area	17-2-0305		35,108.28 SF		T1.0	
Z.07	Building Height	17-2-0311	70'-0" Max	56'-0"		T1.0	Building height increase for TSL.
Z.08	Setbacks	17-2-0305	Not Required	0.00'	3.00'	T1.0	
Z.09	Front	17-2-0306	30 FT Residential	30.00'		T1.0	
Z.10	Side	17-2-0309	Not Required	0.00' Combined	8.80' West	T1.0	
Z.11	Rear Yard Open Space	17-2-0307	Not Required	Not Required	N/A	T1.0	
Z.12	Off Street Parking	17-2-0200	0.5 Dwelling Unit	19 Required	18 Proposed	T1.0	50% Park. Reduction for Transit Oriented Dev. Variance to remove 1 parking space and loading.
Z.13	Plot of Survey	17-13-1502-B	Provided			T1.0	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
R.01	Occupancy Classification (s)	14B-6-001	R2			T1	
R.02	Type of Construction	14B-6-001	Type III-A			T1	
R.03	Req. F.R. of Fire Resistance	14B-6-001	1 hour (s)	Complies		T1	
R.04	Fireproof Structural Frame	Table 601	Complies			T1	
R.05	Exterior	Table 601	2 hour (s)	Complies		A1	
R.06	Interior	Table 601	1 hour (s)	Complies		A1	
R.07	Nonbearing Walls and Partitions - Ext	Table 602	Complies			A1	
R.08	Nonbearing Walls and Partitions - Int	Table 601	1 hour (s)	Complies		A1	
R.09	Four Corners & Associated Secondary Member	Table 601	1 hour (s)	Complies		A1	
R.10	Four Corners & Associated Secondary Member	Table 601	1 1/2 hour (s)	Complies		A1	
R.11	Basement Construction	14B-6-005	Complies			A1	Exception taken for residential.
R.12	Fire and Smoke Protection Features	14B-7-005				A1	
R.13	a) Exterior Wall Penetrations	Table 705.11	fire rated per Table 602			A1	
R.14	b) Penetrations	14B-7-006				A1	30" high min. where required
R.15	c) Fire Walls	Table 703.10				A1	4 hour rating where required
R.16	d) Fire Barrier	Table 703.10				A1	
R.17	e) Floor and Roof Assemblies	14B-7-011	1 hour (s)	Complies		A1	Class A Fire resistive roof construction
R.18	f) Penetrations	14B-7-014	Complies			A1	fire stop at wall pipe floor penetrations $\leq 9.14 \text{ ft}$ area
R.19	Interior Wall and Ctg. Finishes	14B-08-003	Class 1	Class 1		A1	
R.20	Fire Protection and Life Safety Systems	14B-09-001				A1	
R.21	a) Automatic Sprinkler Systems	14B-09-003				A1	
R.22	b) Alternative Automatic Fire-Extinguishing Systems	14B-09-004				A1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
E.01	Type of Exit	14B-10-1009.1	Encompassed	Complies		A1	
E.02	Minimum Number of Exits	14B-10-1009	1 Exit	Provided		A1	
E.03	Common Path of Egress	Table 1009.2.1	60 ft max	Complies		A1	
E.04	Exit Access Travel Distance	Table 1011.2	200 ft max	Complies		A1	
E.05	a) Increases Permitted w/ Sprinklers	14B-10-1011.2	250 ft max	Complies		A1	
E.06	b) Dead End Corridor	14B-10-1011.4	20 ft max	Complies		A1	
E.07	Minimum Width of Exits	14B-10-1005.2	30"	Complies		A1	
E.08	Swing of Exits Doors	14B-10-1011.2	Swing in	Complies		A1	Exception taken for residential
E.09	Hardware	14B-10-1011.9	No inside lock	Complies		A1	Thumb action deadbolt from inside provided
E.10	Revolving Doors	14B-10-1011.4.1				A1	
E.11	Landings at Doors	14B-10-1011.6	width not less than stairs	Complies		A1	
E.12	Stairways	14B-10-1011	30" min. continuous handrails, 2'-8"	Complies		A1	
E.13	Stairway Construction	14B-10-1011.7	combustible - protect handrails - 1 hour	Complies		A1	
E.14	Stairway Head Room	14B-10-1011.3	6'-8" min	Complies		A1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
S.01	Floor loads	14B-23-2307	Live Loads: Floor 40 psf	Live Loads: Floor 40 psf		T1	
S.02	Foundations	Table 1806.2(1)	3,000 psf min	3,000 psf		T1	
S.03	Concrete Construction	14B-18-1904	3,000psf @ 28 days	3,000psf @ 28 days		T1	ACI 318-83 governs (with City exceptions)
S.04	Masonry Construction	14B-21-2101.2	TMS 402 TMS 403 or TMS 404	Contractor to comply w/ provisions		T1	
S.05	Steel and Metal Construction	14B-22-2202.1	AISC 360	Contractor to comply w/ provisions		N/A	No structural steel work
S.06	Wood Construction	14B-23-2303	Grade stamps required	Grade stamps to be recorded on invoices		T1, A2	
S.07	Wood Construction	14B-23-2306	APA Plywood Design PDS - 88	APA Plywood Design PDS - 88		T1	Plywood used at corners of building for stiffness

