

NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 18 REAR OPEN PARKING PADS WITH BALCONIES AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY)

GENERAL BUILDING REQUIREMENTS PER CHICAGO ZONING ORDINANCE (CZO)							
ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
Z.01	Zoning District	ZONING MAP	82-3			T1.0	
Z.02	Zoning District	17-2-0205	Residential Occupancy			T1.0	
Z.03	Lot Area	17-2-0301	12,250.15 SF			T1.0	
Z.04	Density	17-2-0303	380 S.F. Per D.U. 200 S.F. Per Eff. Unit	38 Dwelling Units		T1.0	Seeking MUA Reduction for Transit Served Location. See TSL site plan.
Z.05	Floor Area Ratio (FAR)	17-2-0304	3.5	42,875.53 Max		T1.0	Seeking FAR Increase for Transit Served Location and 50% Affordable Units.
Z.06	Total Floor Area	17-2-0305		35,108.28 SF		T1.0	
Z.07	Building Height	17-2-0311	70'-0" Max	56'-0"		T1.0	Building height increase for TSL.
Z.08	Setbacks	17-2-0305	Not Required	0.00'	3.00'	T1.0	
Z.09	Front	17-2-0306	30 FT Residential	30.00'		T1.0	
Z.10	Side	17-2-0309	Not Required	0.00' Combined	5.80' West	T1.0	
Z.11	Rear Yard Open Space	17-2-0307	Not Required	Not Required	N/A	T1.0	
Z.12	Off Street Parking	17-2-0209	3.5 Dwelling Unit	19 Required	18 Proposed	T1.0	50% Park. Reduction for Transit Oriented Dev. Variance to remove 1 parking space and loading.
Z.13	Plot of Survey	17-13-1502-B	Provided				

GENERAL BUILDING REQUIREMENTS PER CHICAGO BUILDING CODE (CBC) 2019 EDITION							
2.01	Occupancy Classification (a)	148-2-202	R-2			T1	
2.02	Type of Construction	148-6-601	Type III-A			T1	
2.03	Req. F.R. of Fire Resistance	148-6-601	1 hour (s)	Complies			
2.04	Primary Structural Frame	Table 601	Complies				
2.05	Beaming Walls	Table 601	Complies				
2.06	Exterior	Table 601	2 hour (SI)	Complies		A1	
2.07	Interior	Table 601	1 hour (SI)	Complies		A1	
2.08	Nonbearing Walls and Partitions - Ext	Table 602	Complies			A1	
2.09	Nonbearing Walls and Partitions - Int	Table 601	1 hour (SI)	Complies		A1	
2.10	Four Corners & Associated Secondary Member	Table 601	1 hour (SI)	Complies		A1	
2.11	Four Corners & Associated Secondary Member	Table 601	1 1/2 hour (SI)	Complies		A1	
2.12	Basement Construction	148-6-605	Complies			A1	Exception taken for residential
2.13	Fire and Smoke Protection Features	148-7-405	Complies				
2.14	a) Exterior Wall Penetrations	Table 705.1.1	fire rated per Table 602			N/A	A1
2.15	b) Penetrations	148-7-705.11	fire rated per Table 602			N/A	A1
2.16	c) Fire Walls	148-7-706				N/A	A1
2.17	d) Fire Barrier	Table 703.1.10				N/A	A1
2.18	e) Floor and Roof Assemblies	148-7-711	1 hour (s)	Complies		A1	Class A Fire resistive roof construction
2.19	f) Penetrations	148-7-714	Complies			A1	fire stop at wall pipe floor penetrations $\leq 9.14 \text{ ft}$ area
2.20	Interior Wall and Ctg. Finishes	148-08-603	Class 1	Class 1		N/A	A1
2.21	Fire Protection and Life Safety Systems	148-09-601				N/A	A1
2.22	a) Automatic Sprinkler Systems	148-09-603				N/A	A1
2.23	b) Alternative Automatic Fire-Extinguishing Systems	148-09-604				N/A	A1

EXIT REQUIREMENTS							
3.01	Type of Exit	148-10-1009.1	Encompassed	Complies		A1	
3.02	Minimum Number of Exits	148-10-1009	1 Exit	Provided		A1	
3.03	Common Path of Egress	Table 1009.2.1	60 ft max	Complies		A1	
3.04	Exit Access Travel Distance	Table 1011.2	200 ft max	Complies		A1	
3.05	a) Increases Permitted w/ Sprinklers	148-10-1011.2	250 ft max	Complies		N/A	A1
3.06	b) Dead End Corridor	148-10-1011.4	20 ft max	Complies		A1	
3.07	Minimum Width of Exits	148-10-1005.2	32"	Complies		A1	
3.08	Swing of Exits Doors	148-10-1011.2	Swing in	Complies		A1	Exception taken for residential
3.09	Hardware	148-10-1011.9	No inside lock	Complies		A1	Thumb action deadbolt from inside provided
3.10	Revolving Doors	148-10-1011.4.1		Complies		N/A	A1
3.11	Landings at Doors	148-10-1011.6	width not less than stairs	Complies		A1	
3.12	Stairways	148-10-1011	30" min. continuous handrails, 2'-8" combustible - protect handrails - 1 hour	Complies		A1	
3.13	Stairway Construction	148-10-1011.7	handrails - protect combustible - 1 hour	Complies		A1	
3.14	Stairway Head Room	148-10-1011.3	6'-8" min	Complies		A1	

