

Project Data Sheet
Greater Goethe Neighborhood Association
Zoning & Planning Committee
March 13, 2023

Project Name: 2429 W Fullerton, Chicago, Illinois

Project Address: 2429 W Fullerton, Chicago, Illinois\

Proposed Zoning: B2-3

Developer/Owner: SNSRG, LLC 2042 W. Belmont Chicago, IL 60618 info@snsrealtygroup.com
773-665-1900

Architect: Red Architects 2123 N. DAMEN AVE. CHICAGO, IL 60647 773.772.2756 info@red-arc.com

Current Zoning: B3-1

Zoning of Adjacent Area: B3-3, to the west on Fullerton, and RS-3 to the south on Campbell

Proposed Variances: Front and sides yards (see attached)

Proposed Dwelling Units: 36 Dwelling units, 18 two-bedroom units and 18 one-bedroom units

Lot Dimensions: 126.8' x 96.81'

Lot Area: 12,250.15 sf

Proposed Floor Area: 37,551 sf of new construction (not including garage)

Building area excluded from FAR:5,937 sf Garage, not included in FAR

Green space: The Building is set back almost 8 feet off of Campbell- this landscaped area will be approximately 775 sf, over 6% of the lot area. Note also that the building will also be set back 30' from the southern lot line. Even though "hardscape", this will constitute over 30% of the lot area.

Proposed MLA: The B2-3 District provides for one dwelling unit for every 300 sf of lot area. The lot is 12,250 sf, so 40 units would be allowed in the B2-3 District. (We are proposing 36 units).

Allowed MLA: **The current B3-1 District provides for one dwelling unit for every 2,500 sf of lot area. The lot is 12,250 sf, so 5 units would be allowed in the B3-1 District.**

Proposed Parking: **Because this is a “Transportation Oriented Development” property, 18 automobile parking spaces are required. We are proposing 21 parking spaces. We are also proposing 36 bicycle spaces and there is a Divvy Station on Campbell outside of our building.**

Building Height Proposed: **The main body of the building is 4-1/2 stories (The first floor is a “half-story” below grade). There is a common area room on top of the main body of the building that is set back 13 or more feet from each of the building's elevations- this room should not be visible from the street. The building is 58’ to the top of its Fullerton and Campbell parapet walls, which is just a few feet higher than the typical four-story mixed-use buildings (the ceiling heights on the commercial floor of mixed-use buildings are typically higher than on residential floors).**

Required Set Backs/Proposed Set Backs/Requested Variances: **See attached and below**

SETBACKS	FRONT: 50% OF ABUTTING R-ZONED LOT = 21.25' (NEIGHBORING R-ZONED LOT SETBACK) REAR: 30 FEET AT DWELLING UNIT FLOORS SIDE: RS-3 LOT REQUIREMENTS APPLY 20% LOT WIDTH (NEITHER SIDE LESS 8%)	FRONT: 10.63' REAR: 30 FT (REQUIRED; RESIDENTIAL) SIDE: 19.32' (COMBINED)	FRONT: 7.80' (REQUIRES VARIANCE) REAR: 30.78' RESIDENTIAL SIDE: 0.00' NORTH (REQUIRES VARIANCE) 0.11' SOUTH (REQUIRES VARIANCE) 0.11' COMBINED (REQUIRES VARIANCE)
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Are there any existing buildings on site? Will any (or all) be demolished? **Property is vacant.**

Developer Qualifications: **See Powerpoint.**

Proposed Exterior Materials: **See Powerpoint**

Architectural Drawings: **Attached**

Ultimate property use and type of ownership: **Rental, to be retained by developer for long-term investment.**



2429 W. FULLERTON



*We are a neighborhood Developer and have been developing on the northside for 25 years.
Past projects include:*

- 2505 North Milwaukee 18-unit mixed use
- 2133 North Campbell 8-unit residential building
- 1841 N California- 14-unit residential building
- 2031-2041 W Pierce-16-Unit residential development

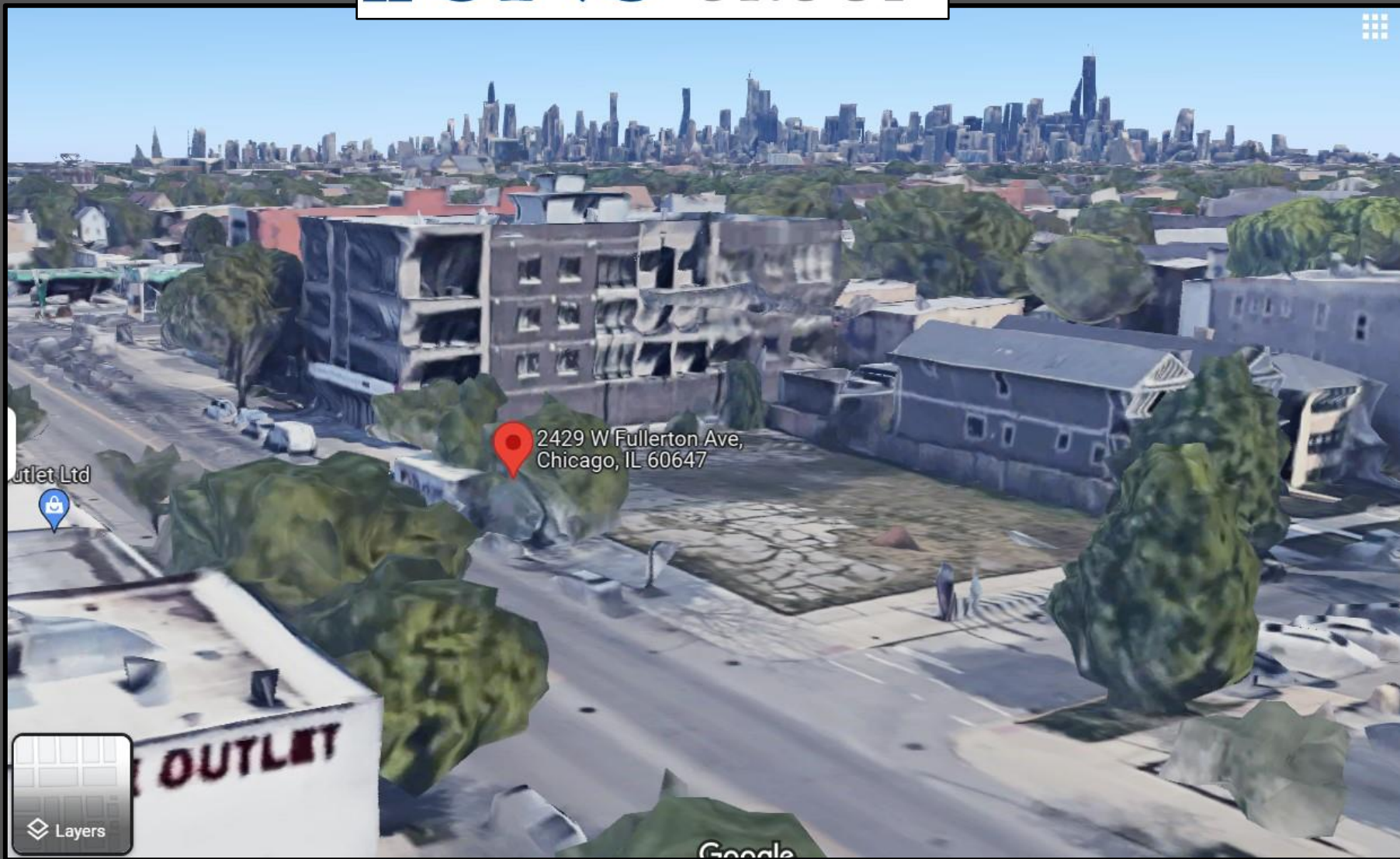


- 4201 N Lincoln- 12-unit mixed-use building
- 1301 W Belmont- 16-unit townhome development
- 2040 W. Belmont- 24-unit mixed use building