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
A.01	Ventilation Requirements	13-118-070(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13-180-040)
A.02	Heating Requirements	13-180-030(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13-180-040)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
R.01	Air Conditioning System	13-180-010(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13-180-040)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
P.01	New Waste System	18-29	Table 18-29-403.1	Complies		P-1	Comply with Code and Dept. of Sewers requirements
P.02	New Water System	18-29	Table 18-29-403.1	Complies		P-1	Comply with Code and Dept. of Water requirements

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
E.01	Relationship to Electrical System	Art. 200	18-27-210.11	Branch circuits provided		E-1	Licensed Electrician to comply with all Code provisions
E.02	Branch Circuits	Art. 200	18-27-210.12	Art. 200 Ch shall be installed on Branch Circuits to bathrooms		E-1	
E.03	Requisite Outlets	Art. 200	18-27-210.50 thru 70	Provided		E-1	
E.04	Carbon Monoxide and Smoke	Art. 550	18-27-560.3	Provided		E-1	

X CODE MATRIX		NOT IN USE	
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ORDINANCE REQUIREMENTS		BUILDING SPECIFICATIONS		MINIMUM LOT AREA CALCULATION	
ZONING	82-3			LOT AREA	12,250.15 SF
LOT AREA	126.80' x 96.61' = 12,250.15 SF.			MAX PER UNIT/LOT PROPOSED	11,400 SF
DENSITY	300 S.F. (PER DWELLING UNIT) 200 S.F. (PER EFFICIENCY UNIT) 135 S.F. (GRO. UNIT)	(SEE CALC.)	38 DWELLING UNITS (PROPOSED)	300 S.F. PER PROPOSED UNIT	11,400 SF
F.A.R.	12,250.15 SF x 3.50	FIRST FLOOR = 3,397.98 SF		300 S.F. PER PROPOSED UNIT	11,400 SF
		SECOND FLOOR = 1,427.58 SF			
		THIRD FLOOR = 1,427.58 SF			
		FOURTH FLOOR = 1,427.58 SF			
		FIFTH FLOOR = 1,427.58 SF			
		TOTAL = 35,108.28 SF.			
BUILDING HEIGHT	LOT FRONTAGE OF 100 FT OR MORE 70'-0" MAX.	56'-0"			
SETBACKS	FRONT: 30 FT AT DWELLING UNIT FLOORS	FRONT: 10.63'			
	REAR: 30 FT AT DWELLING UNIT FLOORS	REAR: 30.00'			
	SIDE: 18.32' (COMBINED)	SIDE: 18.32'			
	REAR: 30 FT AT DWELLING UNIT FLOORS	REAR: 30.00'			
PARKING	19 AUTO (REQUIRED)	18 SPACES PROPOSED			
	38 BICYCLE (REQUIRED)	38 BICYCLE (REQUIRED)			
	VARIANCE REQUIRED TO REMOVE 1 PARKING SPACE AND 1 LOADING ZONE.				

FLOOR	# OF BEDROOMS	# PER FLOOR	QUANTITY	SQUARE FOOTAGE RANGE	TOTAL SQ. FOOTAGE PER UNIT TYPE PER FLOOR	TOTAL SQUARE FOOTAGE
FIRST FLOOR	THREE BEDROOM	2	2	1,252.35 SF	2,534.54 SF	2,534.54 SF
SECOND-FIFTH FLOOR	ONE BEDROOM	5	20	556.84, 562.25, 565.50, 610.88	2,852.31 SF	25,904.84 SF
	TWO BEDROOM	4	16	874.72, 876.13, 886.35, 984.70	3,623.90 SF	
OVERALL TOTAL			38 UNITS			28,439.38 SF