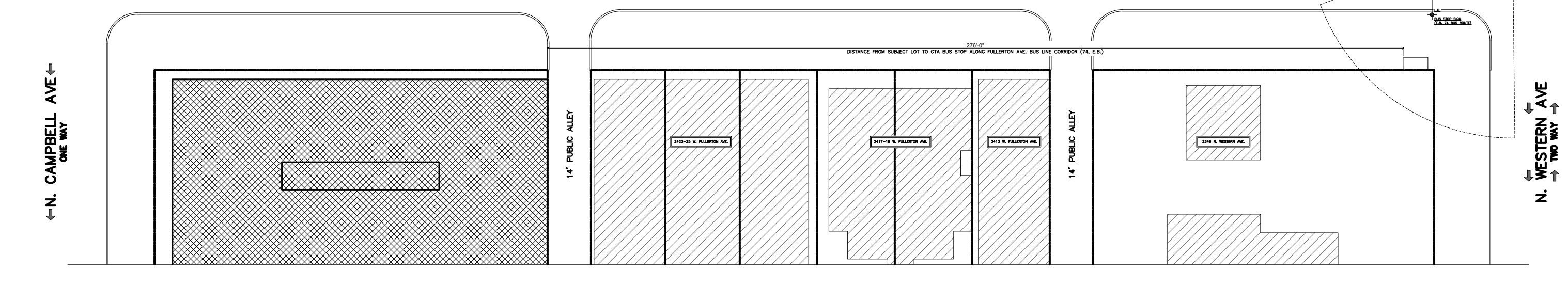
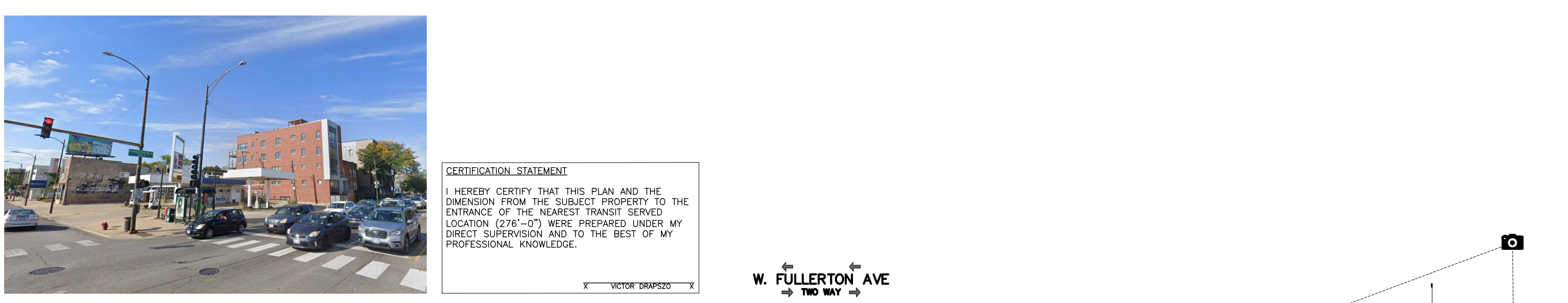
STRUCTURAL								
1	Floor loads	23	148-23-2307	Live Loads: Floor 40 psf	Live Loads: Floor 40 psf		T1	
2	Foundations	18	Table 1806.2(1)	3,000 psf min	3,000 psf		T1	
3	Concrete Construction	19	148-19-1904	3,000psf @ 28 days	3,000psf @ 28 days		T1	ACI 318-83 governs (with City exceptions)
4	Masonry Construction	21	148-21-2101.2	TMS 402 TMS 403 or TMS 404	Contractor to comply w/ provisions		T1	
5	Steel and Metal Construction	22	148-22-2202.1	AISC 360	Contractor to comply w/ provisions		N/A	T1, A2
6	Wood Construction	23	148-23-2303	Grade stamps required	Grade stamps to be recorded on records		T1	No structural steel work
7	Wood Construction	23	148-23-2306	APA Plywood Design PDS - 88	APA Plywood Design PDS - 88		T1	Plywood used at corners of building for stiffness

AIR VENTILATION								
1	Ventilation Requirements	26	(13 - 116 - 070)(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13 - 180 - 040)
2	Heating Requirements	28	(13 - 180 - 030)(A)	Per Table	Complies		M-1	

REFRIGERATION								
1	Air Conditioning System	28	(13 - 180 - 010)(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13 - 180 - 040)

PLUMBING								
1	New Waste System	29	(18 - 29)	Table 18 - 29 - 403.1	Complies		P-1	Comply with Code and Dept. of Sewers requirements
2	New Water System	29	(18 - 29)	Table 18 - 29 - 403.1	Complies		P-1	Comply with Code and Dept. of Water requirements

