

NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 19 REAR OPEN PARKING PADS WITH BALCONIES (III-A CONSTRUCTION, R2 OCCUPANCY)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
2.01	Zoning District	ZONING MAP	R2	82-3		T1.0	
2.02	Zoning Uses	17-2-0105	Residential Occupancy			T1.0	
2.03	Lot Area	17-2-0301	12,250.15 SF	12,250.15 SF		T1.0	
2.04	Density	17-2-0303	300 S.F. Per D.U. 200 S.F. Per Eff. Unit	38 Dwelling Units		T1.0	Seeking M.A. Reduction for Transit Served Location. See TSL site plan.
2.05	Floor Area Ratio (FAR)	17-2-0304	4.0	49,000.60 Max		T1.0	Seeking FAR Increase for Transit Served Location and 100% Affordable On-site.
2.06	Total Floor Area	17-2-0305		35,108.28 SF		T1.0	
2.07	Building Height	17-2-0311	75'-0" Max	51'-0"		T1.0	Building height increase for TSL.
2.08	Setbacks						
2.09	Front	17-2-0305	Not Required	0.00'	3.00'	T1.0	
2.10	Rear	17-2-0306	30 FT Residential	30.00'		T1.0	
2.11	Side	17-2-0309	Not Required	0.00' Combined	8.80' West 0.00' East, 5.80' Combined	T1.0	
2.12	Rear Yard Open Space	17-2-0307	Not Required	N/A		T1.0	
2.13	Off Street Parking	17-2-0209	0.5' Dwelling Unit	19 Proposed		T1.0	50% Park. Reduction for Transit Oriented Dev. Variance to remove 1 loading space.
2.14	Plot of Survey	17-13-1502-B	Provided			T1.0	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
2.01	Occupancy Classification (a)	148-2-202	R2			T1	
2.02	Type of Construction	148-6-601	Type III-A			T1	
2.03	Req. F.R. of Fire Resistance	148-6-601				T1	
2.04	Primary Structural Frame	Table 601.1	1 hour (S)	Complies		A1	
2.05	Beaming Walls	Table 601.1		Complies		A1	
2.06	Interior	Table 601.1	2 hour (S)	Complies		A1	
2.07	Exterior	Table 601.1	1 hour (S)	Complies		A1	
2.08	Nonbearing Walls and Partitions - Ext	Table 601.1		Complies		A1	
2.09	Nonbearing Walls and Partitions - Int	Table 601.1	1 hour (S)	Complies		A1	
2.10	Four Corners & Associated Secondary Member	Table 601.1	1 hour (S)	Complies		A1	
2.11	Four Corners & Associated Secondary Member	Table 601.1	1/2 hour (S)	Complies		A1	
2.12	Basement Construction	148-6-605	non-combustible	Complies		A1	Exception taken for residential.
2.13	Fire and Smoke Protection Features	148-7-405				A1	
2.14	a) Exterior Wall Projections	Table 705.1.1				N/A	
2.15	b) Fire Stairs	148-7-705.11	fire rated per Table 602			N/A	30" high min. where required.
2.16	c) Fire Walls	148-7-706				N/A	4 hour rating where required.
2.17	d) Fire Barrier	Table 703.1.10				N/A	
2.18	e) Floor and Roof Assemblies	148-7-711	1 hour (S)	Complies		A1	Class A Fire resistive roof construction.
2.19	f) Penetrations	148-7-714		Complies		A1	fire stop at wall pipe floor penetrations < 9 1/8" R. area.
2.20	Interior Wall and Ctg. Finishes	148-08-603	Class 1	Class 1		N/A	A1
2.21	Fire Protection and Life Safety Systems	148-09-601				N/A	
2.22	a) Automatic Sprinkler Systems	148-09-603				N/A	
2.23	b) Alternative Automatic Fire-Extinguishing Systems	148-09-604				N/A	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
3.01	Type of Exit	148-10-1009.1	Enclosed	Complies		A1	
3.02	Minimum Number of Exits	148-10-1009	1 Exit	Provided		A1	
3.03	Common Path of Egress	Table 1009.2.1	60 ft max	Complies		A1	
3.04	Exit Access Travel Distance	Table 1011.2	200 ft max	Complies		A1	
3.05	a) Increases Permitted w/ Sprinklers	148-10-1011.2	250 ft max			N/A	
3.06	b) Dead End Corridor	148-10-1011.4	20 ft max	Complies		A1	
3.07	Minimum Width of Exits	148-10-1005.2	30"			A1	
3.08	Swing of Exits Doors	148-10-1011.2	Swing in	Complies		A1	Exception taken for residential.
3.09	Hardware	148-10-1011.9	No inside lock	Complies		A1	Thumb action deadbolt from inside provided.
3.10	Revolving Doors	148-10-1011.4.1				N/A	
3.11	Landings at Doors	148-10-1011.6	width not less than stairs	Complies		A1	
3.12	Stairways	148-10-1011	30" min. continuous handrails, 2'-8"	Complies		A1	
3.13	Stairway Construction	148-10-1011.7	combustible - protect underside - 1 hour	Complies		A1	
3.14	Stairway Head Room	148-10-1011.3	6'-8" min	Complies		A1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
1	Floor loads	23 148-23-2307	Live Loads: Floor 40 psf	Live Loads: Floor 40 psf		T1	
2	Foundations	18 Table 1806.2(1)	3,000 psf min	3,000 psf		T1	
3	Concrete Construction	19 148-18-1904	3,000psf @ 28 days	3,000psf @ 28 days		T1	ACI 318-83 governs (with City exceptions).
4	Masonry Construction	21 148-21-2101.2	TMS 402 TMS 403 or TMS 404	Contractor to comply w/ provisions		T1	
5	Steel and Metal Construction	22 148-22-2202.1	AISC 360	Contractor to comply w/ provisions		N/A	No structural steel work.
6	Wood Construction	23 148-23-2303	Grade stamps required	Grade stamps to be recorded on records.		T1, A2	
7	Wood Construction	23 148-23-2306	APA Plywood Design PDS - 88	APA Plywood Design PDS - 88		T1	Plywood used at corners of building for stiffness.