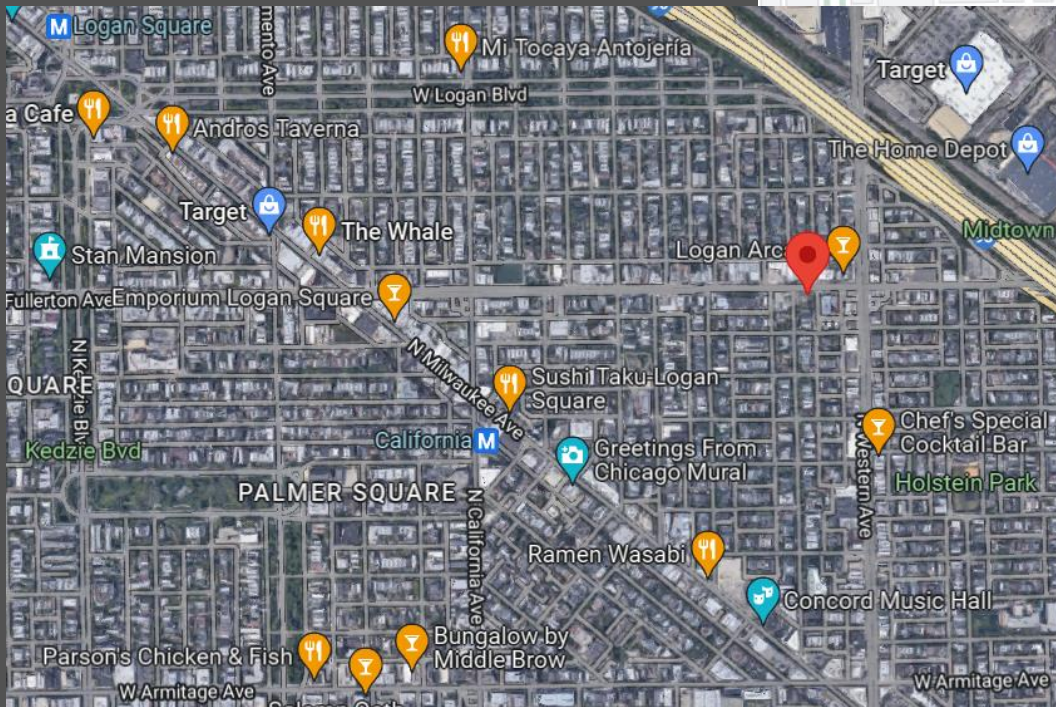
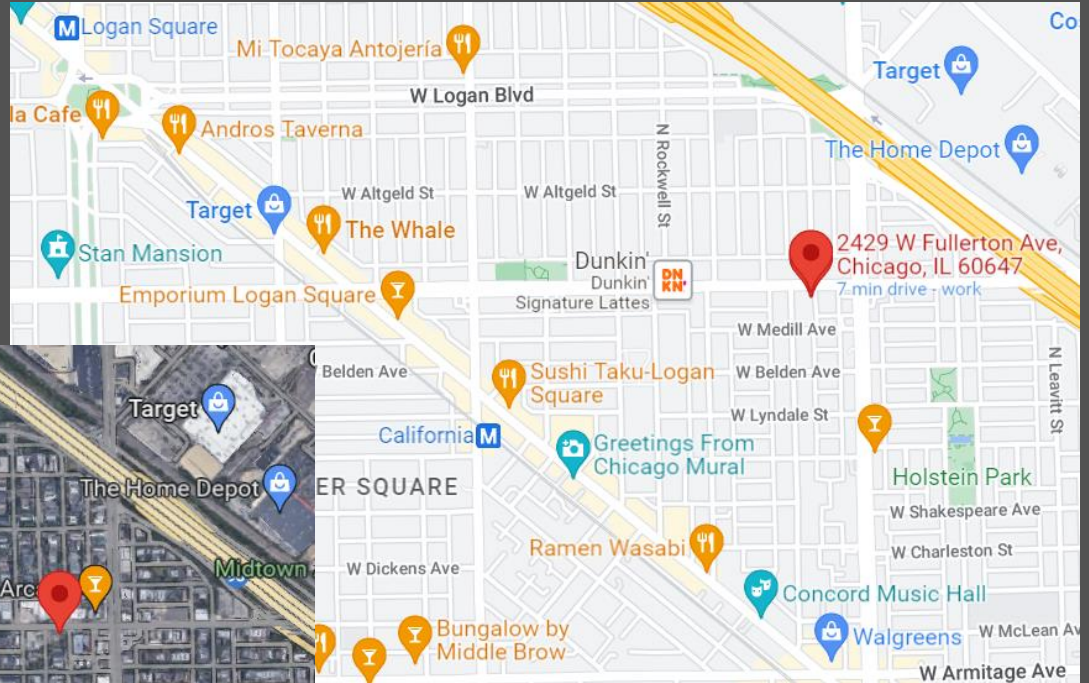


- 1138 W. Belmont- 40-unit mixed use building
- 4010 N Lincoln- 24-unit mixed-use building
- 5201 N Lincoln-- 36-unit mixed-use building
- 3259 N Ashland- 18-unit mixed

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2429 W. FULLERTON

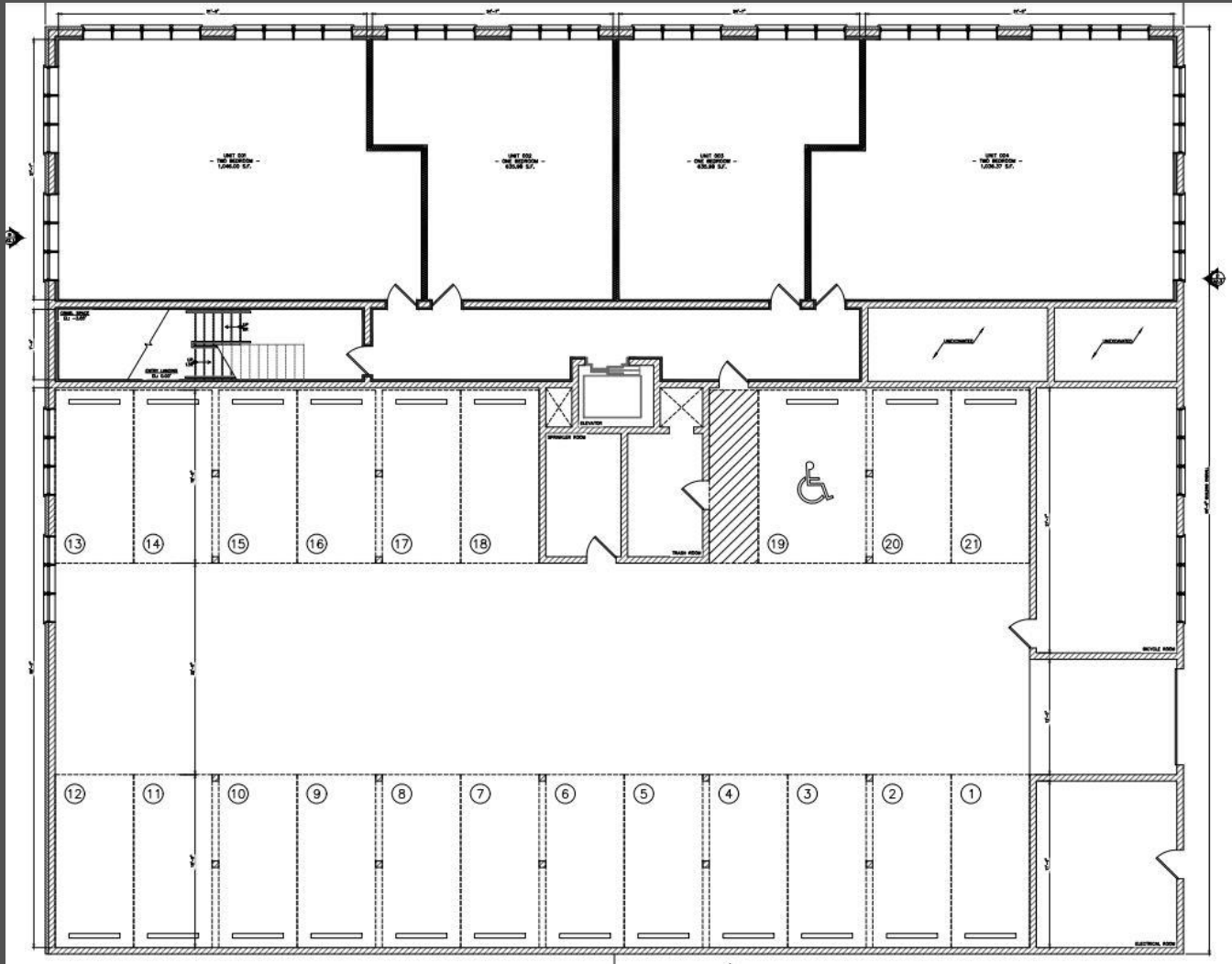


LOCATION

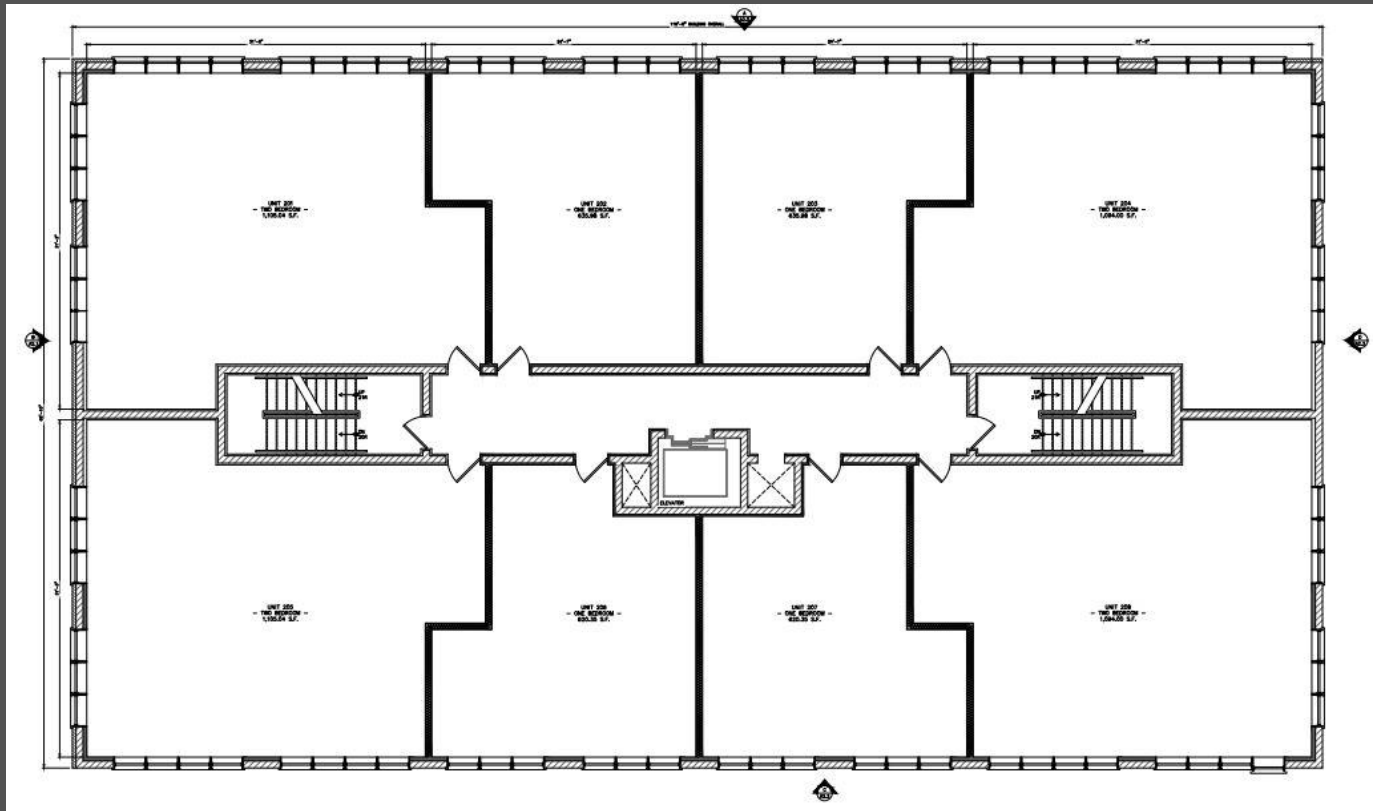


- New Construction Residential Elevator Building
- 36 Residential Units
- 7 Affordable Units and 29 Market Rate Units
- 18 two-bedroom units and 18 one-bedroom units
- No Commercial Space
- 21 Parking Spaces
- Dedicated Bicycle Room for 39 Bicycles