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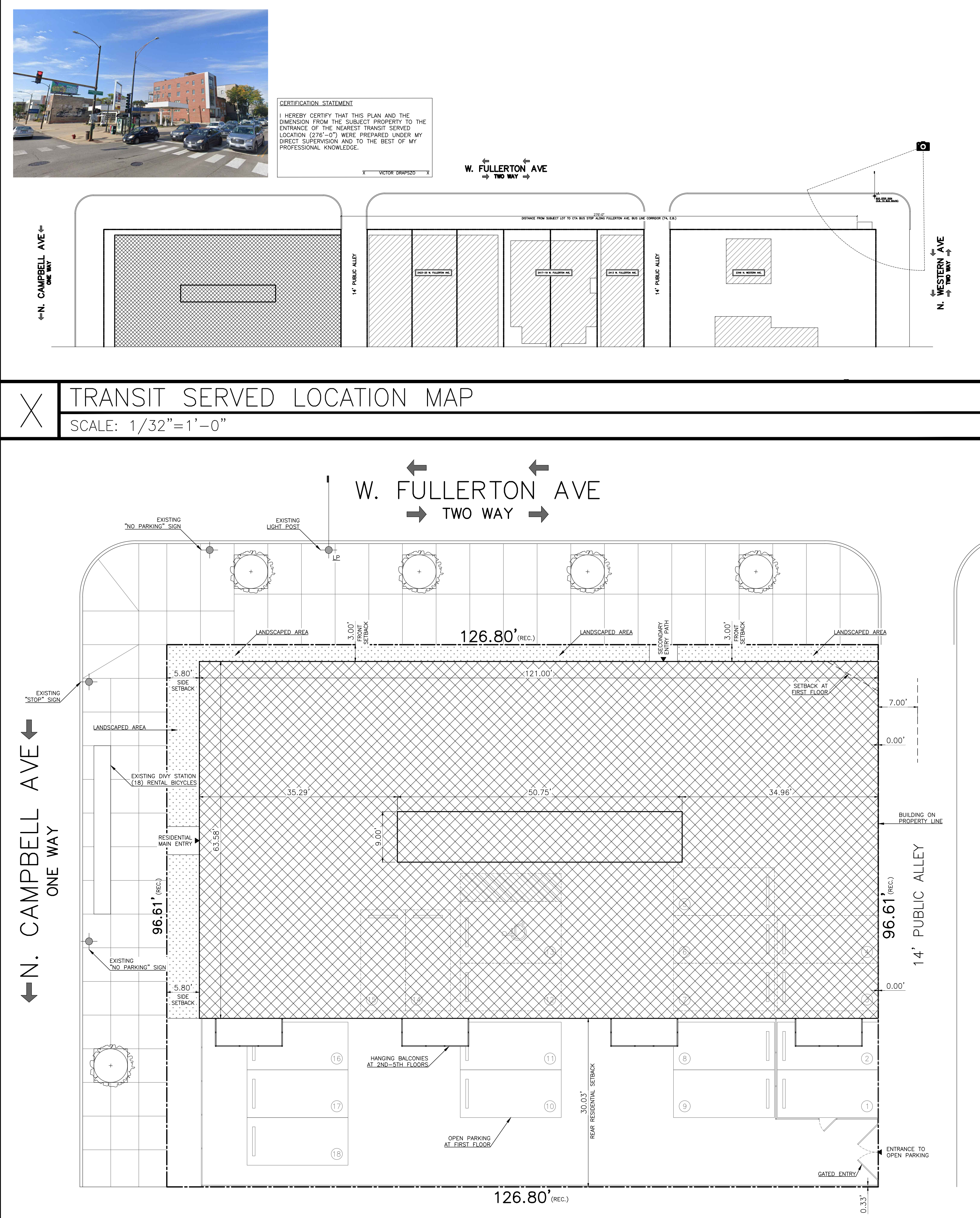
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X SITE PLAN	
SCALE: 3/32" = 1'-0"	



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CODE MATRIX, NOTES, & SITE PLAN

2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

- SCOPE OF WORK:**
NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 18 REAR OPEN PARKING PADS WITH BALCONIES AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY);
- ERECT NEW FIVE STORY III-A CONSTRUCTION BUILDING.
 - INSTALL NEW PLUMBING FIXTURES, WITH NEW PLUMBING BRANCHES.
 - INSTALL NEW ELECTRICAL SUPPLY SYSTEM & WIRING.
 - INSTALL NEW HEATING SYSTEMS AND ASSOCIATED DUCTWORK AND VENTS.
 - PROVIDE 18 OPEN PARKING PADS
 - CONSTRUCT NEW BALCONIES AND ROOF DECK ON MAIN BUILDING.

CERTIFICATION STATEMENT
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CHICAGO BUILDING CODE, 2019 - TITLE 14B

SIGNED _____ DATE: 08-03-2023
EXPIRATION DATE: 11-30-2024

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR 2429-31 W FULLERTON AVE, CHICAGO IL FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE JUNE 1, 2019

SIGNED _____ DATE: 08-03-2023
EXPIRATION DATE: 11-30-2024

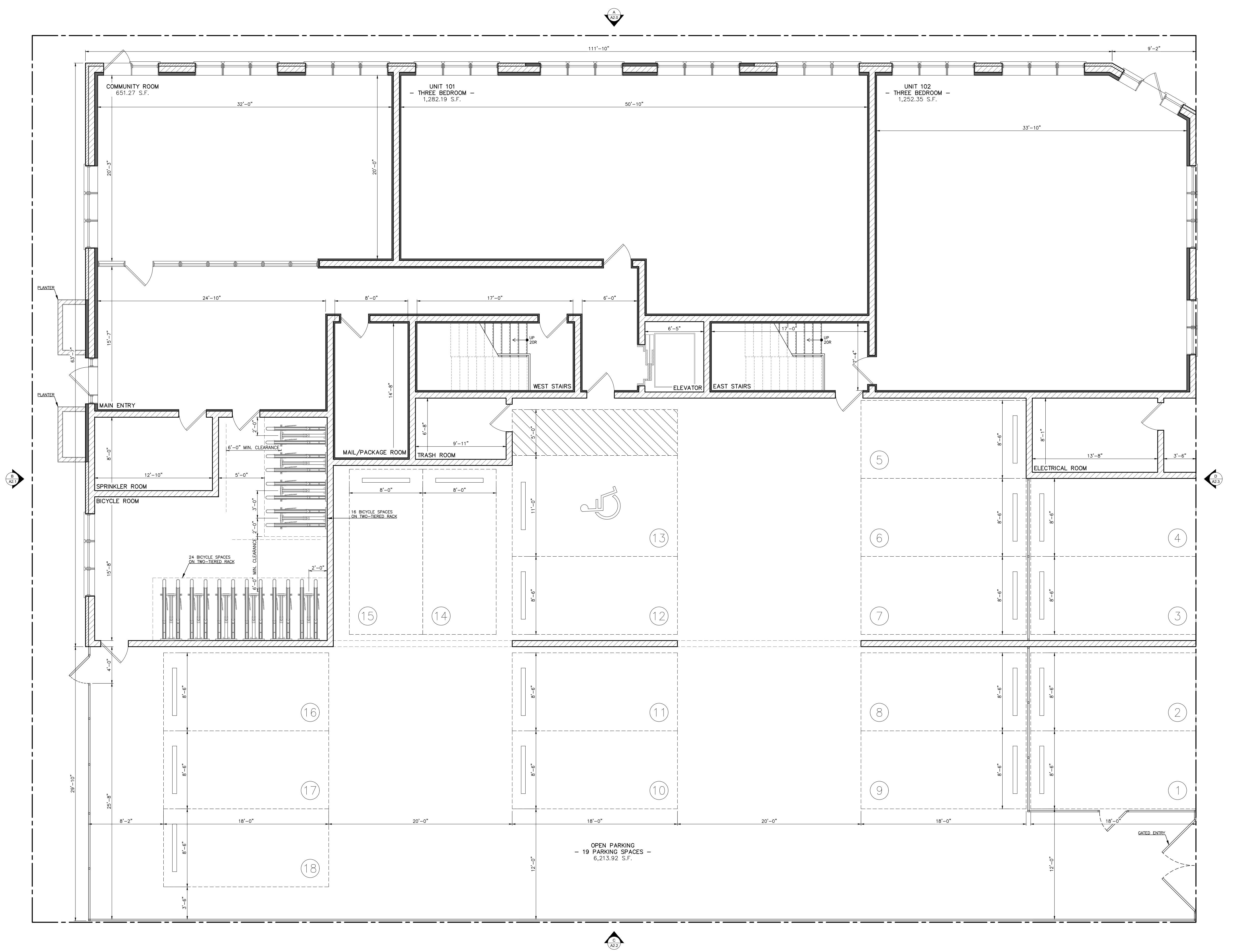
SNS REALTY GROUP
2042 WEST BELMONT AVENUE
CHICAGO, ILLINOIS 60618
PHONE: (773) 665-1900
EMAIL: INFO@SNSREALTYGROUP.COM