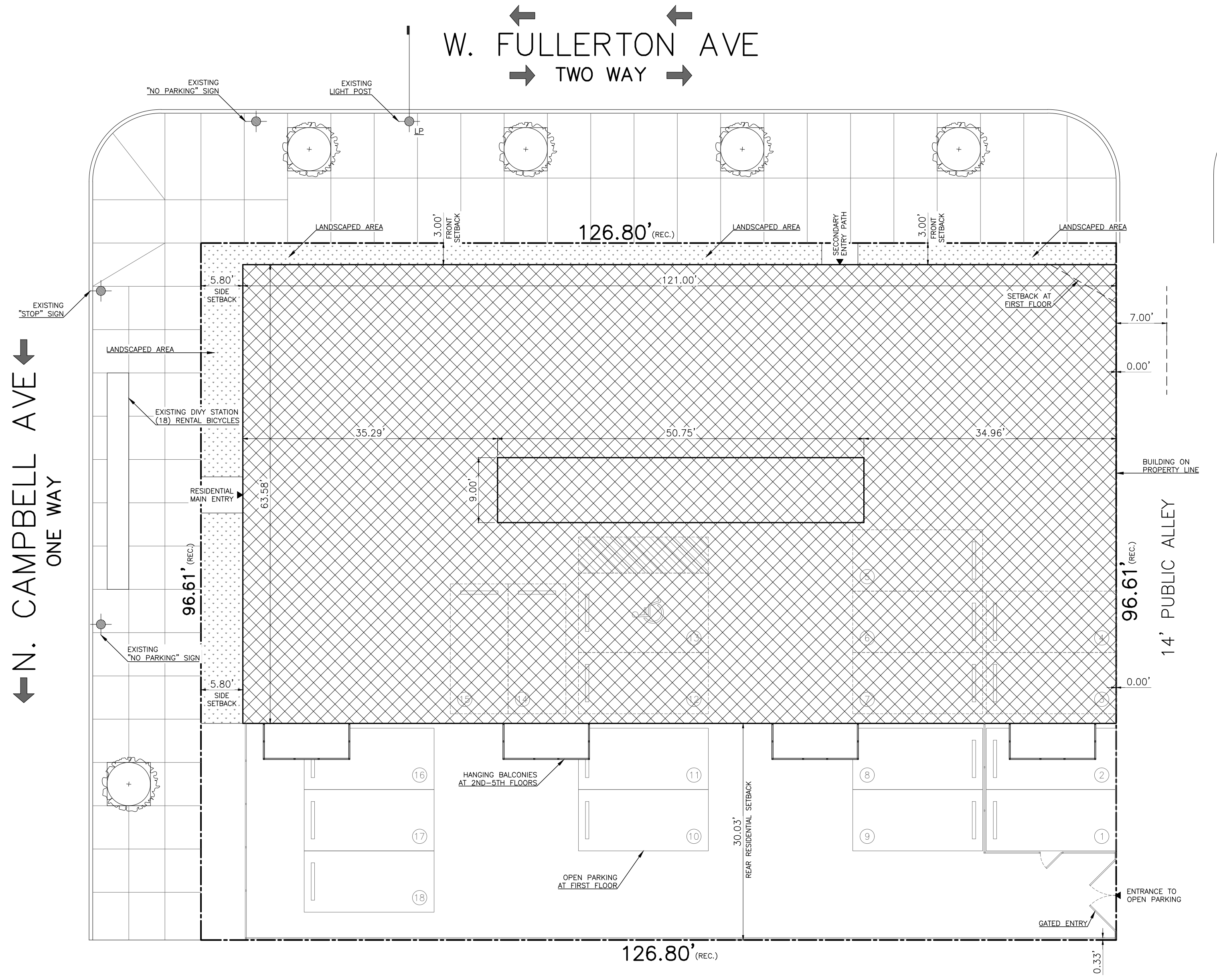
ELECTRICAL								
1	Relationship to Electrical System	Art. 200	18 (27)	18 - 27 - 210.11	Branch circuits provided		E-1	Licensed Electrician to comply with all Code provisions
2	Branch Circuits	Art. 200	18 (27)	18 - 27 - 210.12	Art. 200.4 shall be installed on Branch Circuits to bathrooms		E-1	
3	Required Outlets	Art. 200	18 (27)	18 - 27 - 210.50 thru 70	Provided		E-1	
4	Carbon Monoxide and Smoke	Art. 500	18 (27)	18 - 27 - 560.3	Provided		E-1	



NOT IN USE
SCALE: N.T.S.

X TRANSIT SERVED LOCATION MAP
SCALE: 1/32" = 1'-0"

NOT IN USE
SCALE: N.T.S.



X CODE MATRIX
SCALE: N.T.S.

ORDINANCE REQUIREMENTS		BUILDING SPECIFICATIONS		MINIMUM LOT AREA CALCULATION	
ZONING	82-3			126.80' X 96.61' = 12,250.15 SF.	
LOT AREA	12,250.15 SF			300 S.F. (PER DWELLING UNIT) = 14,400 S.F.	
DENSITY	38 DWELLING UNITS (PROPOSED)			135 S.F. (GRD. UNIT)	
F.A.R.	42,875.53 S.F. MAX			12,250.15 SF x 3.50	
BUILDING HEIGHT	70'-0" MAX.			FIRST FLOOR = 5,379.8 SF	
SETBACKS	FRONT: 10.63'			SECOND FLOOR = 1,472.58 SF	
PARKING	18 SPACES PROPOSED			THIRD FLOOR = 1,472.58 SF	
				FOURTH FLOOR = 1,472.58 SF	
				FIFTH FLOOR = 1,472.58 SF	
				TOTAL = 35,108.28 SF.	

X INDEX OF DRAWINGS
SCALE: N.T.S.

X ZONING DATA
SCALE: N.T.S.

1 SITE PLAN
SCALE: 3/32" = 1'-0"

CODE MATRIX, NOTES, & SITE PLAN

2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

SCOPE OF WORK:
NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 18 REAR OPEN PARKING PADS WITH BALCONIES AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY);

- ERECT NEW FIVE STORY III-A CONSTRUCTION BUILDING.
- INSTALL NEW PLUMBING FIXTURES, WITH NEW PLUMBING BRANCHES.
- INSTALL NEW ELECTRICAL SUPPLY SYSTEM & WIRING.
- INSTALL NEW HEATING SYSTEMS AND ASSOCIATED DUCTWORK AND VENTS.
- PROVIDE 18 OPEN PARKING PADS
- CONSTRUCT NEW BALCONIES AND ROOF DECK ON MAIN BUILDING.