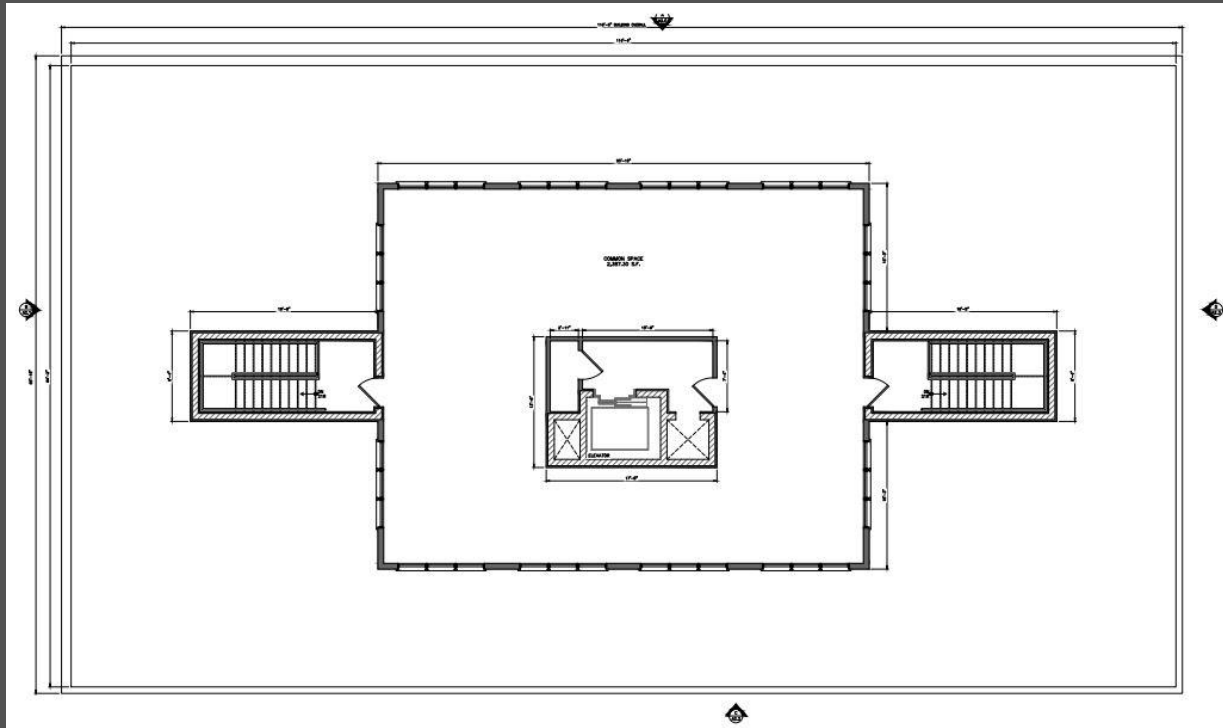
PROJECT SUMMARY



FIRST FLOOR













RESIDENTIAL FLOORS



TOP FLOOR

		ORDINANCE REQUIREMENTS	BUILDING SPECIFICATIONS		
ZONING	B2-3				
LOT AREA	126.80' X 96.61' = 12,250.15 S.F.				
DENSITY	300 S.F. (PER DWELLING UNIT) 200 S.F. (PER EFFICIENCY UNIT) 135 S.F. (SRD UNIT) <small>PER 17-3-0402-B MLA REDUCTION FOR TSL</small>	(SEE CALC.)	36 DWELLING UNITS (PROPOSED)		
F.A.R.	12,250.15 SF x 3.50 <small>PER 17-3-0403-B & 17-3-0403-C F.A.R. INCREASE FOR TSL AND 50% REQUIRED AFFORDABLE UNITS ON-SITE</small> = 42,875.53 S.F. MAX		GARAGE = 5,854.56 S.F. (NOT COUNTED) BASEMENT = 5,071.38 S.F. FIRST FLOOR = 7,675.33 S.F. SECOND FLOOR = 7,675.33 S.F. THIRD FLOOR = 7,675.33 S.F. FOURTH FLOOR = 7,675.33 S.F. FIFTH FLOOR = 2,387.30 S.F. TOTAL = 38,160.00 S.F.		
BUILDING HEIGHT	LOT FRONTAGE OF 100 FT OR MORE <small>17-3-0408-B BUILDING HEIGHT INCREASE FOR TSL</small>	70'-0" MAX.	64'-6"		
SETBACKS	FRONT: 50% OF ABUTTING R-ZONED LOT = 21.25' (NEIGHBORING R-ZONED LOT SETBACK) REAR: 30 FEET AT DWELLING UNIT FLOORS SIDE: RS-3 LOT REQUIREMENTS APPLY 20% LOT WIDTH (NEITHER SIDE LESS 8%)	FRONT: 10.63' REAR: 30 FT (REQUIRED; RESIDENTIAL) SIDE: 19.32' (COMBINED)	FRONT: 7.80' (REQUIRES VARIANCE) REAR: 3.00' RESIDENTIAL AND BUILDING SIDE: 0.00' NORTH (REQUIRES VARIANCE) 0.11' SOUTH (REQUIRES VARIANCE) 0.11' COMBINED (REQUIRES VARIANCE)		
PARKING	<table border="1"> <tr> <td>(AUTOMOBILE) 1 SPACE PER DWELLING UNIT</td> <td>(BICYCLE) 1 SPACE PER 2 AUTO SPACES</td> </tr> </table>	(AUTOMOBILE) 1 SPACE PER DWELLING UNIT	(BICYCLE) 1 SPACE PER 2 AUTO SPACES	18 AUTO (REQUIRED) 39 BICYCLE (REQUIRED)	21 CAR ATTACHED GARAGE 39 BICYCLE PARKING (PROPOSED)
(AUTOMOBILE) 1 SPACE PER DWELLING UNIT	(BICYCLE) 1 SPACE PER 2 AUTO SPACES				
	PARKING REDUCTION <small>PER 17-10-0102-B1-4, MINIMUM OFF-STREET AUTOMOBILE PARKING RATIOS FOR RESIDENTIAL USES MAY BE REDUCED BY UP TO 50%</small>	ADDITIONAL BICYCLES <small>2 SPACES FOR EVERY AUTOMOBILE PARKING REMOVED BY TSL REDUCTION</small>	BICYCLE REDUCTION <small>*POSSIBLE TO PAY FEE IN LIEU OF PROVIDING BICYCLE PARKING DUE TO DRIVE STATION BEING DIRECTLY ADJACENT TO PROPOSED SITE*</small>		

MINIMUM LOT AREA CALCULATION PER 17-3-0402-B (MLA REDUCTION FOR TRANSIT SERVED LOCATIONS)	
MLA PER UNIT/D.U. PROPOSED	LOT AREA
200 S.F. PER EFFICIENCY UNIT 0 D.U. PROPOSED	N/A
300 S.F. PER DWELLING UNIT 36 D.U. PROPOSED	10,800 S.F.
	10,800 S.F. TOTAL PROPOSED
10,800.0 S.F. < 12,250.15 S.F. (PROPOSED) (AVAILABLE)	
36 D.U. PROPOSED	

LEGEND	
	NEW STRUCTURE
	PAVEMENT
	GRASS AREA
	REAR YARD OPEN SPACE
	PROPERTY LINE
	6'-0" METAL FENCE
	METAL FENCE GATE
	LAMP POST
	TREE
	BUILDING ENTRY

ZONING SUMMARY



- **Southern Set Back.** Building is set back 30 feet from the southern property line
- **Building Height.** 4.5 Story Building with Set-back Fifth Floor Common Area Room.
 - Front elevation is 58' to the top of the parapet wall
 - A typical four-story mixed-use building with first floor retail is 53' to the top of the parapet wall
 - Proposed building is 5' taller than a typical four-story mixed-use building