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
1	Ventilation Requirements	26 (13 - 118 - 010)(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13 - 180 - 040)
2	Heating Requirements	26 (13 - 180 - 010)(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13 - 180 - 040)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
1	Air Conditioning System	28 (13 - 180 - 010)(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13 - 180 - 040)

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1	New Waste System	29 (18 - 29)	Table 18 - 29 - 403.1	Complies		P-1	Comply with Code and Dept. of Sewers requirements.
2	New Water System	29 (18 - 29)	Table 18 - 29 - 403.1	Complies		P-1	Comply with Code and Dept. of Water requirements.

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
1	Relationship to Electrical System	Art. 200	18 (27)	18 - 27 - 210.11	Branch circuits provided	E-1	Licensed Electrician to comply with all Code provisions.
2	Branch Circuits	Art. 200	18 (27)	18 - 27 - 210.12	Art. 200.4 shall be installed on Branch circuits to bathrooms	E-1	
3	Required Outlets	Art. 200	18 (27)	18 - 27 - 210.50 thru 70	Provided	E-1	
4	Carbon Monoxide and Smoke	Art. 500	18 (27)	18 - 27 - 500.3	Provided	E-1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
NOT IN USE							

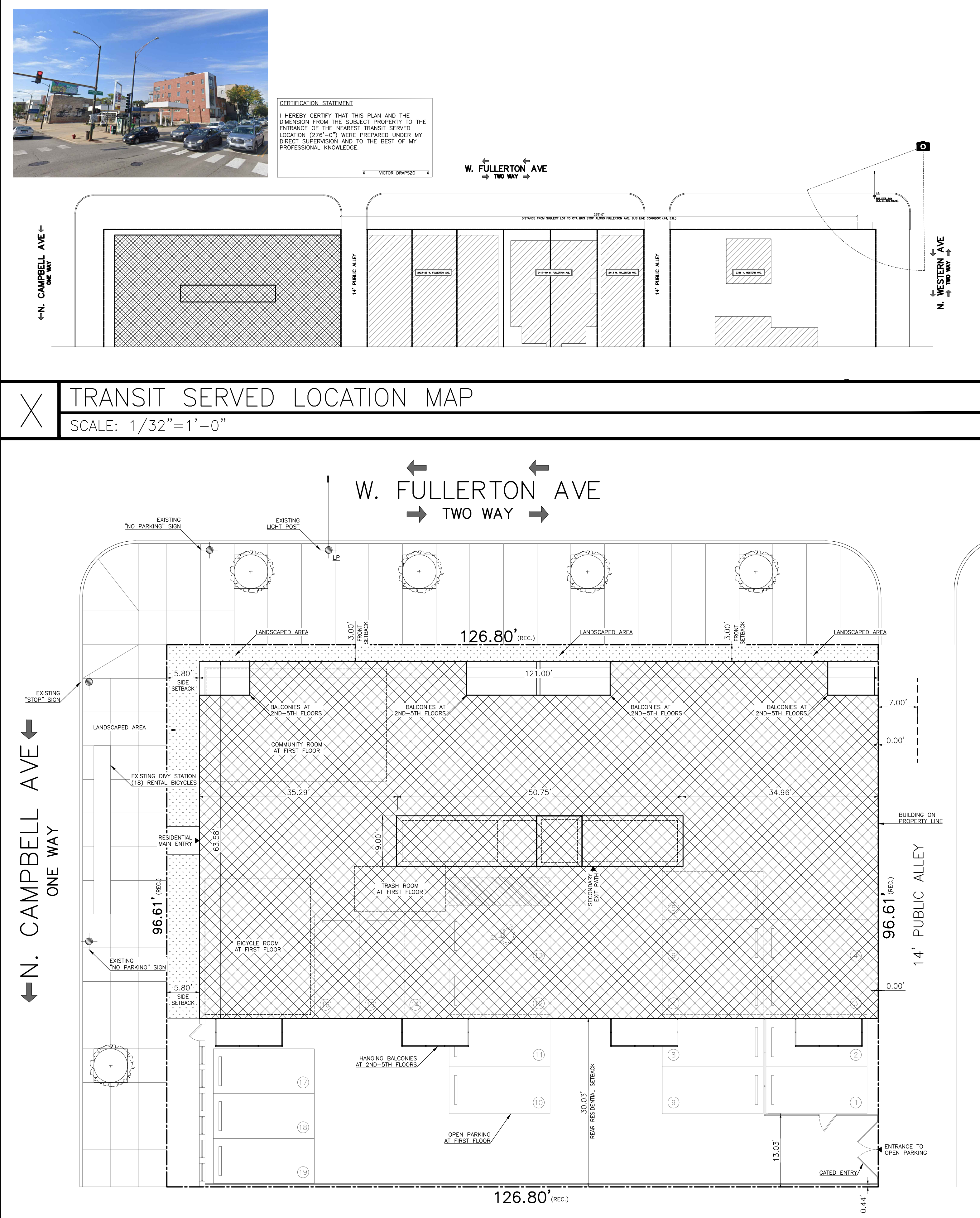
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NOT IN USE							

