

Project Data Sheet

Proposed projects that are to be reviewed by the GGNA Zoning & Planning Committee must provide the following information:

Project Name: _____

Date: 8/8/16

Project Address: 2732 W. ARMITAGE

Proposed Zoning: B 2-3

Developer/Owner: _____

Current Zoning: B 2-3

Architect: HANNA ARCHITECTS INC

Zoning of Adjacent Area: B15 / B3-1

Contact Phone Number 312.750.1800

Email HANNAARCHITECTS@SBCGLOBAL.NET

Proposed Variences

Dwelling Units: 8

Type: 3 B CONSTR.

Lot Dimensions: 50 ft. x ft. 150

Lot Area: 6,870 s.f.

Proposed Floor Area: 14,627 s.f. (new) 14,627 s.f. (existing) — s.f. (addition)

FAR: 3.0 (existing) 3.0 (proposed) Building area excluded from FAR: — s.f.

Green space (unpaved): 520 s.f. 7.5 % of lot area

Proposed MLA: 400 Allowed MLA: 400

Proposed Parking: 8 spaces Zoning Required Parking: 8 spaces

Building Height Proposed: 48'-11" ft. Allowed: 60'-0" ft. At highest point: 55'-0" ft.

Proposed front yard setback: 0'-0" ft. Required front yard setback: 0'-0" ft.

Proposed side yard setback: 3'-0" ft. Required side yard setback: 0'-0" ft.

Proposed rear yard setback: 30'-0" ft. Required rear yard setback: 30'-0" ft.