Addressing Community Concerns



4024 NORTH LINCOLN- SIMILAR EXTERIOR MATERIALS

- Endicott Desert Ironspot Light
- Hardieboard in Cobblestone
- Black Windows



Typical Finishes-
Pictures From Other SNS Developments



 **SNS** REALTY
GROUP

NEW FIVE STORY MASONRY BUILDING WITH BASEMENT, 36 DWELLING UNITS, 21 CAR ATTACHED GARAGE WITH ROOF DECK AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
Z.01	Zoning District	ZONING MAP	RS-3	RS-3		T1.0	
Z.02	Zoning Uses	17-2-0105	Residential Occupancy			T1.0	
Z.03	Lot Area	17-2-0301	12,250.15 SF	12,250.15 SF		T1.0	
Z.04	Density	17-2-0303	36 Dwell. Units	36 Dwell. Units		T1.0	Seeking M.A. Reduction for Transit Served Location. See T.S.I. site plan.
Z.05	Floor Area Ratio (FAR)	17-2-0304	42.87553 Max	42.87553 Max		T1.0	Seeking FAR Increase for Transit Served Location and 50% Affordable Dw. Unit.
Z.06	Total Floor Area	17-2-0305		37,851.65 SF		T1.0	
Z.07	Building Height	17-2-0311	70'-0" Max	64'-6"		T1.0	Building height increase for T.S.I.
Z.08	Front Setback	17-2-0305	10.63'	7.80'		T1.0	Seeking variance for setback reduction
Z.09	Rear Setback	17-2-0306	30.78'	30.78'		T1.0	Seeking variance for setback reduction
Z.10	Side Setback	17-2-0309	19.32' Combined	0.11' South, 0.11' Combined		T1.0	Seeking variance for setback reduction
Z.11	Rear Yard Open Space	17-2-0307	Not Required	Not Required	N/A	T1.0	
Z.12	Off Street Parking	17-2-0309	18 Required	20 Proposed		T1.0	50% Park. Reduction for Transit Oriented Dev.
Z.13	Plot of Survey	17-13-1502-B	Provided			T1.0	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
2.01	Occupancy Classification (a)	14B-6-303	R-2			T1	
2.02	Type of Construction	14B-6-401	Type III-A			T1	
2.03	Fire Resistance	14B-6-401	1 hour (a)	Complies		A1	
2.04	Fire Protection	14B-6-401	Complies			A1	
2.05	Fire Alarm	14B-6-401	Complies			A1	
2.06	Fire Escape	14B-6-401	Complies			A1	
2.07	Fire and Smoke Protection Features	14B-6-405	Complies			A1	Exception taken for residential
2.08	Interior Wall and Ctg. Finishes	14B-6-803	Class 1	Class 1		A1	
2.09	Fire Protection and Life Safety Systems	14B-6-901	Complies			A1	
2.10	Automatic Sprinkler Systems	14B-6-903	N/A			A1	
2.11	Alternative Automatic Fire-Extinguishing Systems	14B-6-904	N/A			A1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
3.01	Type of Exit	14B-10-1009.1	Encompass	Complies		A1	
3.02	Minimum Number of Exits	14B-10-1006	1 Exit	Provided		A1	
3.03	Common Path of Egress	Table 1009.2.1	60 ft max	Complies		A1	
3.04	Exit Access Travel Distance	Table 1011.2	200 ft max	Complies		A1	
3.05	Exit Access Permitted w/ Sprinklers	14B-10-1017.2	250 ft max	N/A		A1	
3.06	Dead End Corridor	14B-10-1009.4	20 ft max	Complies		A1	
3.07	Minimum Width of Exits	14B-10-1005.2	30"	Complies		A1	
3.08	Swing of Exits Doors	14B-10-1010.1.2	No inside lock	Complies		A1	Exception taken for residential
3.09	Hardware	14B-10-1010.1.9	No inside lock	Complies		A1	Thumb actuator deadbolt from inside provided
3.10	Revolving Doors	14B-10-1010.1.4.1		N/A		A1	
3.11	Landings at Doors	14B-10-1010.1.6	width not less than stair	Complies		A1	
3.12	Stairways	14B-10-1011	30" min. continuous handrails, 2'-8"	Complies		A1	
3.13	Stairway Construction	14B-10-1011.7	combustible - protect underside - 1 hour	Complies		A1	
3.14	Stairway Head Room	14B-10-1011.3	6'-8" min	Complies		A1	

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
4.01	Floor loads	14B-23-2307	Live Loads: Floor 40 psf	Live Loads: Floor 40 psf		T1	
4.02	Foundations	Table 1806.2(1)	3,000 psf min	3,000 psf		T1	
4.03	Concrete Construction	14B-18-1904	3,000psf @ 28 days	3,000psf @ 28 days		T1	ACI 318-83 governs (with City exceptions)
4.04	Masonry Construction	14B-21-2101.2	TMS 402 TMS 403 or TMS 404	Contractor to comply w/ provisions		T1	
4.05	Steel and Metal Construction	14B-22-2202.1	AISC 360	Contractor to comply w/ provisions		T1, A2	No structural steel work
4.06	Wood Construction	14B-23-2303	Grade stamps required	Grade stamps to be recorded on project		T1	
4.07	Wood Construction	14B-23-2306	APA Plywood Design PDS - 88	APA Plywood Design PDS - 88		T1	Plywood used at corners of building for stiffness

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
5.01	Ventilation Requirements	13-1-116-010(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13-180-040)
5.02	Heating Requirements	13-1-180-010(A)	Per Table	Complies		M-1	Contractor to comply with requirements of 28(13-180-040)

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
6.01	New Waste System	18-29-403.1	Complies			P-1	Comply with Code and Dept. of Sewers requirements
6.02	New Water System	18-29-403.1	Complies			P-1	Comply with Code and Dept. of Water requirements

ITEM	SUBJECT	CODE REFERENCE	ORDINANCE REQUIREMENT	ACTUAL	PROPOSED	SHEET	REMARKS
7.01	Branch Circuits	18-27-210.11	Branch circuits provided			E-1	Licensed Electrician to comply with all Code provisions
7.02	Required Outlets	18-27-210.30 thru 70	Provided			E-1	
7.03	Carbon Monoxide and Smoke	18-27-560.3	Provided			E-1	

CODE MATRIX

SCALE: N.T.S.

NOT IN USE

SCALE: N.T.S.

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T1.1 SITE PLAN
T1.2 TRANSIT SERVED LOCATION PLAN
L1.0 LANDSCAPE PLANS
L1.1 LANDSCAPE DETAILS
A0.1 ACCESSIBILITY NOTES, SCHEDULES AND DIAGRAMS
A0.2 ENLARGED UNIT BATHROOMS AND KITCHENS
A1.0 PROPOSED FLOOR PLANS
A1.1 PROPOSED FLOOR PLANS
A1.2 PROPOSED FLOOR PLANS
A1.4 PROPOSED FLOOR PLANS
A1.5 PARTIAL ROOF PLAN AND DOOR SCHEDULES
A2.0 PROPOSED ELEVATION
A2.1 PROPOSED ELEVATION
A2.2 PROPOSED ELEVATION
A2.3 PROPOSED ELEVATION
A3.0 WALL TYPES AND TYPICAL DETAILS
A3.1 BUILDING SECTIONS
M1.0 MECHANICAL PLANS
M1.1 MECHANICAL PLANS
M1.2 MECHANICAL PLANS
M2.0 MECHANICAL SCHEDULES, WINDOW SCHEDULES, DIAGRAMS AND NOTES
E1.0 ELECTRICAL PLANS
E1.1 ELECTRICAL PLANS
E1.2 ELECTRICAL PLANS
E1.3 ELECTRICAL PLANS
E1.4 ELECTRICAL PLANS
E2.0 ELECTRICAL CALCULATIONS, DIAGRAMS AND NOTES
P1.0 PLUMBING DIAGRAMS, CALCULATION AND NOTES

ZONING	ORDINANCE REQUIREMENTS	BUILDING SPECIFICATIONS	MINIMUM LOT AREA CALCULATION
ZONING	RS-3		126.80' x 96.61' = 12,250.15 S.F.
LOT AREA	126.80' x 96.61' = 12,250.15 S.F.		
DENSITY	300 S.F. (PER DWELLING UNIT) 200 S.F. (PER EFFICIENCY UNIT) 135 S.F. (PER UNIT)	(SEE CALC.) 36 DWELLING UNITS (PROPOSED)	
F.A.R.	12,250.15 SF x 3.50 F.A.R. INCREASE FOR 20 AND 50% AFFORDABLE DWELLING UNITS ON-SITE = 42,875.53 S.F. MAX		
BUILDING HEIGHT	LOT FRONTAGE OF 100 FT OR MORE 17-2-0311-8 BUILDING HEIGHT INCREASE FOR T.S.I.	70'-0" MAX. 64'-6"	
SETBACKS	FRONT: 30 FT AT DWELLING UNIT FLOOR REAR: 30 FT AT DWELLING UNIT FLOOR SIDE: 18.32' (COMBINED) FOR 17-2-0309-8 MAX REDUCTION FOR T.S.I.	FRONT: 7.80' (REQUIRES VARIANCE) REAR: 30.78' RESIDENTIAL SIDE: 0.00' NORTH (REQUIRES VARIANCE) 0.11' SOUTH (REQUIRES VARIANCE) 0.11' CORNER (REQUIRES VARIANCE) TOTAL: 37,851.65 S.F.	
PARKING	(REQUIRED) 1 SPACE PER DWELLING UNIT FOR 17-2-0309-8 MAX REDUCTION FOR T.S.I.	18 AUTO (REQUIRED) 36 BICYCLE (REQUIRED) 21 SPACES PROPOSED 39 BICYCLE PARKING (LOCATED IN GARAGE)	

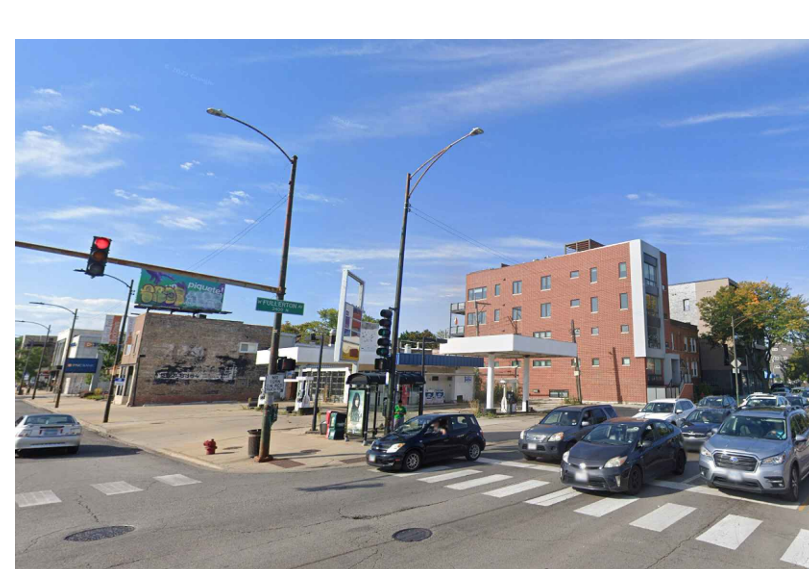
FLOOR	# OF BEDROOMS	# PER FLOOR	QUANTITY	SQUARE FOOTAGE RANGE	TOTAL SQUARE FOOTAGE PER UNIT TYPE	TOTAL SQUARE FOOTAGE
BASEMENT	ONE BEDROOM	2	2	640.61 SF	1,281.22 SF	3,363.98 SF
FIRST FLOOR	TWO BEDROOM	2	2	1,041.38 SF	2,082.76 SF	6,598.78 SF
SECOND-FOURTH FLOOR	ONE BEDROOM	4	12	596.61-640.61	2,474.44 SF	20,479.59 SF
	TWO BEDROOM	4	12	1,020.86, 1,030.36, 1,031.74, 1,041.38	4,124.34 SF	
	TWO BEDROOM	4	12	596.61-640.61	2,474.44 SF	
	TWO BEDROOM	4	12	1,077.09, 1,087.98, 1,088.00, 1,099.02	4,352.09 SF	
OVERALL TOTAL			36 UNITS			30,442.35 SF