CERTIFICATION STATEMENT
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CHICAGO BUILDING CODE, 2019 - TITLE 14B

SIGNED: _____ DATE: 08-03-2023
EXPIRATION DATE: 11-30-2024

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR 2429-31 W FULLERTON AVE, CHICAGO IL FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE JUNE 1, 2019

SIGNED: _____ DATE: 08-03-2023
EXPIRATION DATE: 11-30-2024

SNS REALTY GROUP
2042 WEST BELMONT AVENUE
CHICAGO, ILLINOIS 60618
PHONE: (773) 665- 1900
EMAIL: INFO@SNSREALTYGROUP.COM

ARCHITECTS
2123 N. Damen Ave.
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773 772 2756 office
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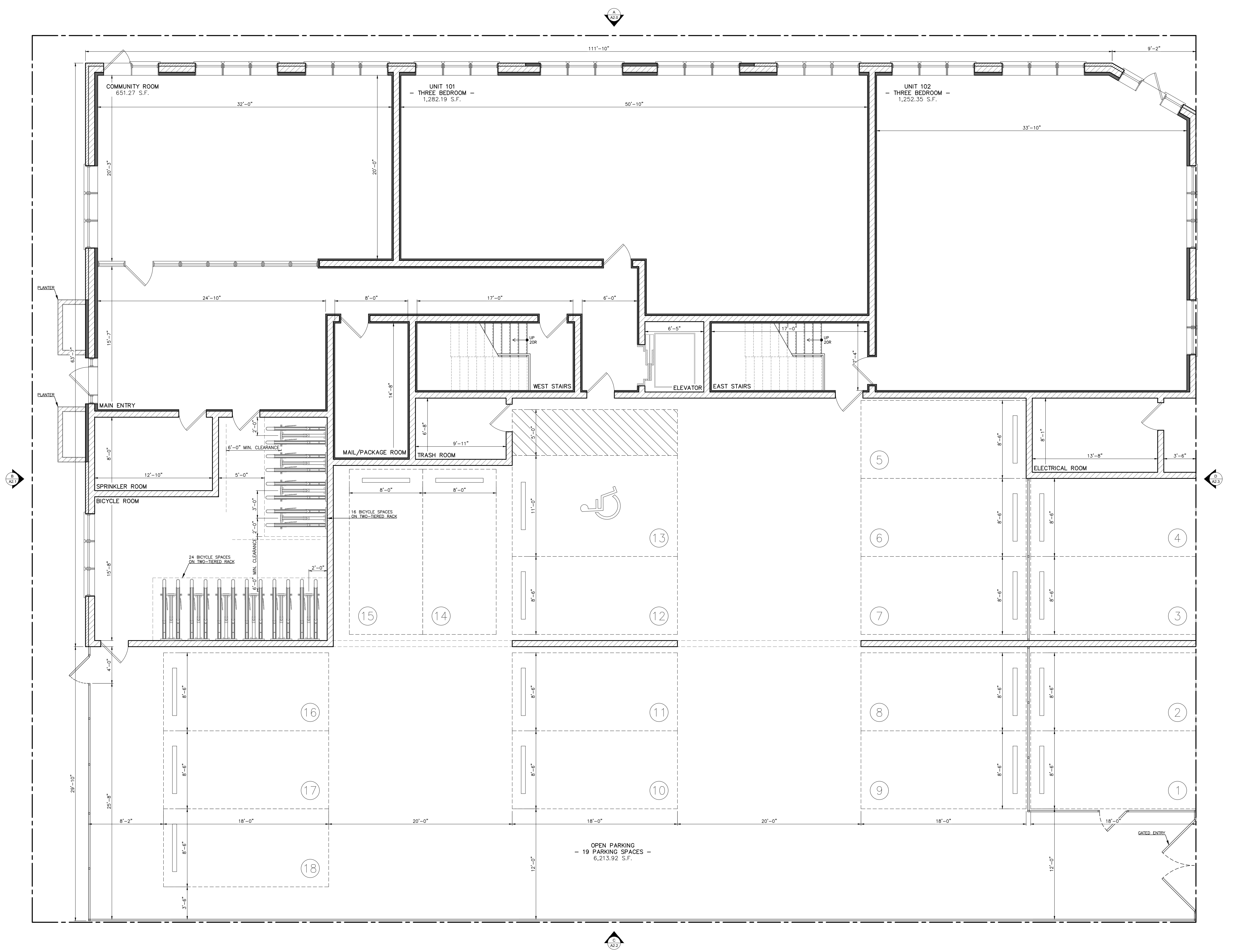
ARCHITECTURE
PLANNING
ARCHITECTURAL ENGINEERING

PROJECT ADDRESS:
2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

CHECKED BY: _____ SCALE: _____
DRAWN BY: _____ SCALE: _____
DATE: _____ DATE: _____

RV 08-03-2023

SHEET:
T1.0
PAGE: X OF XX



1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"



REVISIONS:
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 DRAWN BY: R.V.