ORDINANCE REQUIREMENTS		BUILDING SPECIFICATIONS		MINIMUM LOT AREA CALCULATION		
ZONING	82-3			MAX PER UNITS PROPOSED	LOT AREA	
LOT AREA	126.80' x 96.61' = 12,250.15 S.F.			500 S.F. PER EFFICIENT UNIT	N/A	
DENSITY	300 S.F. (PER DWELLING UNIT) 200 S.F. (PER EFFICIENT UNIT) 1.30 S.F. (USE UNIT)	(SEE CALC.)	38 DWELLING UNITS (PROPOSED)	300 S.F. PER EFFICIENT UNIT	11,400 S.F.	
F.A.R.	12,250.15 SF x 3.50 F.A.R. MAXIMUM PER 17-2-0304 & 17-2-0305 = 42,875.53 S.F. MAX			30 S.F. PER EFFICIENT UNIT	10,500 S.F.	
BUILDING HEIGHT	LOT FRONTAGE OF 100 FT OR MORE	70'-0" MAX.	51'-0"	100 S.F. PER EFFICIENT UNIT	10,000 S.F.	
SETBACKS	FRONT: 30 FT (REQUIRED RESIDENTIAL) SIDE: 5.00' (REQUIRED RESIDENTIAL) REAR: 30 FT (REQUIRED RESIDENTIAL)	FRONT: 10.67' REAR: 30.00' RESIDENTIAL SIDE: 5.00' WEST 0.00' EAST 5.00' COMBINED		100 S.F. PER EFFICIENT UNIT	10,000 S.F.	
PARKING	0.5 SPACES PER DWELLING UNIT	19 AUTO (REQUIRED) 38 BICYCLE (REQUIRED)	19 AUTO (PROPOSED) 38 BICYCLE (PROPOSED)	100 S.F. PER EFFICIENT UNIT	10,000 S.F.	
PARKING REDUCTION PER 17-2-0209 & 17-2-0210 (SEE TSL) VARIANCE REQUIRED TO REMOVE LOADING ZONE REQUIREMENT						
DWELLING UNIT ANALYSIS						
FLOOR	# OF BEDROOMS	# PER FLOOR	QUANTITY	SQUARE FOOTAGE RANGE	TOTAL SQ. FOOTAGE PER UNIT TYPE PER FLOOR	TOTAL SQUARE FOOTAGE
FIRST FLOOR	TWO BEDROOM	1	1	1,222.38 SF	1,222.38 SF	1,222.38 SF
	THREE BEDROOM	1	1	1,282.19 SF	1,282.19 SF	1,282.19 SF
SECOND-FIFTH FLOOR	ONE BEDROOM	5	20	533.42, 575.91, 624.50	2,800.67 SF	26,410.20 SF
	TWO BEDROOM	4	16	745.61, 755.75, 1,144.73, 1,155.79	3,801.88 SF	
OVERALL TOTAL						28,914.77 SF

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
INDEX OF DRAWINGS							
SCALE: N.T.S.							

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ZONING DATA							
SCALE: N.T.S.							