INDEX OF DRAWINGS

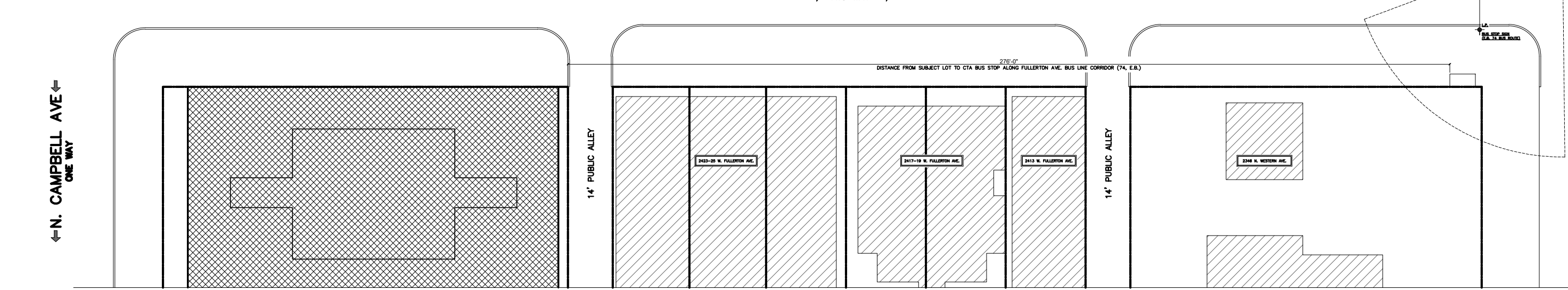
SCALE: N.T.S.

ZONING DATA

SCALE: N.T.S.



CERTIFICATION STATEMENT
I HEREBY CERTIFY THAT THIS PLAN AND THE DIMENSION FROM THE SUBJECT PROPERTY TO THE ENTRANCE OF THE NEAREST TRANSIT SERVED LOCATION (276'-0") WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE.

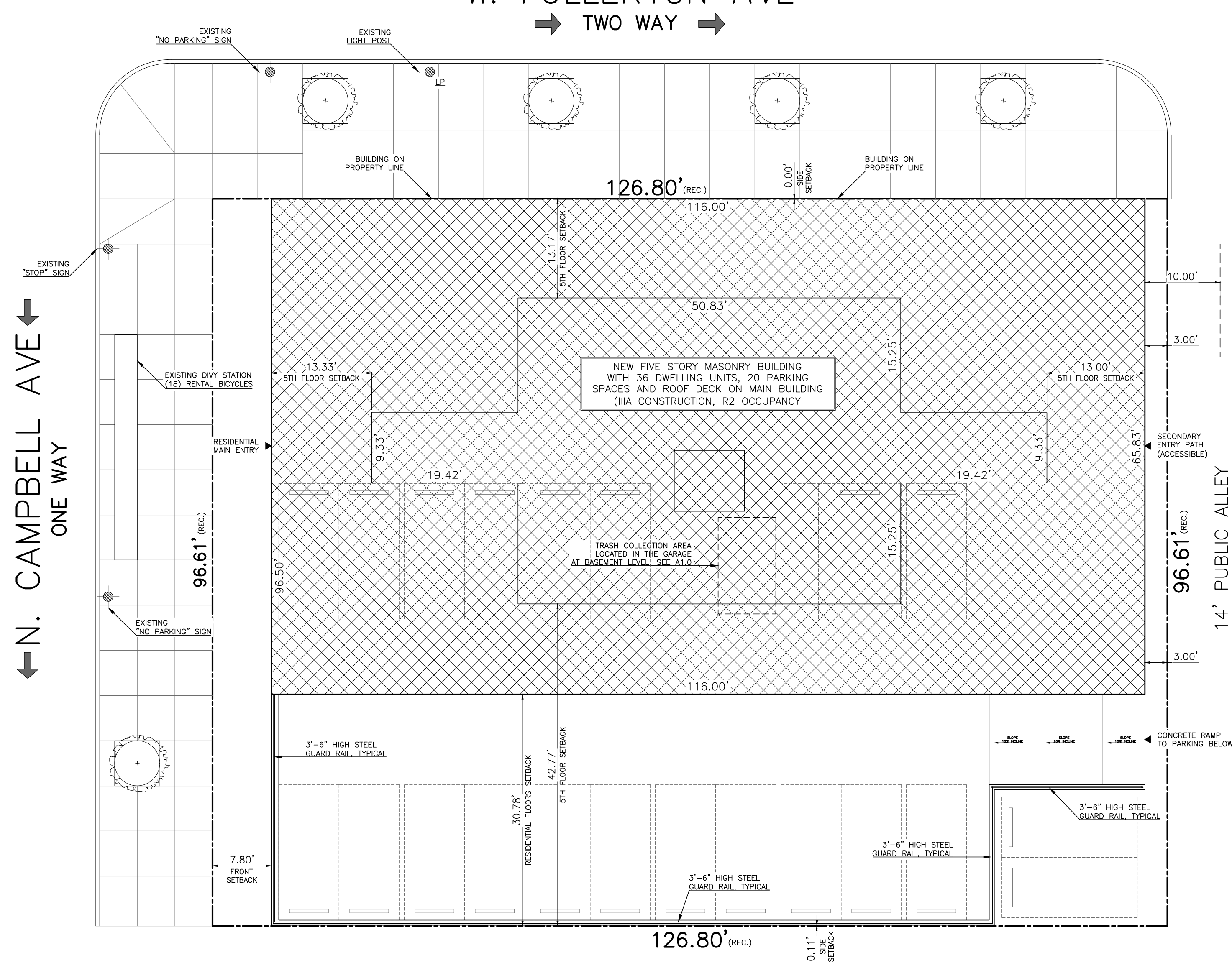


NOT IN USE

SCALE: N.T.S.

TRANSIT SERVED LOCATION MAP

SCALE: 1/32" = 1'-0"



1 SITE PLAN

SCALE: 3/32" = 1'-0"

CODE MATRIX, NOTES, & SITE PLAN

2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

SCOPE OF WORK:
NEW SIX STORY MASONRY BUILDING WITH 47 DWELLING UNITS, 16 CAR ATTACHED GARAGE WITH ROOF DECK AND ROOF DECK ON MAIN BUILDING (III-A CONSTRUCTION, R2 OCCUPANCY);
1. ERECT NEW SIX STORY III-A CONSTRUCTION BUILDING.
2. INSTALL NEW PLUMBING FIXTURES, WITH NEW PLUMBING BRANCHES.
3. INSTALL NEW ELECTRICAL SUPPLY SYSTEM & WIRING.
4. INSTALL NEW HEATING SYSTEMS AND ASSOCIATED DUCTWORK AND VENTS.
5. PROVIDE 16 CAR ATTACHED GARAGE.
6. CONSTRUCT NEW ROOF DECK ON GARAGE AND MAIN BUILDING.

CERTIFICATION STATEMENT
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CHICAGO BUILDING CODE, 2019 - TITLE 14B

SIGNED _____ DATE: 01-16-2023
EXPIRATION DATE: 11-30-2024

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR 2429-31 W FULLERTON AVE, CHICAGO, IL FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE JUNE 1, 2019