PROPOSED
 FLOOR PLAN

2429-31 W FULLERTON AVE
 CHICAGO, IL 60647

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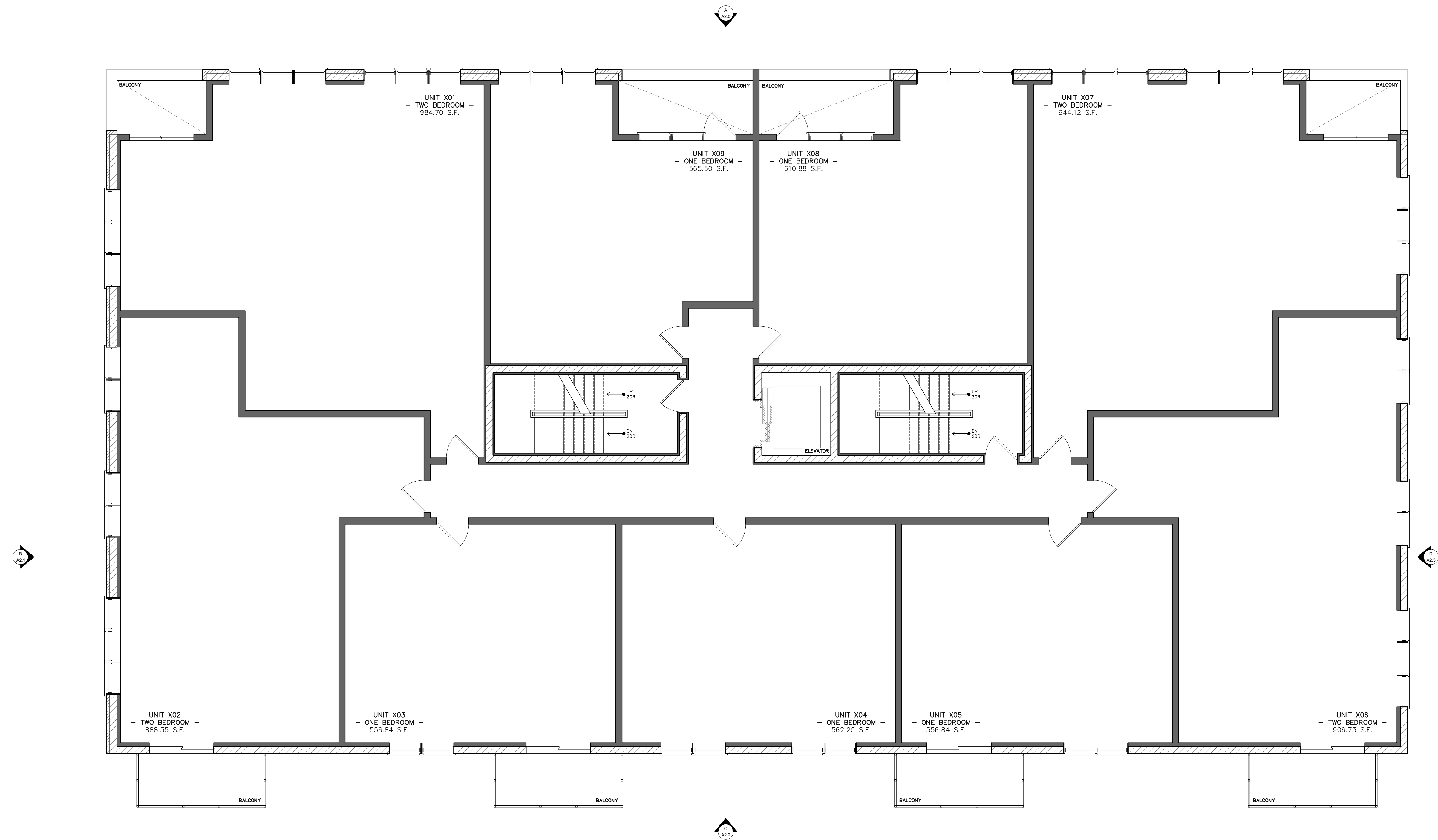
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ARCHITECT

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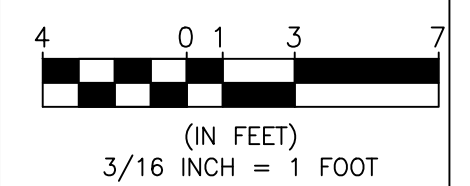


RESIDENTIAL FLOORS 2-5

X

TYPICAL RESIDENTIAL FLOOR PLAN

SCALE: 3/16" = 1'-0"