Are there any existing buildings on site? No describe: —

Will any (or all) be demolished? —

Other Remarks: _____

2732 WEST ARMITAGE AVE

Chicago, Illinois



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GENERAL CONDITIONS
 The 1997 edition of the AIA Document A201, General Conditions of the contract for Construction shall apply to the construction phase of this project, unless otherwise indicated. If any mistakes, omissions, or discrepancies are found to exist in the Drawings, the Architect shall be promptly notified so that he may have the opportunity to take whatever steps are necessary to resolve them. When notes conflict, the most stringent in the opinion of the Architect shall govern.
 It is understood that site visits by the architect or engineer are for general conformance to the design shown on the documents only. The Owner and Contractor understand and agree that the Architect and Engineer have no responsible position in the direction of the work or construction practices employed during construction of this project. Further, the Owner and Contractor agree to observe and not hold the Architect or Engineer liable for any claim arising from personal injury or property damage which may arise from any construction practices employed on this project.
 The Owner is solely responsible to engage a qualified testing agency to ensure that the work complies with all applicable codes and standards, including but not limited to The Chicago Building Code.
CONTRACTORS RESPONSIBILITIES
 The scope of the work described herein includes furnishing all materials, labor, tools, plant, supplies, equipment, transportation, supervision, insurance, taxes and all other services and facilities necessary to complete the intent of these Construction Documents. Contractor shall visit the site prior to submitting its bid to determine actual field conditions which may affect its bid. The submitting of a bid for the project will serve as notice that Contractor has made aforesaid determinations, as no additional sums will be allowed for failure to do so. Contractor shall notify the Architect of any discrepancy or omission in the Construction Documents which affect the Work, prior to submitting his bid.
INSURANCE
 Contractor shall submit, prior to commencement of work, Certificate of Insurance naming owner, Architect and their agents as Additional Insured. Confirm with owner these minimum requirements.
 (A) Public Liability of not less than \$2,000,000.00 (including Contractor's Protective Liability, covering explosion and collapse, completed operations coverages and broad form blanket equipment coverage.
 (B) Workman's Compensation and Employer's Liability Insurance as required by any Employee Benefit Acts or other statutes applicable where the work is to be performed as well as protect Owner's Contractor form liability under aforementioned
 (C) Comprehensive Automobile Liability Insurance, including the ownership, maintenance, and operation of any automotive equipment owned, hired and un-owned, \$500,000/1,000,000.00 limits.
 Contractor agrees to hold aforesaid harmless on all O.S.H.A. and worker safety requirements, and shall fully comply with all such requirements as they apply to the methods and devices used and/or materials. Contractor shall also comply with applicable ordinance passed January 2000, new sections 13-124-380-440.
GUARANTEE
 All work performed and materials utilized shall be guaranteed for a period of one year (minimum) unless noted otherwise, after the date of substantial completion, against defects in workmanship and/or materials. Contractor agrees to remedy such defects in a timely manner at no additional cost to the owner.
CLEAN-UP
 Contractor shall keep the project area reasonably clean at all times, and thoroughly remove waste materials, rubbish and debris every Friday during the course of the Construction. Final cleaning shall be performed just prior to acceptance by the owner.
OWNERSHIP OF DOCUMENTS
 The drawings herewith & the architectural design inferred form and the rights thereof as defined by copyright laws belong to the author (HANNA) and are not to be copied or reproduced without permission from the architect.
APPLICABLE STANDARDS
 In procuring materials and installing same for this project, it shall be the responsibility of the contractor to verify the detailed requirements of all applicable codes and standards as well as manufacturer's standards, recommendations and specifications, and comply fully with said requirements. The building codes and ordinances of Chicago, Cook County, will be considered as a minimum standard in the construction of this project and will take precedence only over the lack of any better information contained in these construction documents. Comply also with Chapter 18-13 of the Chicago Building Code.
BUILDING PERMITS
 All building permits and fees are the responsibility of the contractor
GENERAL NOTES
 1. Core shall be taken during work not to damage portions of the existing structure that are to remain.
 2. The general contractor shall verify all existing dimensions, elevations and conditions in the field prior to start of work. The general contractor shall notify the architect of any discrepancies or interferences.
BUILDING INSULATION
 Ceiling - R-49 Insulation at Roof (Flat Ceilings)
 R-10 (2" Rigid insulation by Firestone)
 R-39 (5 1/2" Closed Cell Spray Foam/R7.1 per inch (Cor-Bond or Equal)
 R-30 (9 1/2" Fiberglass Batt insulation at sloping ceilings)
 Wall - R-21 (3" insulation R7.1 per inch (Cor Bond or Equal)
FLASHING AND SHEET METAL WORK
 Furnish and install all flashing, counterflashings, diverters and trim as required to prevent water penetration between other materials seams and joints, and provide a weathertight building shell. Coordinate carpentry contractor and other involved trades for installation of all materials under this section. All flashings to be min. 24 ga. galvanized sheet metal, or prefinished aluminum (.025 min.), in colors as approved. Flashings shall be as recommended by roof mfr to achieve 15 yr guarantee. All flashing thru wall type.
ROOF VENTS
 Furnish and install roof vents, with insect screen, as indicated on the Drawings. Vents shall be aluminum prefinished standard color to match roofing unless noted otherwise. This work to be responsibility of the roofing contractor. 1sq.ft. per 150 sq.ft. roof area.
GUTTERS AND DOWNSPOUTS
 All gutters shall be prefinished aluminum .032 minimum thickness. Ogee style with minimum joints and continuous cleat eave flashing. Maintain minimum positive pitch towards downspouts. All downspouts shall be prefinished aluminum .025" minimum thickness of corrugated rectangular design. All gutter and downspout work shall be installed and constructed per SMACNA standards minimum.
CAULKING AND SEALANTS
 All caulking on exterior surfaces to be Tremco Dymeric colors to match adjacent surfaces. Backup for caulking joints to be closed cell polyethylene foam rods, set to proper depths for maximum caulking performance as per manufacturer's specifications. Clean adjacent surfaces which have been soiled by caulking immediately.
SPYSUM WALLBOARD
 Provide all necessary materials and labor to complete the proper installation of the work as shown on the Drawings or required as per manufacturer's specifications and recommendations. All joints to be finished. All wallboard to be glued and screwed as per manufacturer's recommendations.