SIGNED _____ DATE: 01-16-2023
EXPIRATION DATE: 11-30-2024

SNS REALTY GROUP
2042 WEST BELMONT AVENUE
CHICAGO, ILLINOIS 60618
PHONE: (773) 665-1900
EMAIL: INFO@SNSREALTYGROUP.COM

2123 N. Damen Ave.
Chicago, IL 60647
773 772 2756 office
773 772 2854 fax

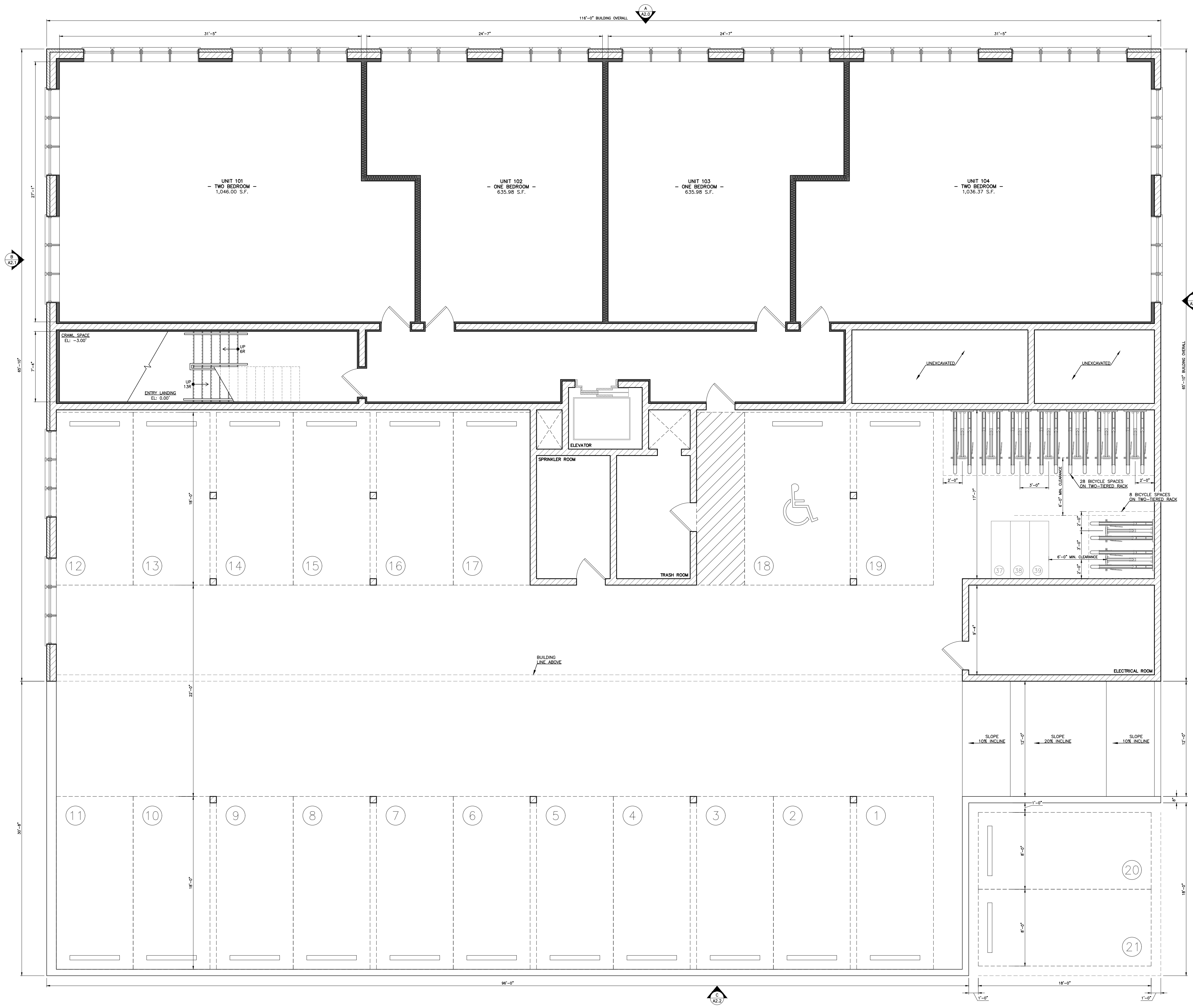
ARCHITECTS

ARCHITECTURE
PLANNING
ARCHITECTURAL ENGINEERING

PROJECT ADDRESS:
2429-31 W. FULLERTON AVE.
CHICAGO, IL 60647

CHECKED BY: _____ SCALE: _____
DRAWN BY: _____ SCALE: _____
DATE: _____ DATE: _____
RV 01-16-2023 PAGE: X OF XX

T1.0



REVISIONS:
 CHECKED BY: V.D.
 DRAWN BY: R.V.

**PROPOSED
 FLOOR PLAN**

**2429-31 W. FULLERTON AVE.
 CHICAGO, IL 60647**

2123 N. Damen Ave.
 Chicago, IL 60647
RECTS
 773.772.2756 office
 773.772.2854 fax
ARCHITECTS
 PLANNING
 ARCHITECTURAL ENGINEERING

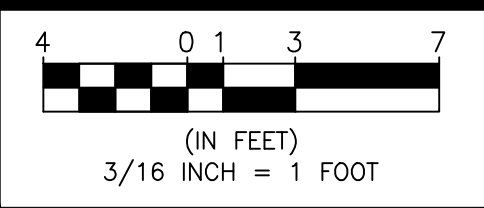
PROJECT:
 2429-31 FULLERTON AVE
 CHICAGO, IL 60647
 SCALE:
 DATE:
 01.16.2023

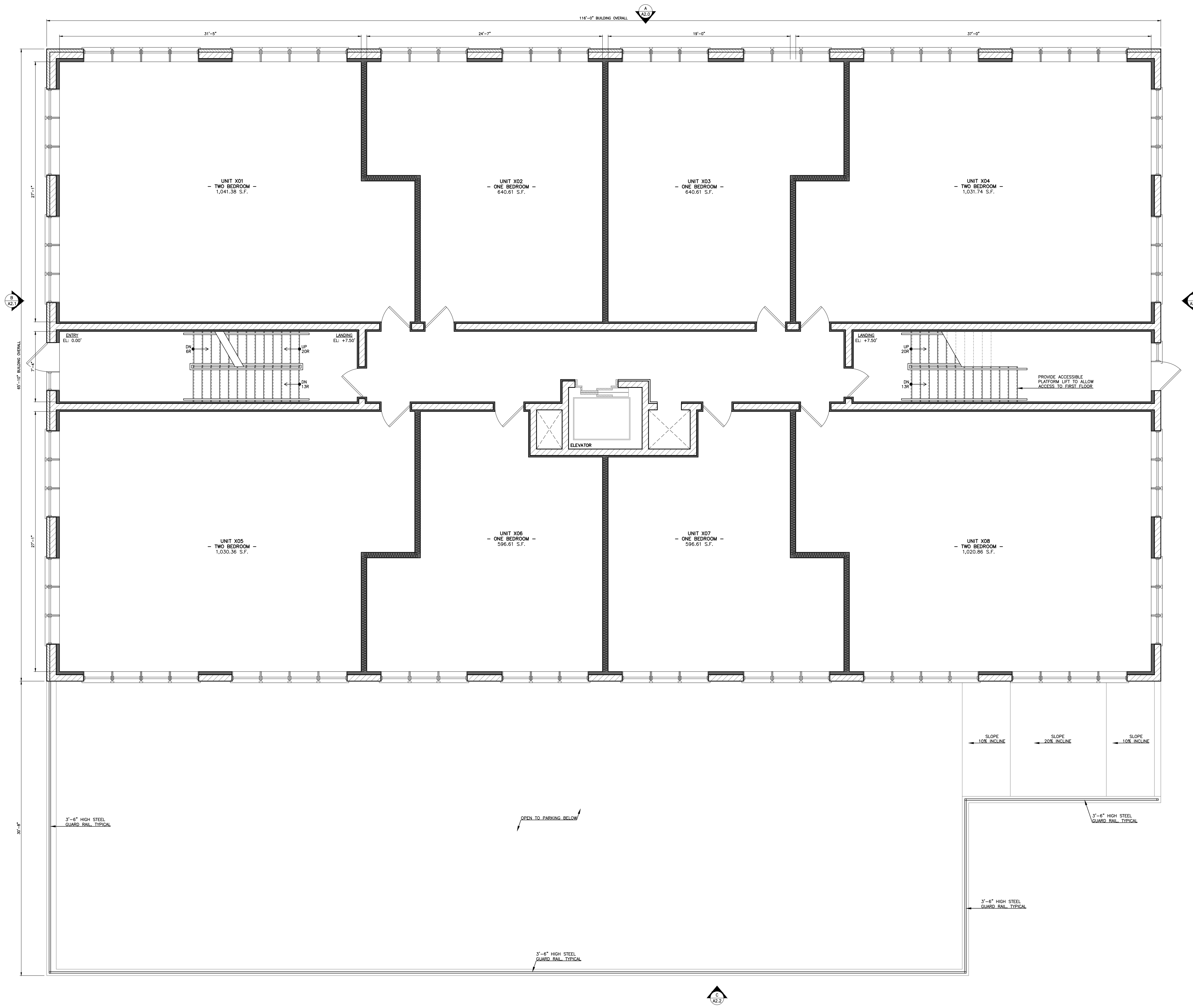
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1 BASEMENT/GARAGE FLOOR PLAN
 SCALE: 3/16" = 1'-0"





REVISIONS:
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 FLOOR PLAN

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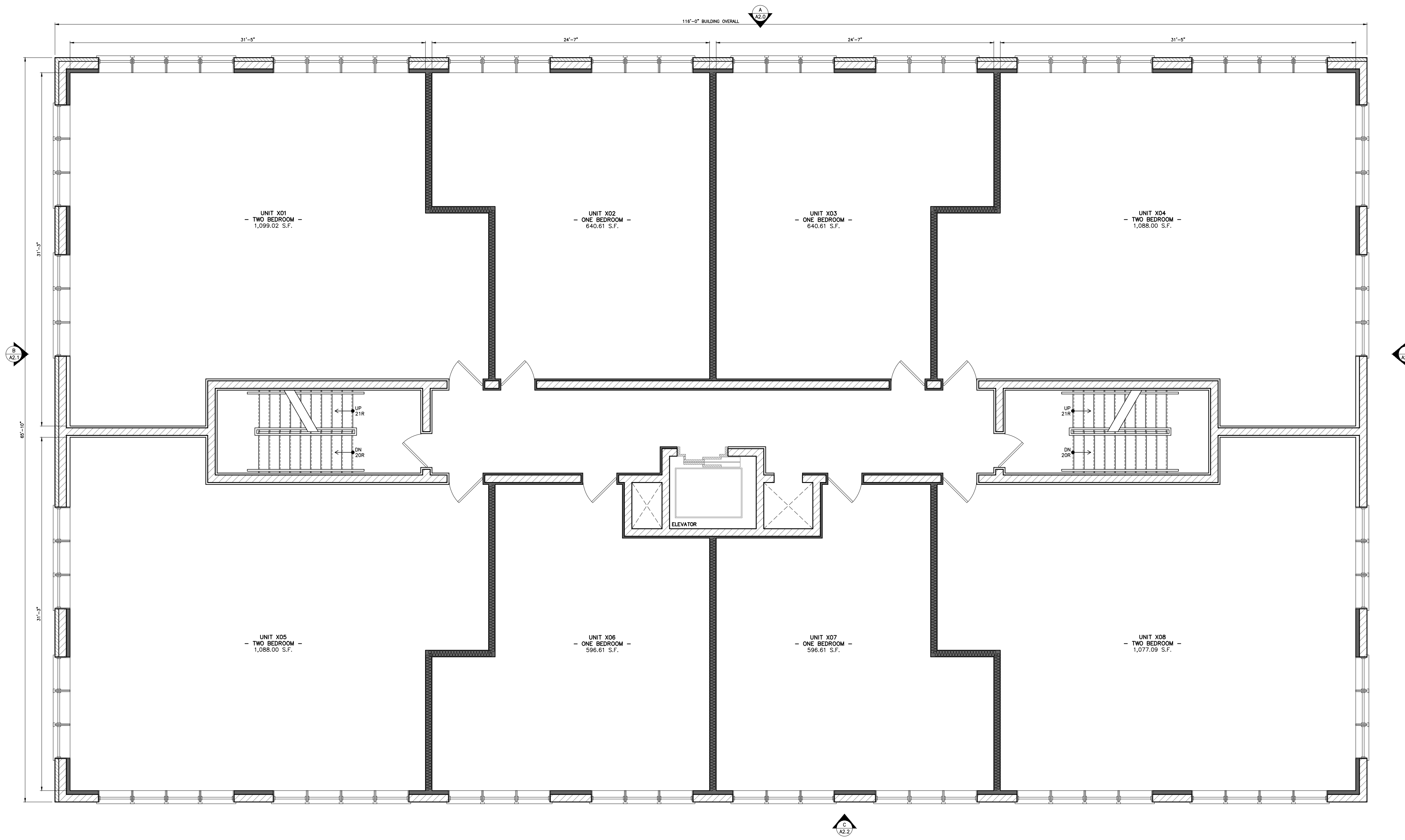
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2 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"