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
SITE PLAN							
SCALE: 3/32" = 1'-0"							



CODE MATRIX, NOTES, & SITE PLAN

2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

- SCOPE OF WORK:**
NEW FIVE STORY MASONRY BUILDING WITH NFPA 13 SPRINKLER, 38 DWELLING UNITS, 19 REAR OPEN PARKING PADS WITH BALCONIES (III-A CONSTRUCTION, R2 OCCUPANCY);
- ERECT NEW FIVE STORY III-A CONSTRUCTION BUILDING.
 - INSTALL NEW PLUMBING FIXTURES, WITH NEW PLUMBING BRANCHES.
 - INSTALL NEW ELECTRICAL SUPPLY SYSTEM & WIRING.
 - INSTALL NEW HEATING SYSTEMS AND ASSOCIATED DUCTWORK AND VENTS.
 - PROVIDE 18 OPEN PARKING PADS
 - CONSTRUCT NEW BALCONIES

CERTIFICATION STATEMENT
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CHICAGO BUILDING CODE, 2019 - TITLE 14B

SIGNED _____ DATE: **09-19-2023**
EXPIRATION DATE: 11-30-2024

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR 2429-31 W FULLERTON AVE, CHICAGO IL FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE JUNE 1, 2019

SIGNED _____ DATE: **09-19-2023**
EXPIRATION DATE: 11-30-2024

SNS REALTY GROUP
2042 WEST BELMONT AVENUE
CHICAGO, ILLINOIS 60618
PHONE: (773) 665- 1900
EMAIL: INFO@SNSREALTYGROUP.COM

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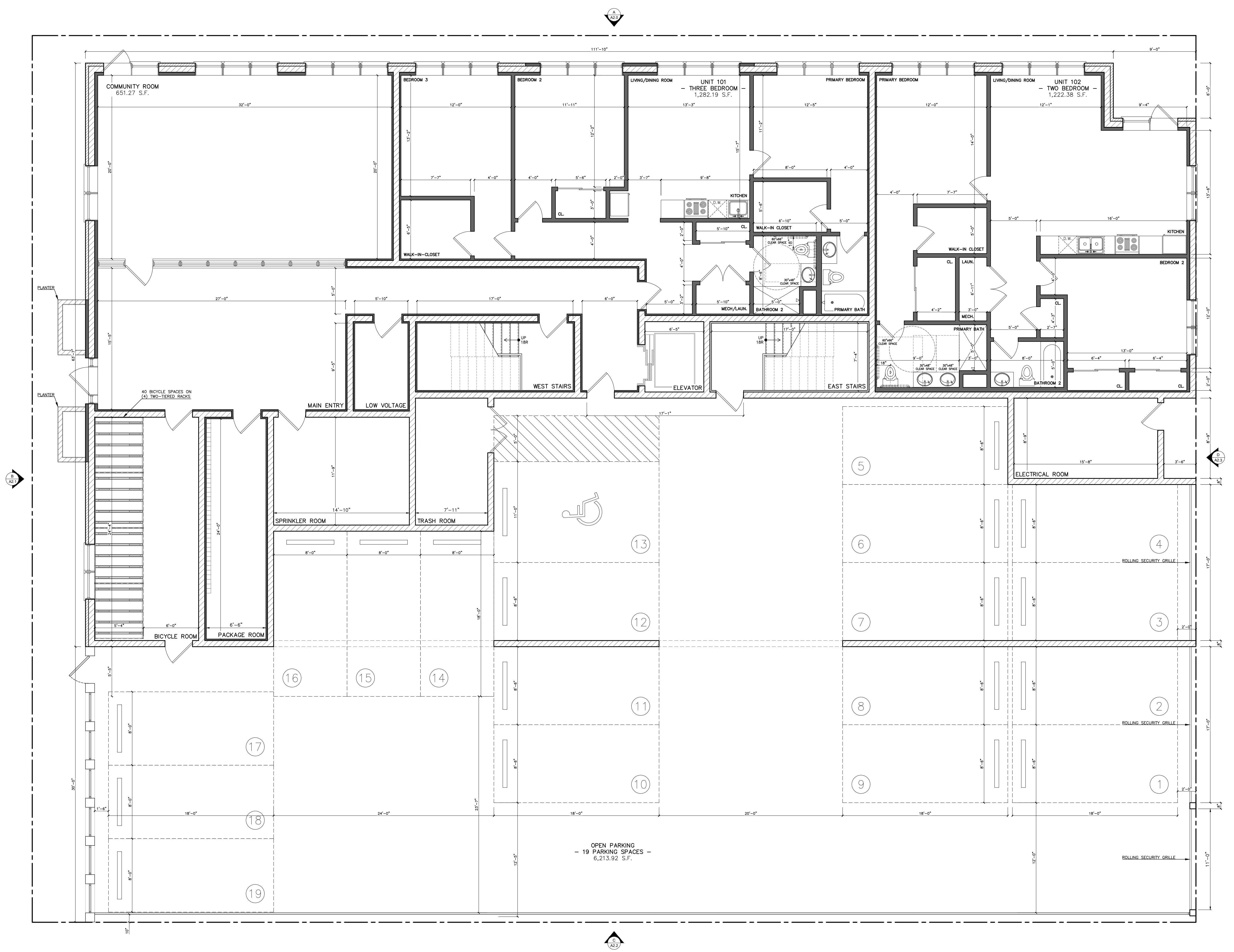