PAINTING

Provide complete painting work as shown on the Drawings and specified herein. Comply with flame spread rating required by application codes.
PREPARATION
 Inspect surfaces to be finished and conditions of building before starting work, and report to the Architect any defects the rendered area or items unfit to receive finish. Starting of work will constitute acceptance of conditions and substrates. Remove and protect all hardware, lighting fixtures, etc., before painting. Protect all finished surfaces, in areas where paint is being applied, with clean drop cloths and suitable masking. Clean all surfaces to be finished as required to remove oil, grease, dust and dirt. Sand where necessary to properly prepare surfaces to receive finish.
INTERIOR WALL & CEILING FINISHES
 Paint: All walls to receive prime coat and two coats finish paint, latex, semi-gloss. Prior to beginning work, the contractor shall obtain approval of colors for all surfaces to be painted. Each coat of paint shall be slightly lighter or darker than the preceding coat.
INTERIOR STAIN AND VARNISH
 All interior woodwork (noted) shall be stained and varnished 2 coats minimum. The contractor shall work with the owner to provide sample work on the actual materials to achieve the desired colors and finish. The contractor shall obtain approval from the owner for color well in advance of the actual commencement of the work. Allow 3 weeks minimum in time schedule for these approvals. The pine window jambs shall be stained and varnished to closely match the oak trim.
FINISH CARPENTRY
GENERAL
 Provide all finish carpentry work as shown on the Drawings or specified herein. Erect all work true to line and level, secure and permanently set in place. Provide required blocking and supports for finished work. Receive those specialties built into or on work of this Section, adjust all millwork and hardware to operate freely, properly and without undue stresses from binding.
QUALITY ASSURANCE
 1. All woodwork shall comply with AIA standards.
 2. Provide fire-retardant treated wood where required by applicable code.
GENERAL NOTES
 1. Casing, jambs, trims, sills, steps and paneling.
 2. The exterior envelope shall be completely waterproof with a 15 year labor and materials warranty including but not limited to all roofing and decking waterproofing, installation including all substrates, flashing, etc. Details shall be as nec. to achieve that warranty.
 3. Pipe shafts and ducts passing from one floor to another shall be enclosed with construction providing fire resistance of not less than one hour except in toilet rooms, outdoor locations through floors not exceeding nine square feet in area shall not require enclosure, provided that openings between such pipes or ducts and the floor construction shall be filled w/non-combustible materials securely held in place to prevent the passage of fire.
 REFER TO SHEET S-0.1 FOR ALL STRUCTURAL NOTES STRUCTURAL DRAWING INFO AND NUMBERS TO SUPERSEDE NOTES ON ARCHITECTURAL DRAWINGS.