2123 N. Damen Ave.
Chicago, IL 60647
773 772 2756 office
773 772 2854 fax

ARCHITECTS

ARCHITECTURE
PLANNING
ARCHITECTURAL ENGINEERING

PROJECT ADDRESS: 2429-31 W. FULLERTON AVE. CHICAGO, IL 60647	CHECKED BY:	SCALE: SCALE: DATE:	SHEET: T1.0
	V.D.	DATE:	
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1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"



REVISIONS:
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 DRAWN BY: R.V.

PROPOSED
 FLOOR PLAN

2429-31 W FULLERTON AVE
 CHICAGO, IL 60647

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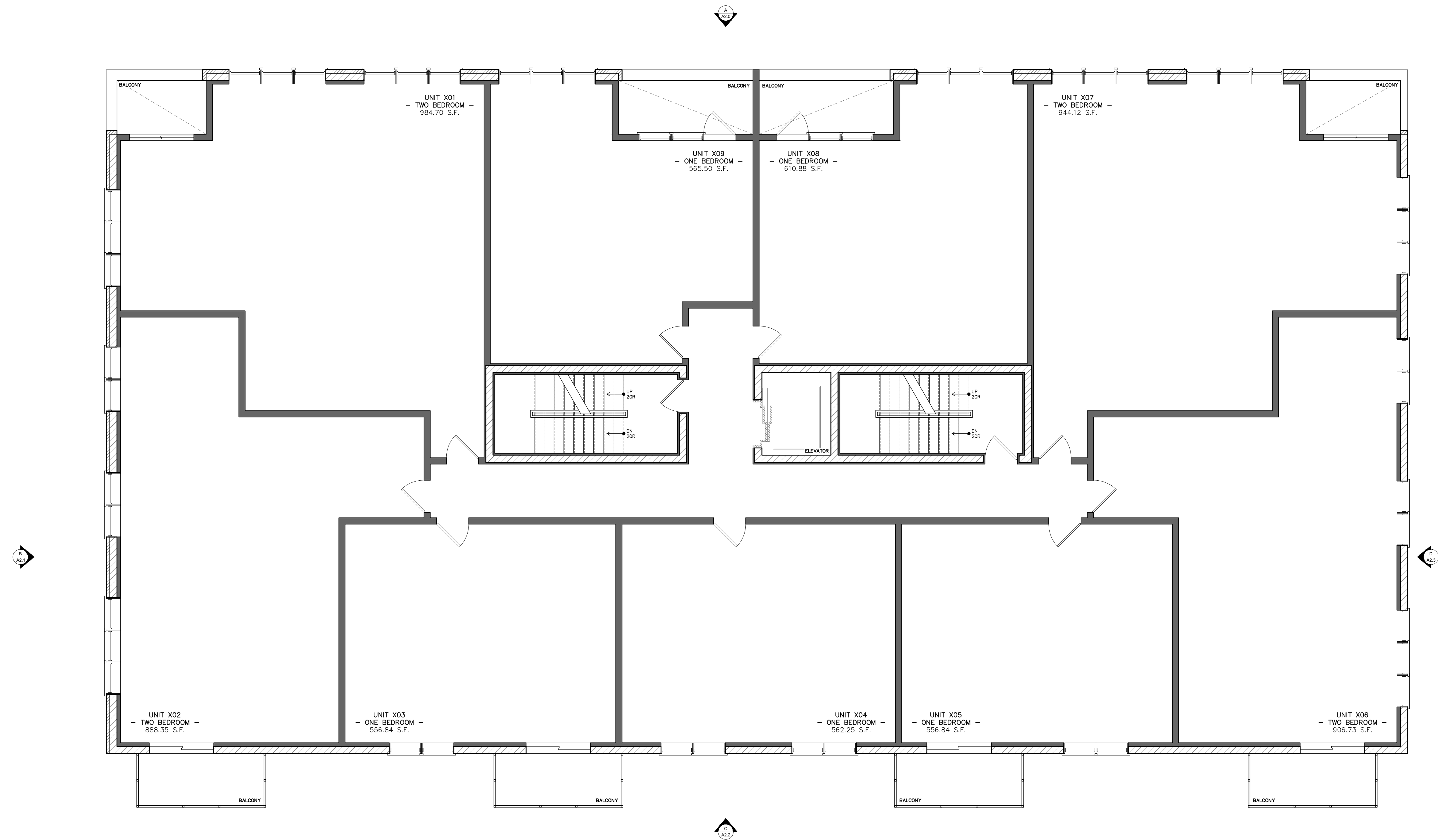
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ARCHITECT