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PROPOSED
FLOOR PLAN

2429-31 W FULLERTON AVE
CHICAGO, IL 60647

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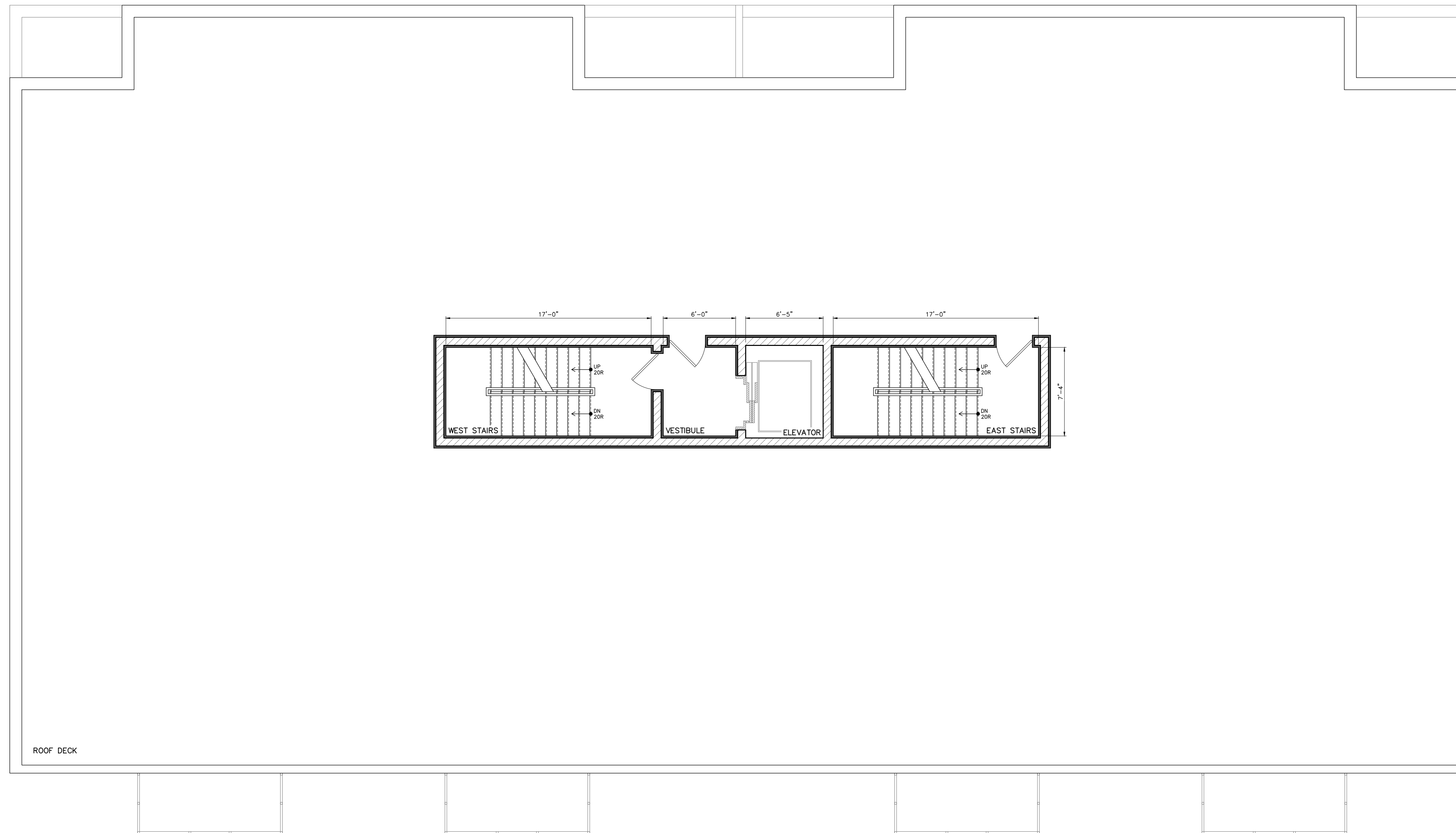
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**PROPOSED
FLOOR PLAN**

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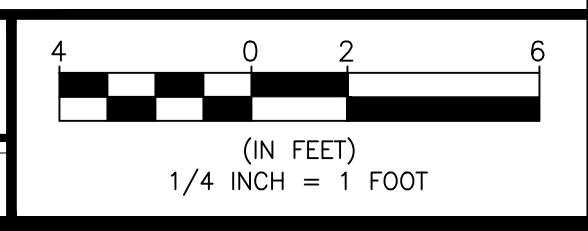
PROJECT: 2429-31 W FULLERTON CHICAGO, IL 60647	SCALE: DATE: 08.03.2023
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6 ROOF DECK PLAN
SCALE: 3/16"=1'-0"





A NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



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PROPOSED ELEVATION

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 CHICAGO, IL 60647**

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 CHICAGO, IL 60647
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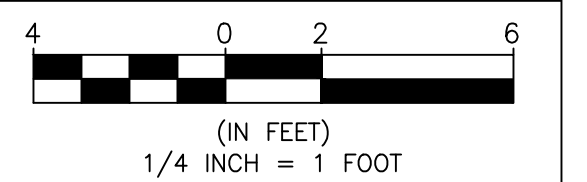
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B

WEST ELEVATION

SCALE: 1/4" = 1'-0"



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PROPOSED
ELEVATION

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T/ELEVATOR
OVERRUN
EL: +72'-0"

T/STAIR
ENCLOSURE
EL: +67'-0"

5'-0"

T/PARAPET
EL: +62'-0"

ROOF DECK
EL: +58'-6"

ZONING
HEIGHT
EL: +56'-0"

5TH FLOOR
EL: +46'-0"

4TH FLOOR
EL: +34'-6"

3RD FLOOR
EL: +23'-0"

2ND FLOOR
EL: +11'-6"

GRADE/
FIRST FLOOR
EL: 0'-0"

BOTTOM
OF FOOTING
EL: -3'-6"



REVISIONS:

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PROPOSED
ELEVATION

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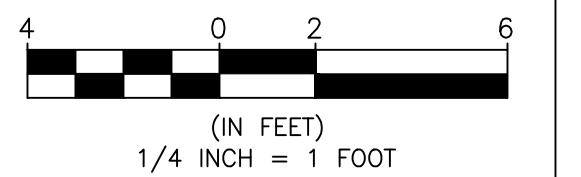
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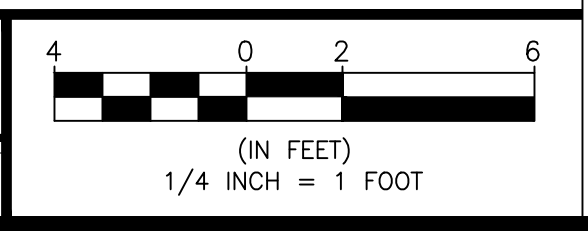
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"





D EAST ELEVATION
SCALE: 1/4" = 1'-0"