ELECTRICAL NOTES

1. ALL LIGHT SWITCHES TO BE MOUNTED AT 36" A.F.F. UNLESS NOTED OTHERWISE. SWITCH HEIGHT (V.I.F.) TO MATCH EXIST IF APPLICABLE U.N.O.
2. ALL THERMOSTATS TO BE LOCATED AT 68" A.F.F. AND ALL HUMID TO BE MOUNTED AT 54" A.F.F. UNLESS NOTED OTHERWISE.
3. ALL SWITCHES, OLV. CABLE T.V. JACKS, AND TELEPHONE WALL JACK COLORS TO BE VERIFIED AND COORDINATED WITH OWNER PRIOR TO PURCHASE AND INSTALLATION UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE ALL NECESSARY POWER TO MECH. EQUIPMENT AS REQUIRED.
5. ALL WALL OUTLETS TO BE MOUNTED AT 12" A.F.F. U.N.O. HEIGHT (V.I.F.) U.N.O.
6. SWITCHES TO BE LEVITON DECORA SERIES SLIDE TYPE DIMMERS BY LEVITON, DECORA.
7. ALL LOW VOLTAGE LIGHT DIMMERS TO BE MAGNETIC TYPE DIMMERS. (COORD W/OWNER).
8. CONTRACTOR RESPONSIBLE FOR ALL RECESSED LIGHT FIXTURES, COORDINATE BRAND NAME, BAFFLE DESIGN & COLOR, & DIRECTIONAL STYLE W/OWNER PRIOR TO PURCHASE.
9. ALL RECESSED LIGHT FIXTURES AT EXTERIOR CEILING OF ATTIC CEILINGS TO BE RATED AS DIRECT CONTACT WITH INSULATED CEILING MATERIALS (DC-IC). CONTRACTOR RESPONSIBLE FOR ABOVE RATED LIGHTS AT ALL LOCATIONS IN CONTACT W/INSULATION.
10. ALL OUTLETS IN TOILET ROOMS, OUTDOOR LOCATION AND WITHIN 3 FEET OF KITCHEN OR BATH SINKS SHALL BE GFI TYPE OUTLETS.
11. ALL APPLIANCE AND EQUIPMENT SHALL BE CONNECTED AS PER LOCAL CODE.
12. TELE., CABLE T.V. JACKS TO MATCH LEVITON DECORA SERIES RECEPTACLE PLATES.
13. PROVIDE SMOKE DETECTORS 1 PER LEVEL (WITHIN 15'-0" OF BEDROOMS MIN.) HARD WIRE AS PER LOCAL CODE.
14. COORDINATE ALL ELECTRICAL REQUIREMENTS WITH EQUIPMENT.
15. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT SO THAT NEW WORK CAN BE INSTALLED WITHOUT INTERFERENCE. MAKE ALL NECESSARY ROUTING, CONNECTIONS AS REQUIRED.
16. ALL WORK SHALL MEET CITY CODE.
17. PROVIDE COMPLETE NEW ELECTRICAL SERVICE, INCLUDING METER SOCKET PANEL, BREAKERS, WIRING, CONDUITS AND FITTING, ETC.
18. OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS.
19. ALL WIRING SHALL BE COPPER THW, THWN, THHN, ETC.
20. PROVIDE DISCONNECT SW FOR ALL MECH. EQUIP. DISCONNECT TO COMPLY W/18-27-230.70.
21. PROVIDE 2-20 AMP CIRCUIT IN KITCHEN AREA AND WIRE 20 AMP CIRCUITS EACH FOR DISHWASHER AND DISPOSAL.
22. PROVIDE GFI TYPE OUTLET IN EACH BATHROOM AND WITHIN 4'-0" OF KITCHEN SINK.
23. T.V. ANTENNA/CABLE SYSTEM AND TELEPHONE WIRING TO BE PROVIDED BY OWNER.
24. AT LEAST ONE 20 AMP CIRCUIT SHALL BE PROVIDED TO EACH BATHROOM.
25. AT LEAST ONE 20 AMP CIRCUIT SHALL BE SOLELY PROVIDED FOR THE LAUNDRY.
26. OUTLET BOXES SHALL NOT BE USED AS THE SOLE SUPPORT FOR SUSPENDED FANS.
27. DUPLEX OUTLETS SHALL BE SPACED A MAXIMUM OF 12'-0" APART.
28. THE ELECTRICAL ROOM & UTIL. ROOM SHALL CONFORM TO 18-27-560.6-3.