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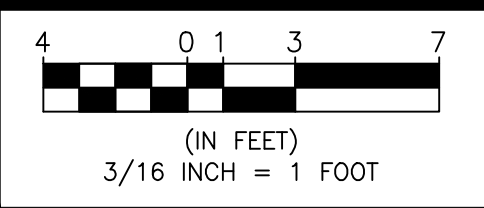
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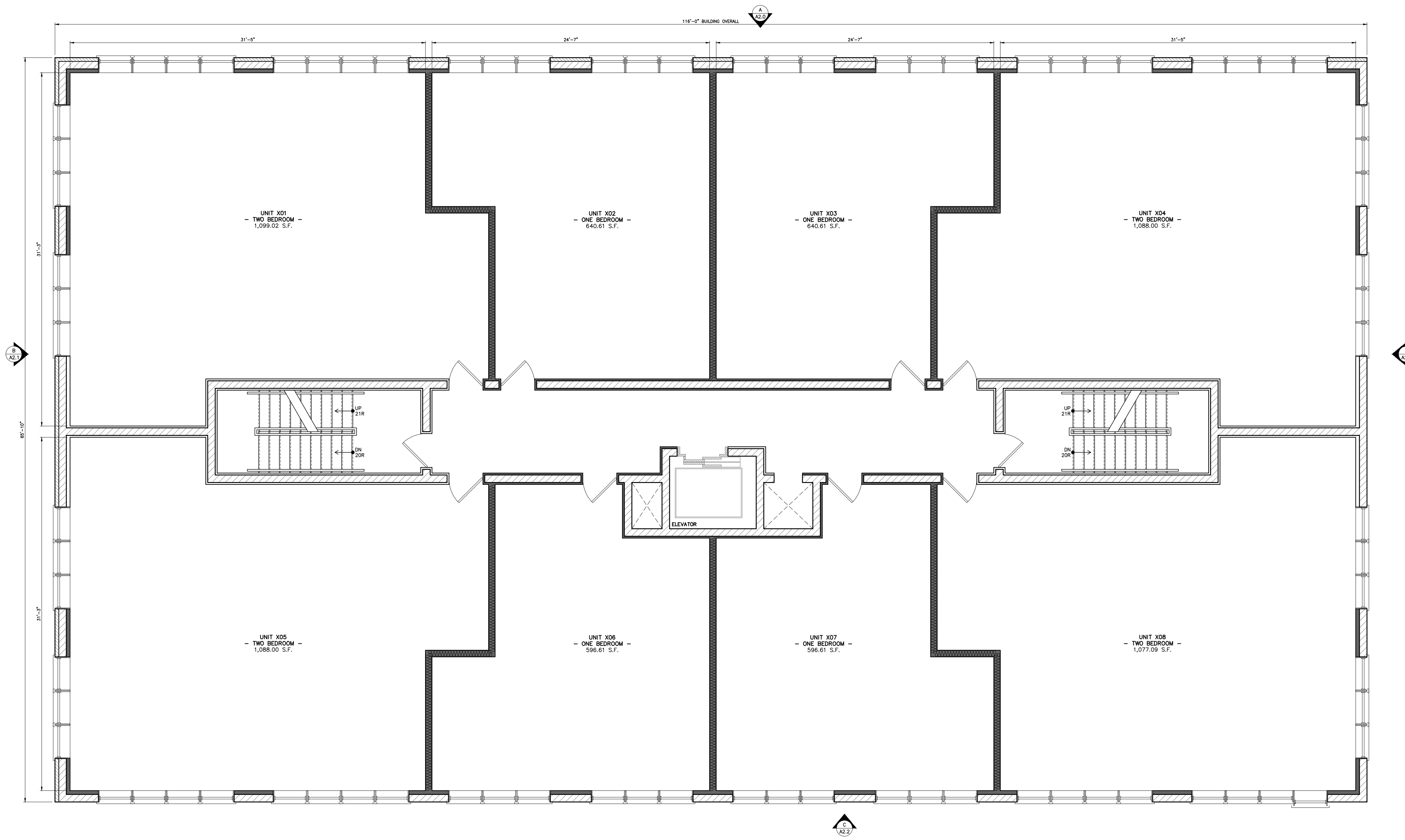
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3 SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"





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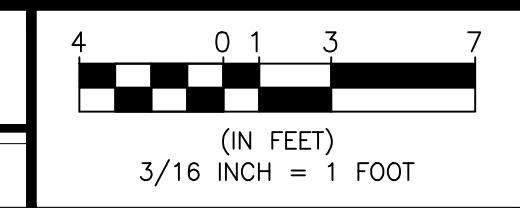
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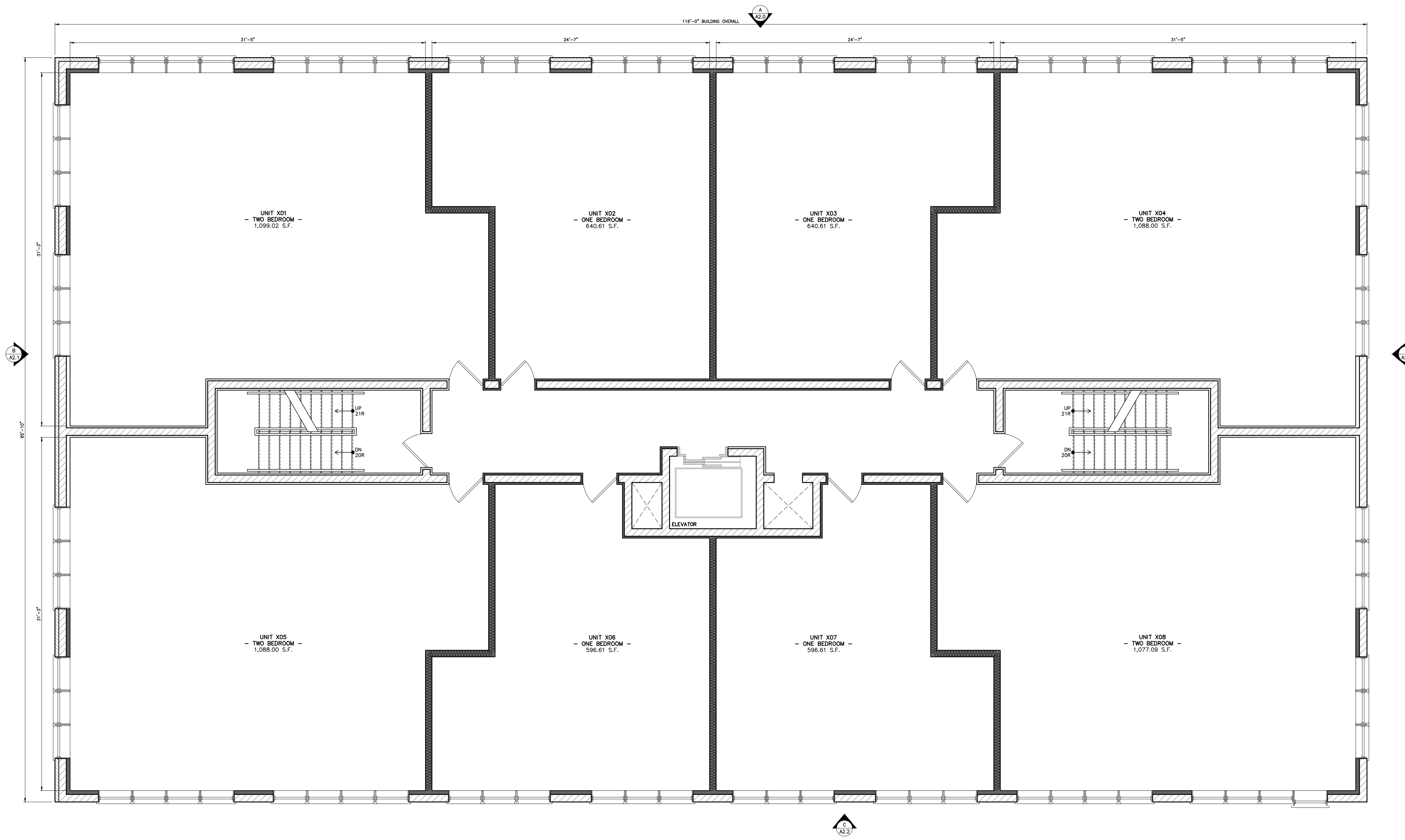
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THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"