ARCHITECTURE PLANNING
ARCHITECTURAL ENGINEERING

PROJECT ADDRESS:
2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

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DRAWN BY: _____ DATE: _____
RV: _____ 09-19-2023

SHEET: **T1.0**
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1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"



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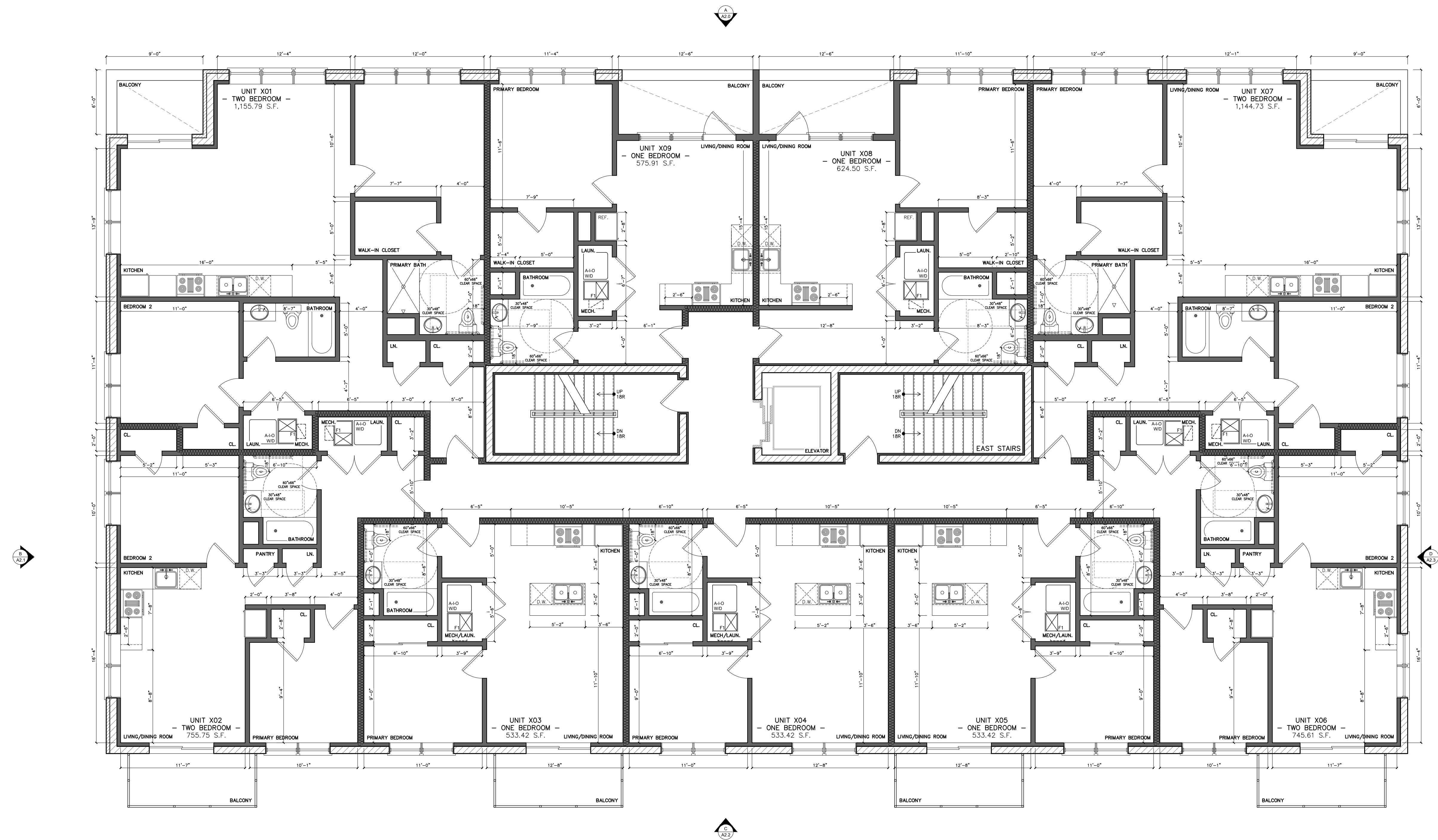
PROPOSED
 FLOOR PLAN