29. OUTDOOR RECEPTABLES SHALL CONFORM TO 18-27-560.6-E.
30. ALL CLOSETS OVER 5'-0" LONG SHALL HAVE WALL SWITCH SERVING CLOSET LIGHT.
31. KITCHEN AREAS SHALL CONFORM TO 18-27-560.5 & 3(C).
32. PROVIDE SUPPLEMENTAL ELECTRICAL EQUIPMENT BY 18-27-250.50(A)(2).
33. BATTERY UNITS SHALL BE WIRED ACCORDING TO CBC 15.27700.66.
34. RECEPTACLE OUTLETS SHALL COMPLY WITH 18-27-560.6.
35. ALL BEDROOM RECEPTABLES MUST BE PROVIDED WITH ARC FAULT BRANCH CKT PROTECTION.
36. OWNER OF BUILDING MGMT. SHALL PROVIDE EVIDENCE THAT UNIT BATTERIES WILL BE MAINTAINED AS REQUIRED BY 18-27-700.60(F).
37. AT ALL AREA W/EXTERIOR SPACE BELOW, PROVIDE ELECTRIC HEAT IN FLOOR.
2012 IECC ENERGY EFFICIENCY
2012 IECC FOUNDATIONS:
 303.2.1 A PVC PROTECTIVE COVERING IS TO BE INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND EXTENDS A MIN. OF 6 IN. BELOW GRADE.
2012 IECC FRAMING/ROOFING:
 402.4.5 (C-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE 2.0 CFM LEAKAGE AT 75 PA.
 402.2.1 SUPPLY DUCTS IN ATTICS ARE INSULATED TO R-8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE ARE INSULATED TO R-6.
 403.2.2 ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS RETURN DUCTS ARE SEALED.
 403.2.3 BUILDING CAVITIES ARE NOT TO BE USED FOR SUPPLY DUCTS.
 403.3 HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F ARE INSULATED TO R-3
 403.4 CIRCULATING SERVICE HOT WATER PIPES ARE INSULATED TO R-2.
 403.5 AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES & EXH.
2012 IECC FINAL INSPECTION:
 402.1.1 CEILING INSULATION R-VALUE, WHERE >R-30 IS REQUIRED, R-30 CAN BE USED IF INSUL IS NOT COMPRESSED AT EAVES. R-30 MAY BE USED FOR 500 FT² OR 20% (WHICHEVER IS LESS) WHERE SUFFICIENT SPACE IS NOT AVAILABLE.
 303.1.1 CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INSUL. MARKED EVERY 300 FT²
 402.2.3 ATTIC ACCESS HATCH AND DOOR INSULATION R-VALUE OF THE ADJACENT ASSEMBLY.
 402.4.2 BUILDING ENVELOPE TIGHTNESS VERIFIED BY BLOWER DOOR TEST OF <7 ACH AT 50 PA. THIS REQUIREMENT MAY INSTEAD BE MET VIA VISUAL INSPECTION, IN WHICH CASE VERIFICATION MAY NEED TO OCCUR DURING INSULATION INSPECTION.
 402.4.3 WOOD BURNING FIREPLACES HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.
 402.2.2 POST CONSTRUCTION DUCT TIGHTNESS TEST RESULT OF 8 CFM TO OUTDOORS, OR 12 CFM ACROSS SYSTEMS, OR, ROUGH-IN TEST RESULT OF 6 CFM ACROSS SYSTEMS OR 4 CFM WITH-OUT AIR HANDLER. ROUGH-IN TEST VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECT.
 403.1.1 PROGRAMMABLE THERMOSTATS INSTALLED ON FORCED AIR FURNACES.
 404.1 50% OF LAMPS IN PERMANENT FIXTURES ARE HIGH EFFICIENCY LAMPS.
 401.3 COMPLIANCE CERTIFICATE POSTED.
 303.3 MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT HAVE BEEN PROVIDED.