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**PROPOSED
ELEVATION**

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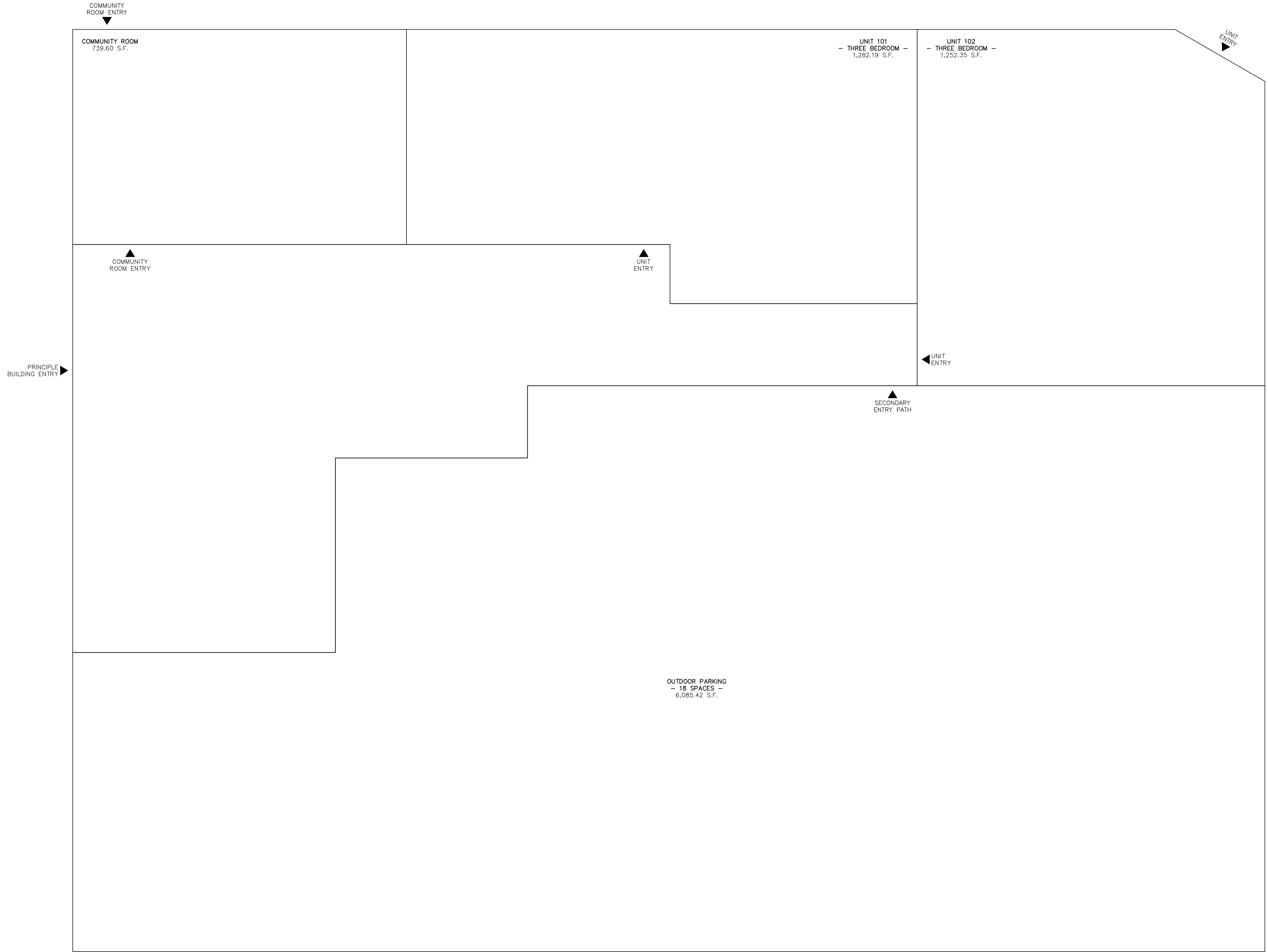
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**UNIT ANALYSIS
 (FIRST FLOOR)**

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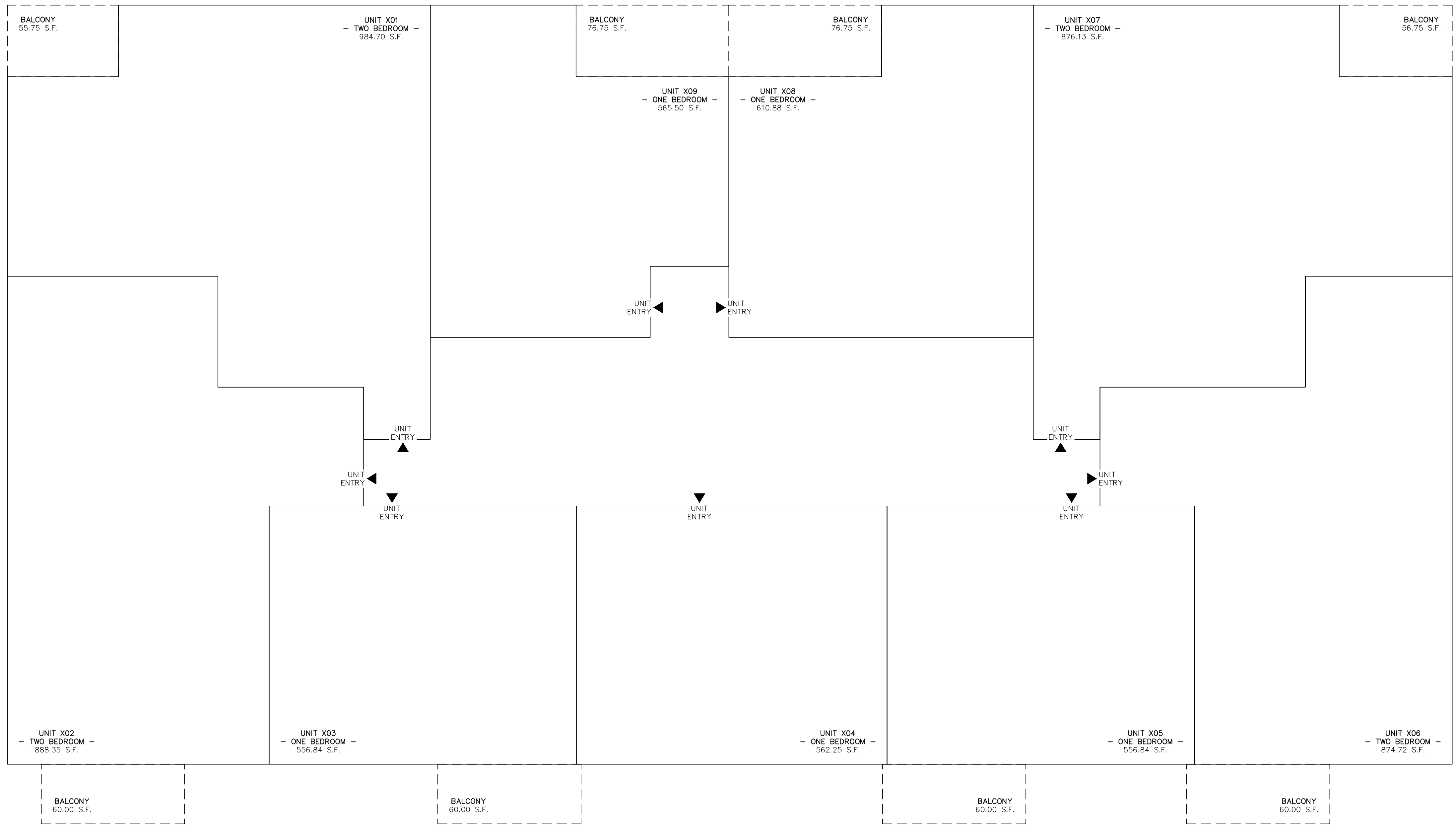
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1 FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"