2123 N. Damen Ave.
 Chicago, IL 60647
 773 772 2766 office
 773 772 2894 fax

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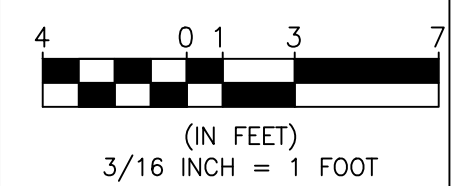


RESIDENTIAL FLOORS 2-5

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TYPICAL RESIDENTIAL FLOOR PLAN

SCALE: 3/16" = 1'-0"



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PROPOSED
FLOOR PLAN

2429-31 W FULLERTON AVE
CHICAGO, IL 60647

2123 N. Damen Ave.
Chicago, IL 60647

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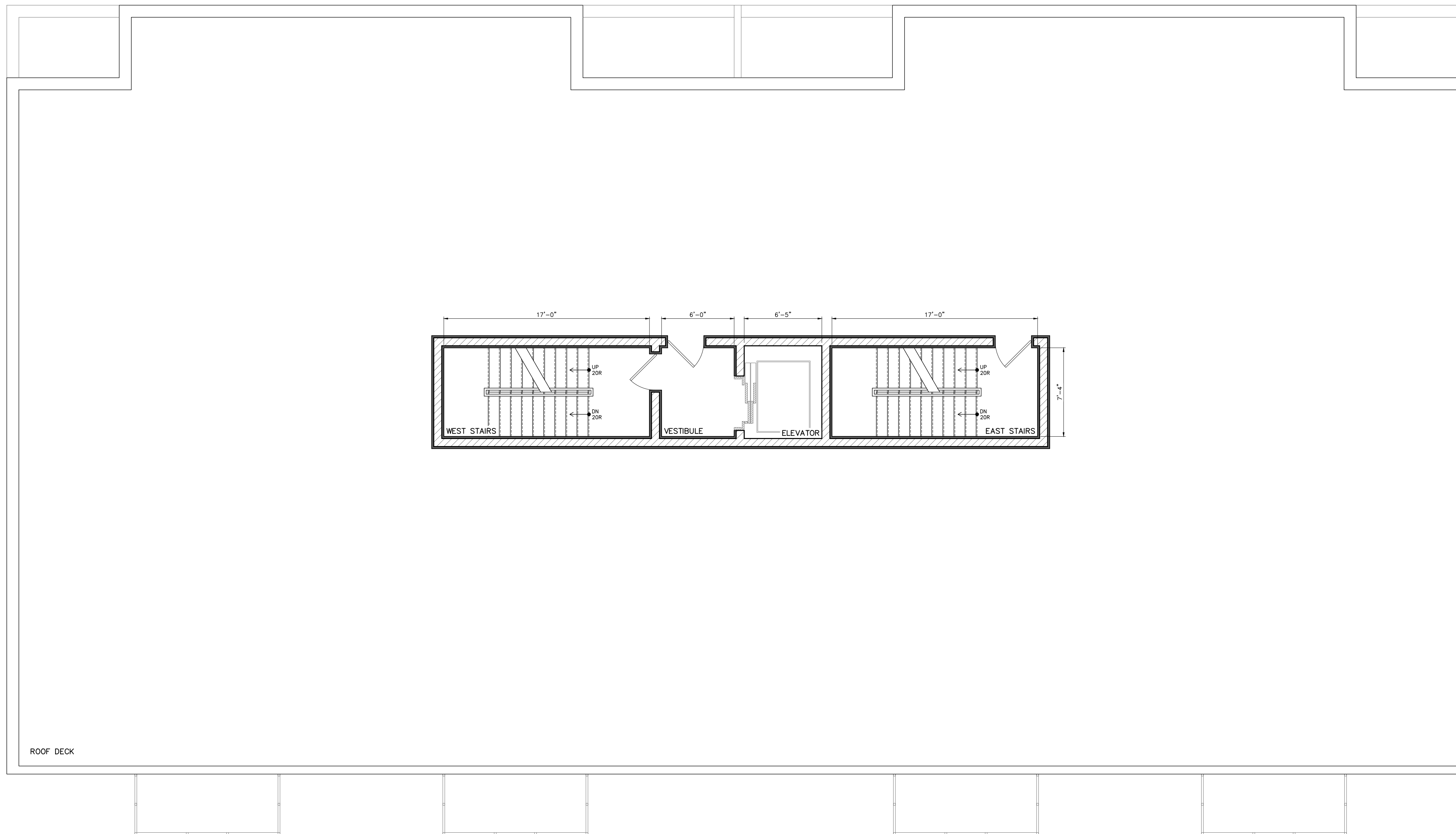
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**PROPOSED
 FLOOR PLAN**