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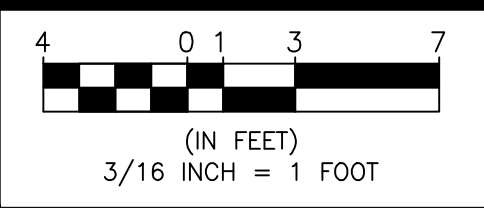
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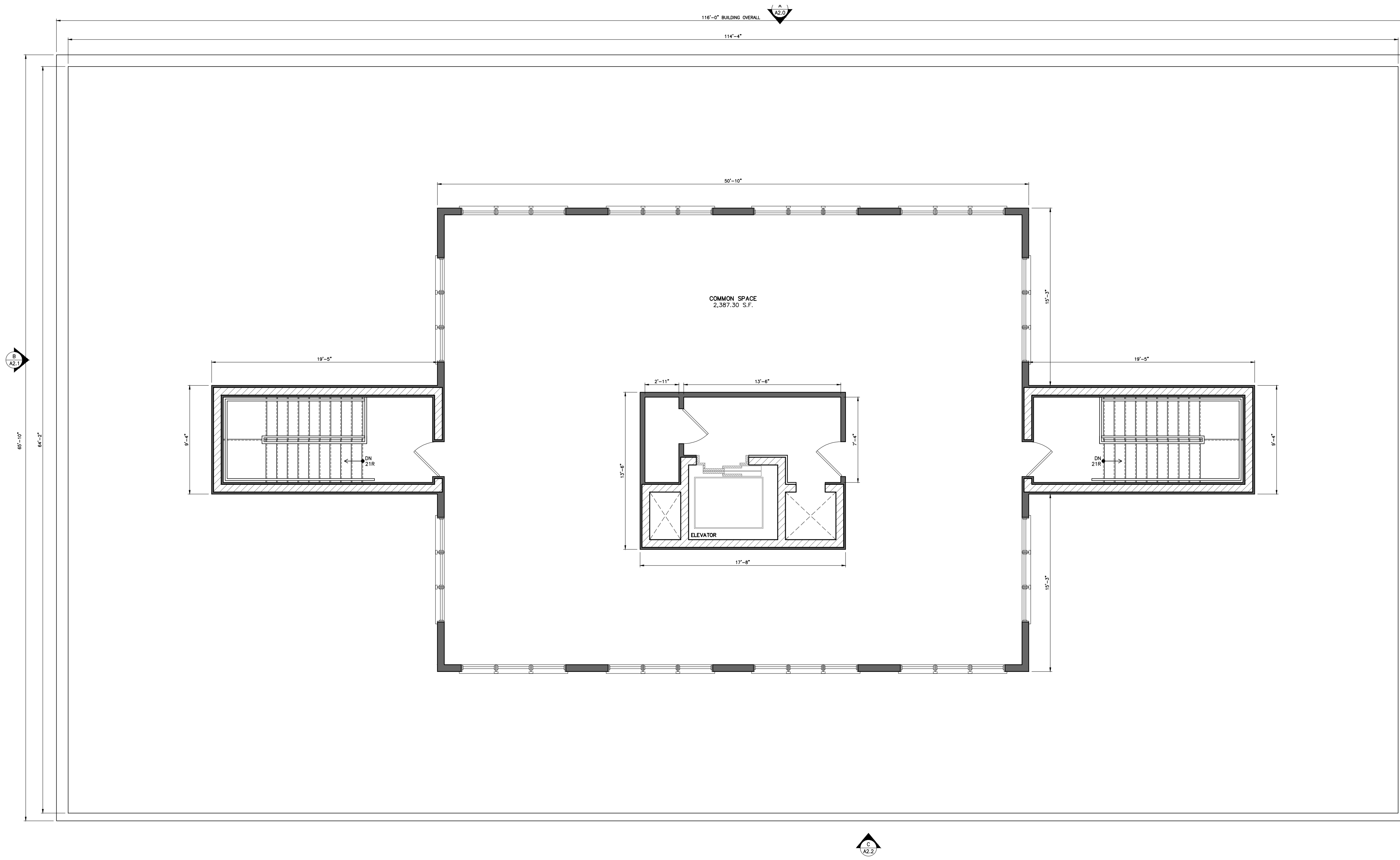
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5 **FOURTH FLOOR PLAN**
 SCALE: 3/16" = 1'-0"





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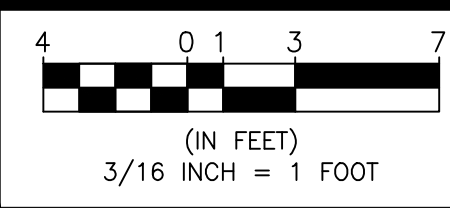
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6 5TH FLOOR/ROOF PLAN
 SCALE: 3/16"=1'-0"



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T/HIGH PARAPET
 EL: +69'-0"

ZONING HEIGHT/
 B/5TH FL. CEILING
 EL: +64'-6"

T/LOW PARAPET
 EL: +58'-0"

5TH FLOOR/
 ROOF DECK
 EL: +54'-6"

4TH FLOOR
 EL: +42'-0"

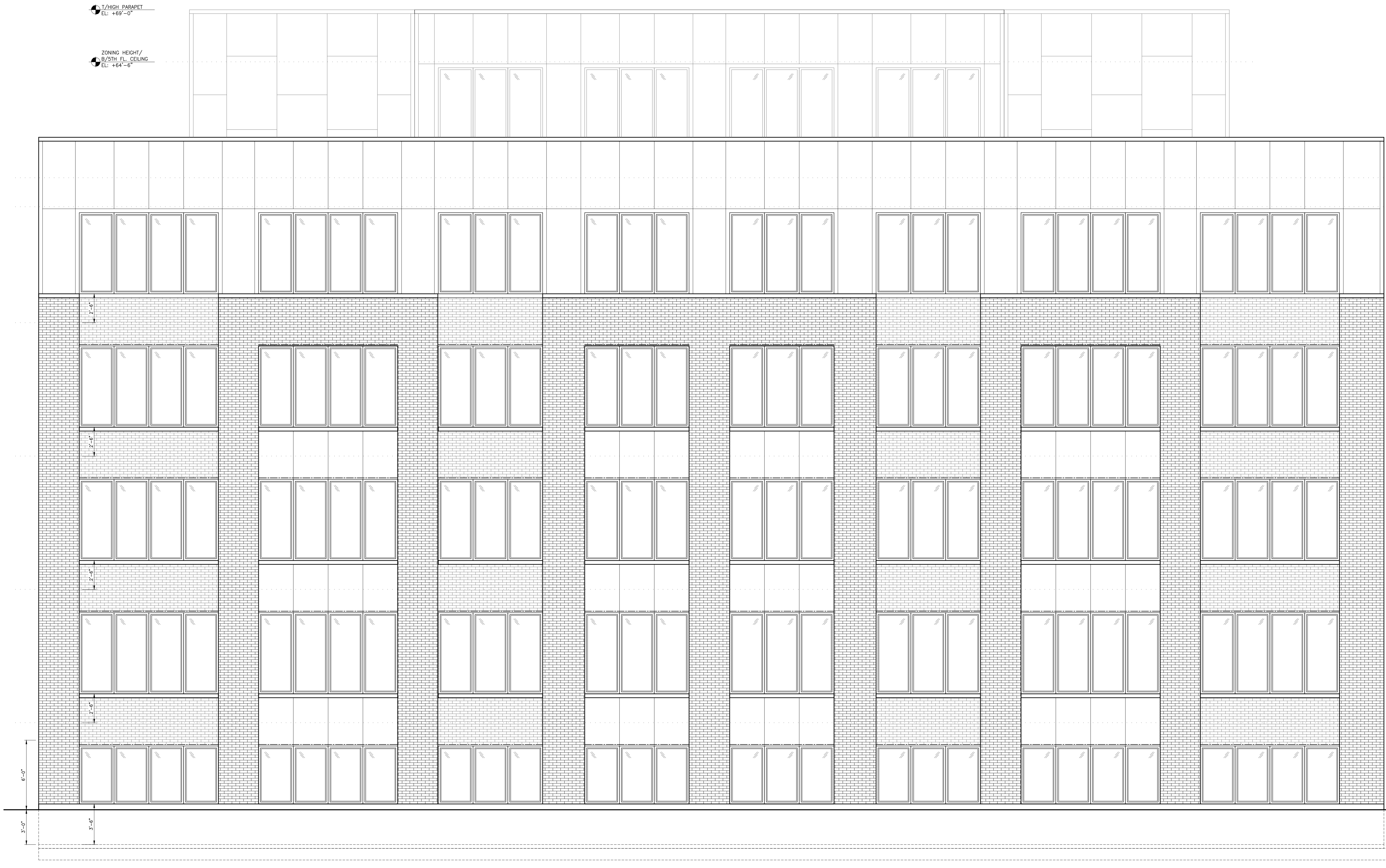
3RD FLOOR
 EL: +30'-6"

2ND FLOOR
 EL: +19'-0"

1ST FLOOR
 EL: +7'-6"

GRADE
 EL: 0'-0"

BASEMENT
 EL: -3'-0"



A NORTH ELEVATION
 SCALE: 1/4"=1'-0"

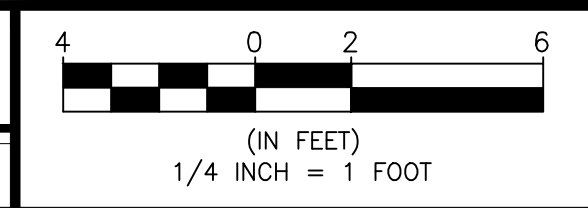




B

WEST ELEVATION

SCALE: 1/4"=1'-0"



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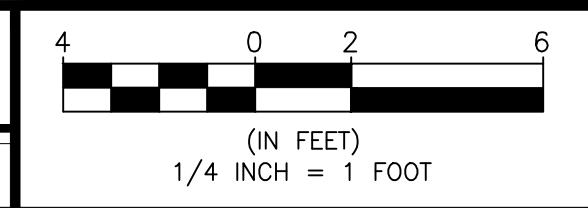
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SCALE:
 1/4" = 1'-0"

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C SOUTH ELEVATION
 SCALE: 1/4"=1'-0"





T/HIGH PARAPET
EL: +69'-0"

ZONING HEIGHT/
B/5TH FL. CEILING
EL: +64'-6"

T/LOW PARAPET
EL: +58'-0"

5TH FLOOR/
ROOF DECK
EL: +54'-6"

4TH FLOOR
EL: +42'-0"

3RD FLOOR
EL: +30'-6"

2ND FLOOR
EL: +19'-0"

1ST FLOOR
EL: +7'-6"

GRADE
EL: 0'-0"

BASEMENT
EL: -3'-0"

REVISIONS:
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D EAST ELEVATION
SCALE: 1/4"=1'-0"