ZONING DATA:

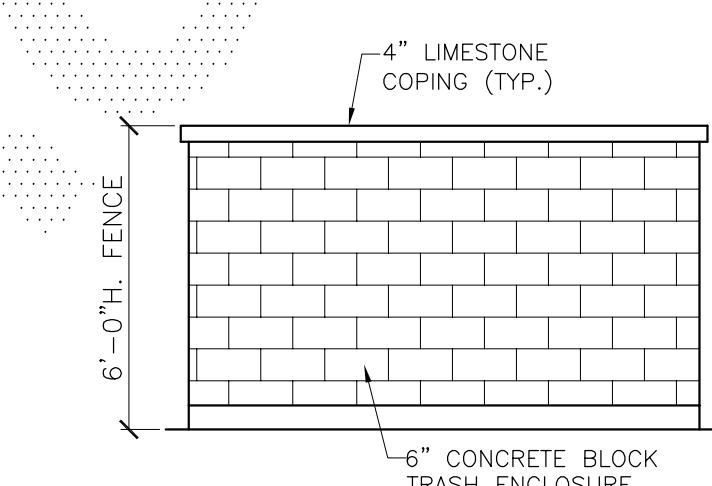
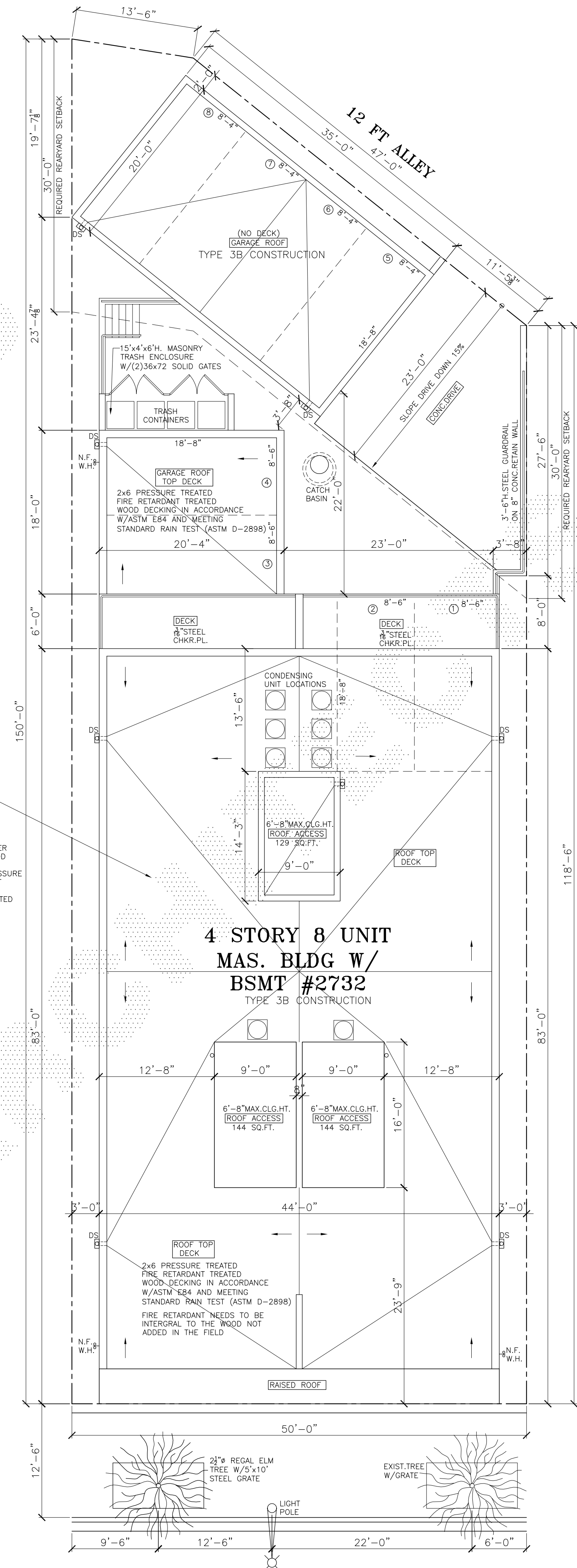
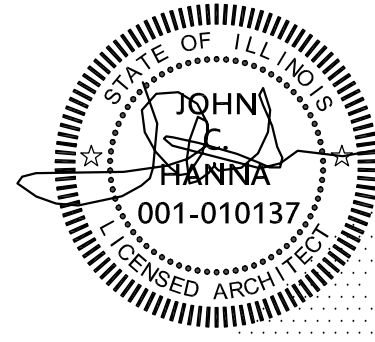
LOT AREA - SEE SITE PLAN = 6,870 SQ.FT.
 F.A.R. - B2-3 3.00
 MAX. BUILDABLE - 20,610 SQ.FT.
 BUILDING SQUARE FOOTAGE:
 BSMT FLOOR - 475.00 SQ.FT.
 1ST FLOOR - 3,520.00 SQ.FT.
 2ND FLOOR - 3,544.00 SQ.FT.
 3RD FLOOR - 3,544.00 SQ.FT.
 4TH FLOOR - 3,544.00 SQ.FT.
 TOTAL = 14,627.00 SQ.FT.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR 2732 W. ARMITAGE AVE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, AS EFFECTIVE 4-22-09.