**2429-31 W FULLERTON AVE
 CHICAGO, IL 60647**

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 773.772.2854 fax

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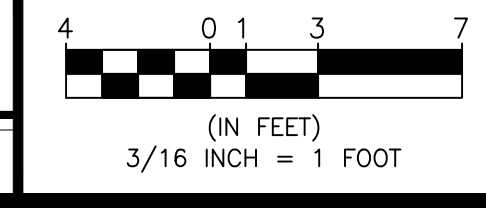
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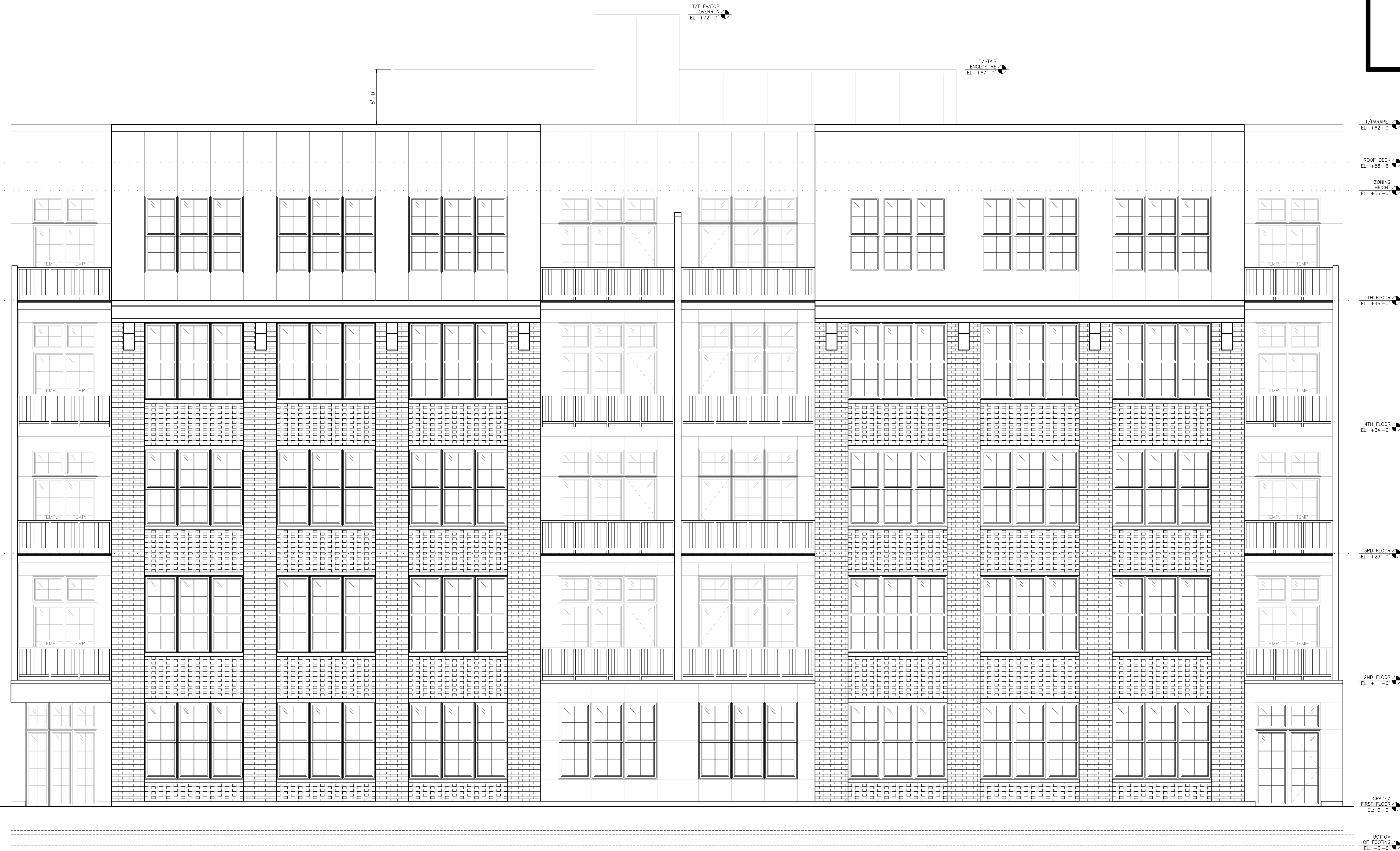
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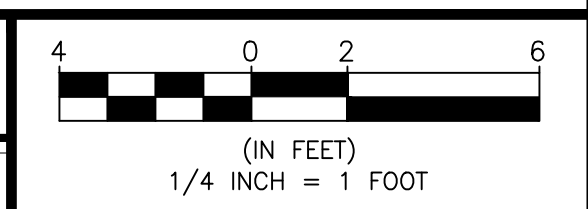
ROOF DECK PLAN

SCALE: 3/16" = 1'-0"





A NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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PROPOSED
ELEVATION

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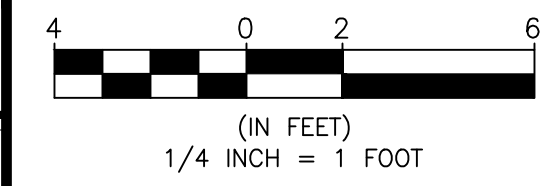
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B WEST ELEVATION
SCALE: 1/4" = 1'-0"