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**UNIT ANALYSIS
 (TYPICAL
 RESID. FLOOR)**

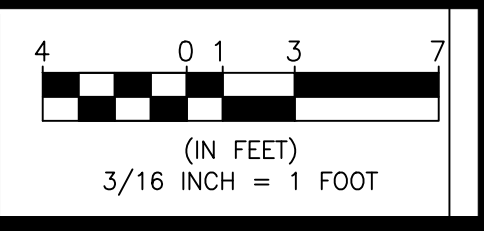
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 CHICAGO, IL 60647**

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1 SECOND-FIFTH FLOOR PLAN
 SCALE: 3/16"=1'-0"



Project Data Sheet
Greater Goethe Neighborhood Association
Zoning & Planning Committee
August 14, 2023

Project Name: **2429 W Fullerton, Chicago, Illinois**

Project Address: **2429 W Fullerton, Chicago, Illinois**

Proposed Zoning: **B2-3**

Developer/Owner: **SNSRG, LLC 2042 W. Belmont Chicago, IL 60618 info@snsrealtygroup.com
773-665-1900**

Architect: **Red Architects 2123 N. DAMEN AVE. CHICAGO, IL 60647 773.772.2756 info@red-arc.com**

Current Zoning: **B3-1**

Zoning of Adjacent Area: **B3-3, to the west on Fullerton, and RS-3 to the south on Campbell**

Proposed Variances: **Front and sides yards (see attached)**

Proposed Dwelling Units: **38 Dwelling units, 20 one-bedroom units, 16 two-bedroom units and 2 three-bedroom units.**

Lot Dimensions: **126.8' x 96.81'**

Lot Area: **12,250.15 sf**

Proposed Floor Area: **35,108 sf of new construction (not including garage)**

Building area excluded from FAR:**5,937 sf Garage, not included in FAR**

Green space: **The Building is set back 3 feet off of Fullerton, and 5.8 feet off of Campbell- this landscaped area will be approximately 728 sf, over 6% of the lot area. Note also that the building will also be set back 30' from the southern lot line. Even though "hardscape", this will constitute over 30% of the lot area.**

Proposed MLA: **The B2-3 District provides for one dwelling unit for every 300 sf of lot area. The lot is**

12,250 sf, so 40 units would be allowed in the B2-3 District. (We are proposing 38 units).

Allowed MLA: The current B3-1 District provides for one dwelling unit for every 2,500 sf of lot area. The lot is 12,250 sf, so 5 units would be allowed in the B3-1 District.

Proposed Parking: Because this is a “Transportation Oriented Development” property, 18 automobile parking spaces are required. We are proposing 18 parking spaces. We are also proposing 38 bicycle spaces and there is a Divvy Station on Campbell outside of our building.

Building Height Proposed: The main body of the building is 5 stories. There is a common area room on the first floor at the corner of Fullerton/Campbell- this room will be visible from the street. The building is 56’ in height.

Required Set Backs/Proposed Set Backs/Requested Variances: See attached and below

SETBACKS	FRONT: 50% OF ABUTTING R-ZONED LOT = 21.25' (NEIGHBORING R-ZONED LOT SETBACK) REAR: 30 FEET AT DWELLING UNIT FLOORS SIDE: RS-3 LOT REQUIREMENTS APPLY 20% LOT WIDTH (NEITHER SIDE LESS 8%)	FRONT: 10.63' REAR: 30 FT (REQUIRED; RESIDENTIAL) SIDE: 19.32' (COMBINED)	FRONT: 3.00' (REQUIRES VARIANCE) REAR: 30.03' RESIDENTIAL SIDE: 5.80' WEST 0.00' EAST 5.80' COMBINED
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Are there any existing buildings on site? Will any (or all) be demolished? **Property is vacant.**

Developer Qualifications: **See Powerpoint.**

Proposed Exterior Materials: **See Powerpoint**

Architectural Drawings: **Attached**

Ultimate property use and type of ownership: **Rental, to be retained by developer for long-term investment.**