2429-31 W FULLERTON AVE
 CHICAGO, IL 60647

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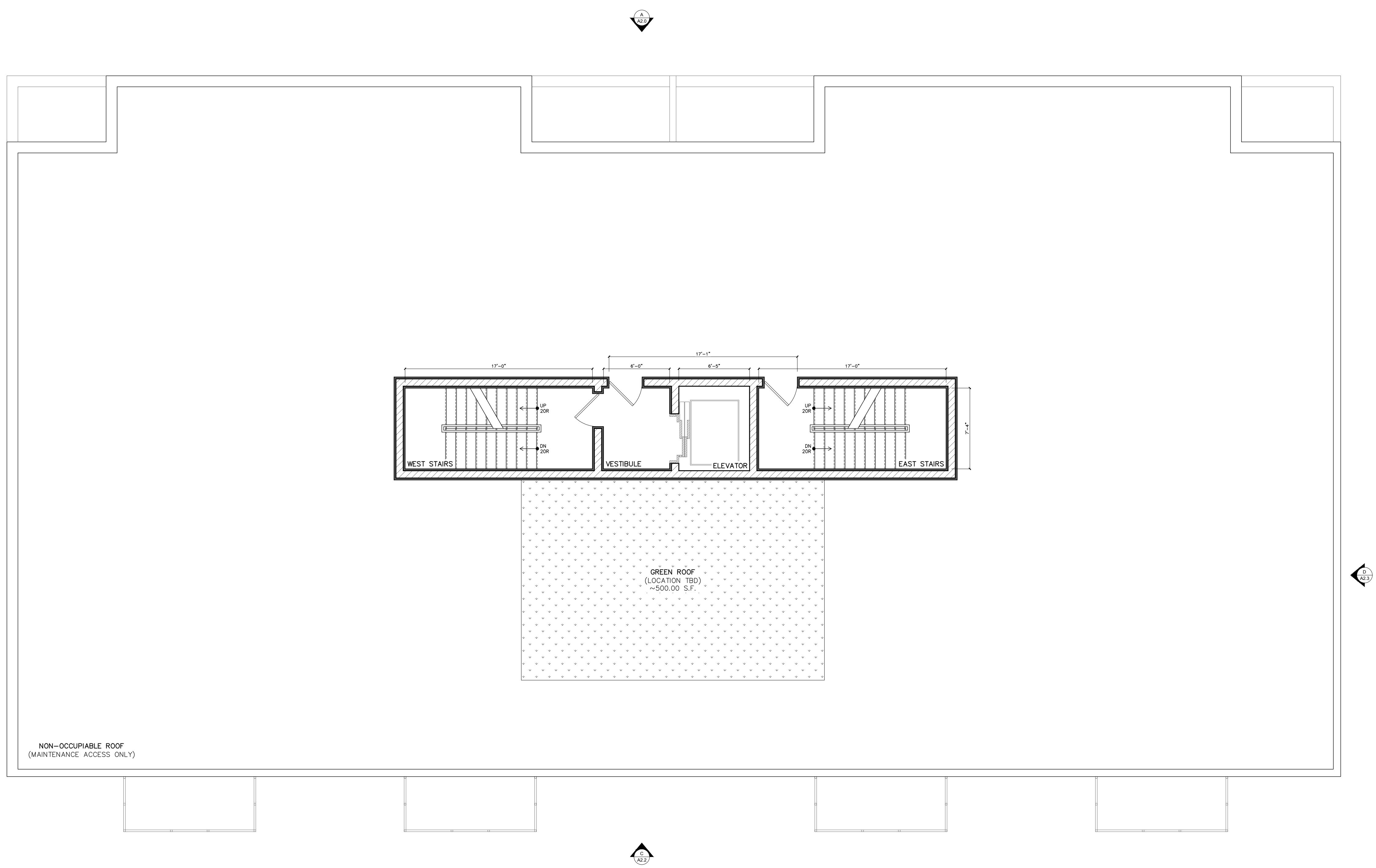
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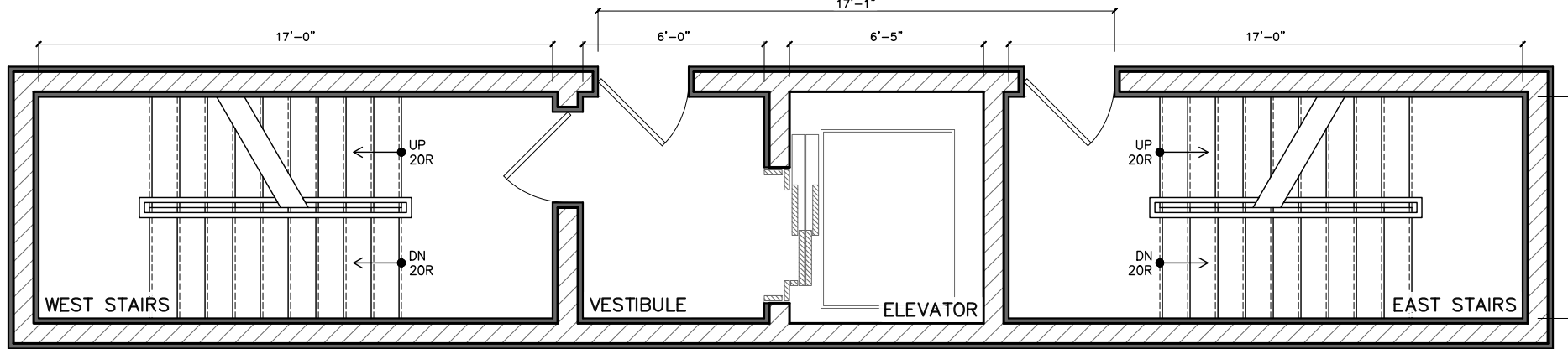
X TYPICAL RESIDENTIAL FLOOR PLAN
 SCALE: 3/16" = 1'-0"





NON-OCCUPIABLE ROOF
(MAINTENANCE ACCESS ONLY)

GREEN ROOF
(LOCATION TBD)
~500.00 S.F.