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PROPOSED ELEVATION

**2429-31 W FULLERTON AVE
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08.03.2023

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PAGE: 1 OF XX

T/ELEVATOR
OVERRUN
EL: +72'-0"

T/STAIR
ENCLOSURE
EL: +67'-0"

5'-0"

T/PARAPET
EL: +62'-0"

ROOF DECK
EL: +58'-6"

ZONING
HEIGHT
EL: +56'-0"

5TH FLOOR
EL: +46'-0"

4TH FLOOR
EL: +34'-6"

3RD FLOOR
EL: +23'-0"

2ND FLOOR
EL: +11'-6"

GRADE/
FIRST FLOOR
EL: 0'-0"

BOTTOM
OF FOOTING
EL: -3'-6"



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PROPOSED
ELEVATION

2429-31 W FULLERTON AVE
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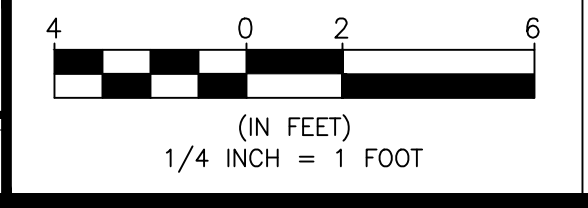
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C SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

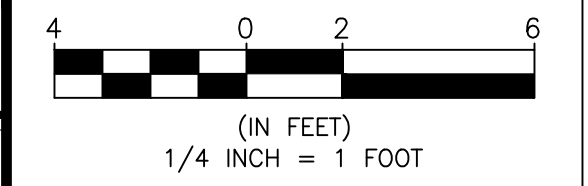




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EAST ELEVATION

SCALE: 1/4" = 1'-0"