X ROOF PLAN
SCALE: 3/16" = 1'-0"



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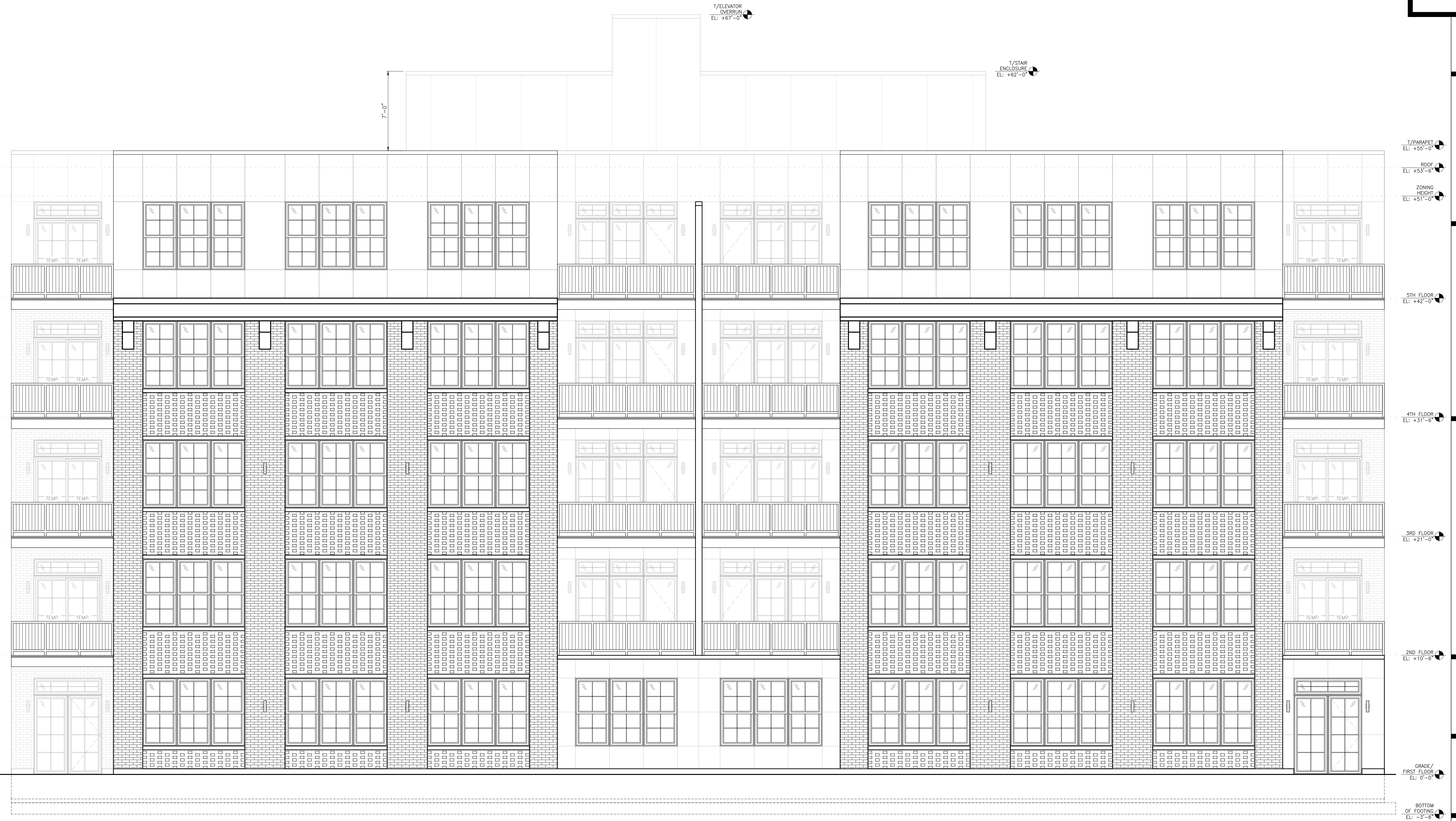
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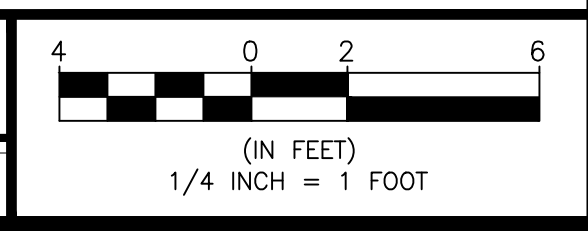
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A NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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2423-27 W. FULLERTON AVE