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PROPOSED ELEVATION

2429-31 W FULLERTON AVE
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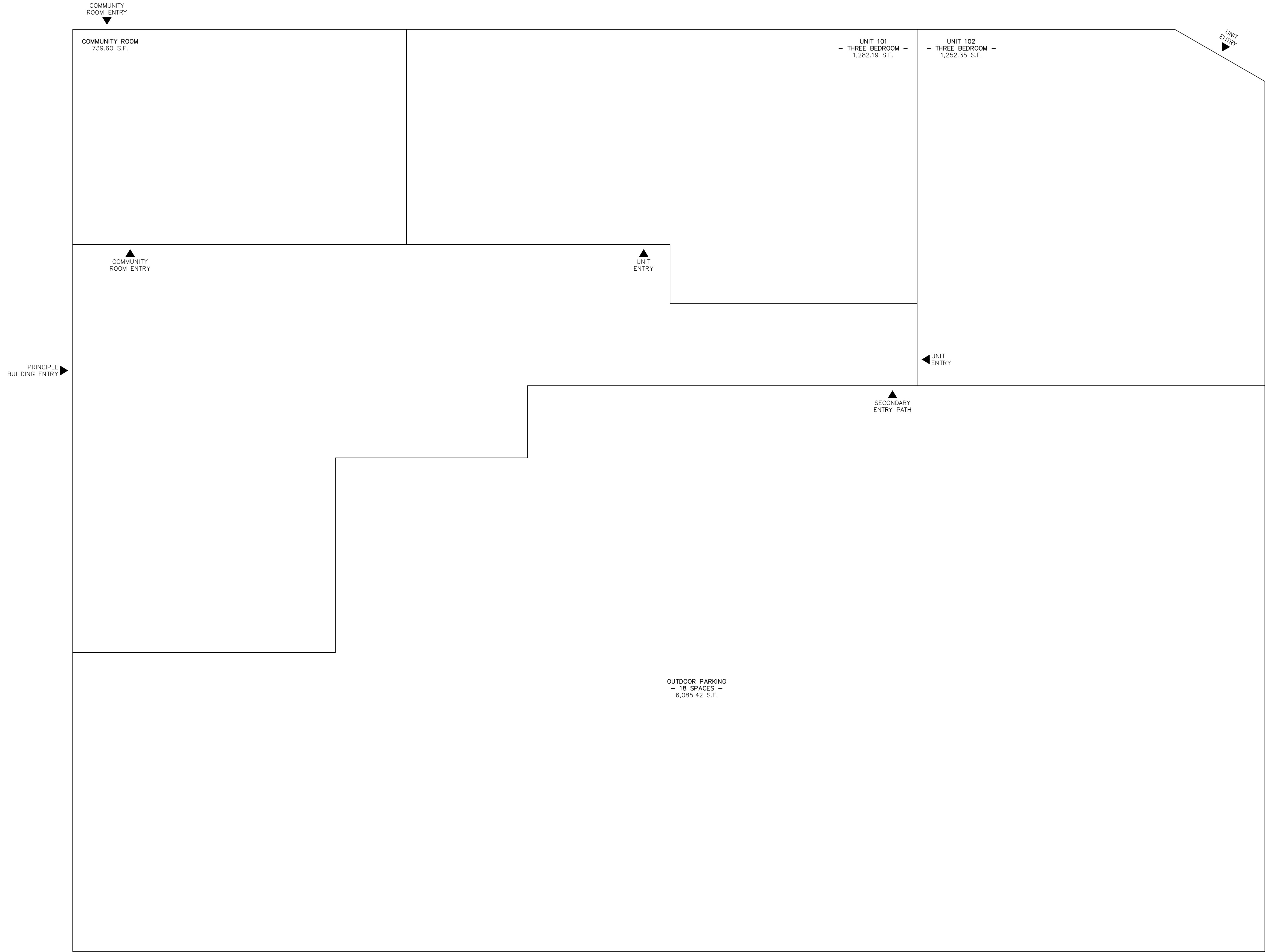
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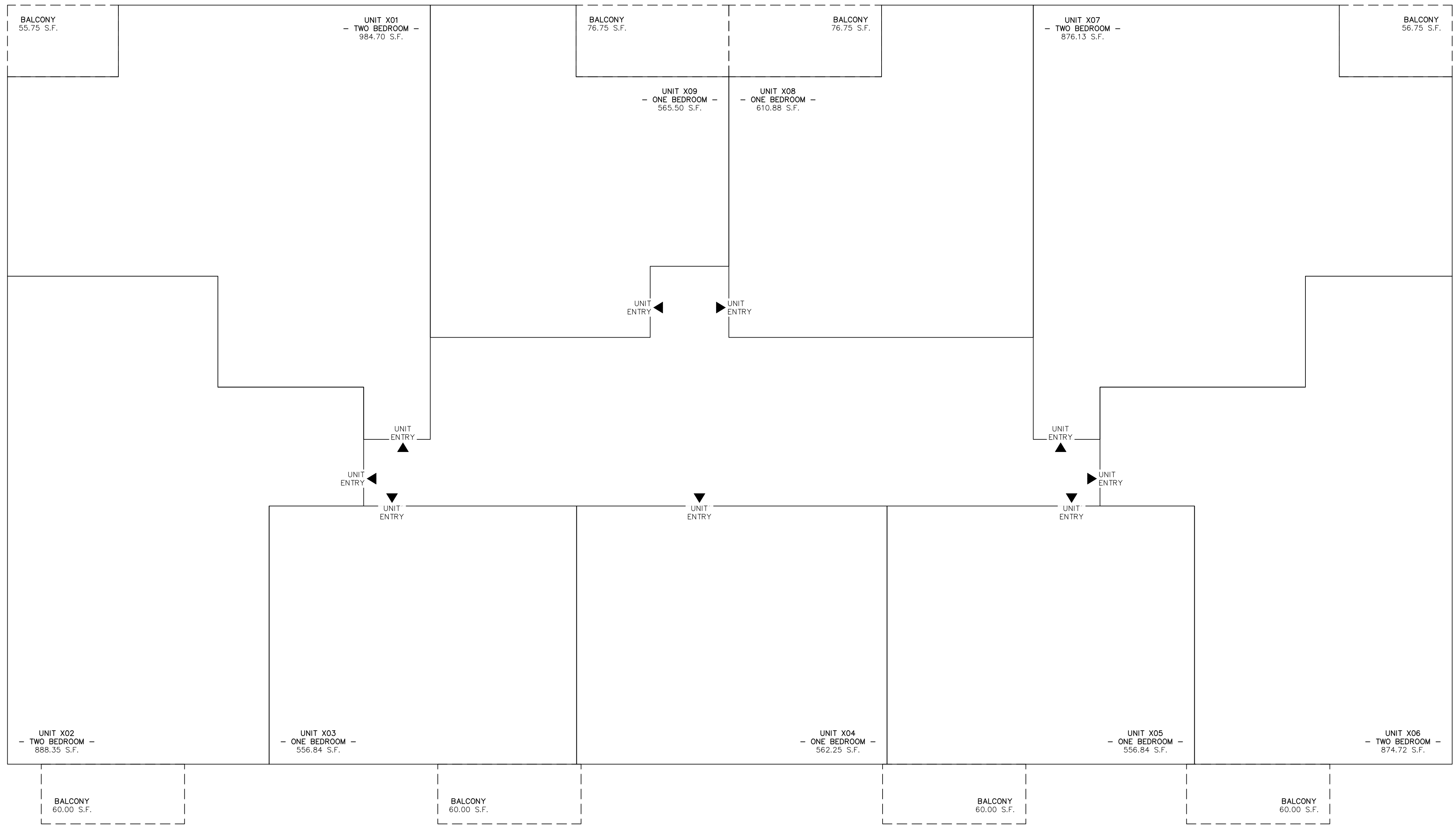
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1 FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"



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UNIT ANALYSIS (FIRST FLOOR)	
2429-31 W FULLERTON AVE CHICAGO, IL 60647	
ARCHITECTURE RECTS PLANNING ARCHITECT ARCHITECTURAL ENGINEERING	2123 N. Damen Ave. Chicago, IL 60647 773.772.2786 office 773.772.2884 fax
PROJECT: 2429-31 W FULLERTON CHICAGO, IL 60647	SCALE: DATE: 06.03.2023
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**UNIT ANALYSIS
 (TYPICAL
 RESID. FLOOR)**

**2429-31 W FULLERTON AVE
 CHICAGO, IL 60647**

2123 N. Damen Ave.
 Chicago, IL 60647
RECTS
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ARCHITECTURE
 PLANNING
ARCHITECTS
 ARCHITECTURAL ENGINEERING

PROJECT:
 2429-31 W FULLERTON
 CHICAGO, IL 60647

SCALE:
 DATE:
 06.03.2023

SHEET:
N/A
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1 SECOND-FIFTH FLOOR PLAN
 SCALE: 3/16"=1'-0"