ALLEY

A

NORTH ELEVATION

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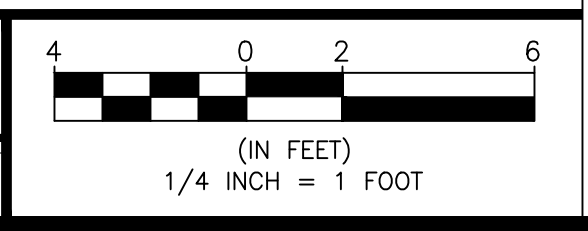
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B WEST ELEVATION
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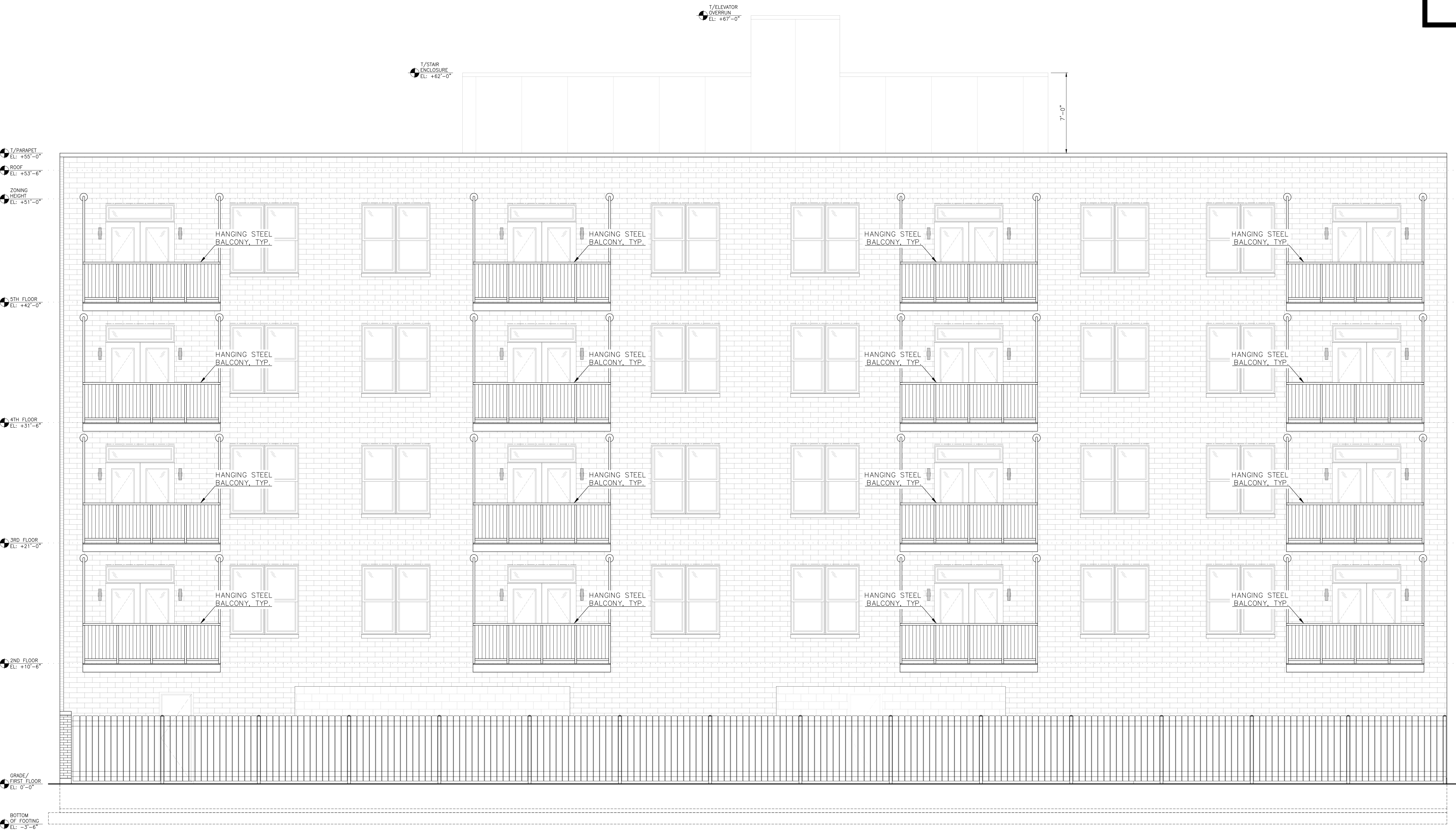
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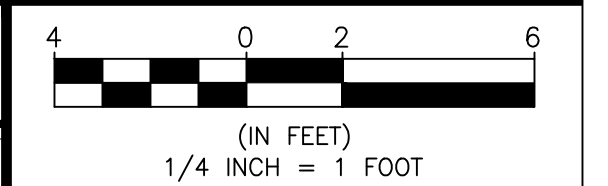


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C SOUTH ELEVATION
SCALE: 1/4" = 1'-0"





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**PROPOSED
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D EAST ELEVATION
 SCALE: 1/4" = 1'-0"