SIGNED: DATE: JUNE 8, 2016

(ARCH.) ILLINOIS LICENSE NUMBER: 001-010137



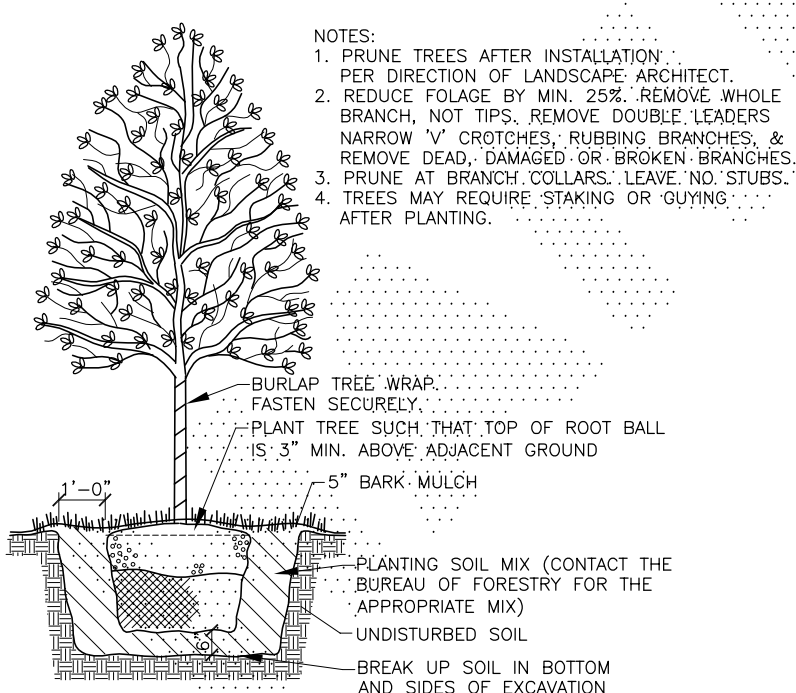
NOTE:
 ALL WOOD ON ROOF DECK INCLUDING HANDRAIL, FENCES, GATES AND SLEEPER BLOCKING TO BE PRESSURE TREATED FIRE RETARDANT TREATED LUMBER IN ACCORDANCE W/ASTM E84 AND MEETING STANDARD RAIN TEST (ASTM D-2898) (TYP)
 ROOF DECKING, SUPPORT STRUCTURE AND ANY OTHER STRUCTURE ON ROOF OF WOOD OR COMPOSITE WOOD MUST MEET ASTM E-84 EXTENDED 30 MINUTE TEST AND ASTM D-2898. ALL TREATMENTS MUST BE PRESSURE IMPREGNATED OR MANUFACTURED INTO THE PRODUCT HOMOGENEOUSLY THROUGHOUT THE PRODUCT. NO SURFACE OR FIELD APPLIED TREATMENTS PERMITTED

PLANTING TIME DEC 15, 2016

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN TO THE ATTACHED LANDSCAPE PLAN(S) FOR THE PROPERTY AT 2732-32 W. ARMITAGE AVE CHICAGO, ILLINOIS HAS, TO THE BEST OF THE UNDERSIGNED APPLICANTS KNOWLEDGE, BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUCCESSOR OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

ARCHITECT SWORN STATEMENT

THE UNDERSIGNED ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN(S) FOR THE PROPERTY AT 2732-32 W. ARMITAGE AVE CHICAGO, ILLINOIS HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.



TREE PLANTING DETAIL
 SCALE: N.T.S.

SITE PLAN
 SCALE: 1/8" = 1'-0"



(312) 750-1800

180 W. WASHINGTON CHICAGO, ILLINOIS 60602 FAX (312) 750-1801

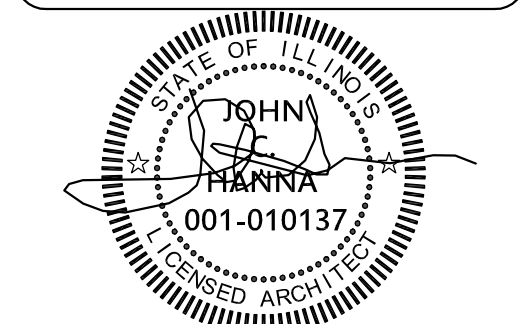
PROFESSIONAL DESIGN FIRM ARCHITECT CORPORATION LICENSE NUMBER 184 - 001485

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- M-1 MECHANICAL PLANS
 M-2 MECHANICAL PLANS
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SQ.FOOTAGE FOR FEES:
 BSMT - 2,875 SQ.FT.
 1ST - 3,520 SQ.FT.
 2ND - 3,544 SQ.FT.
 3RD - 3,544 SQ.FT.
 4TH - 3,544 SQ.FT.
 ROOF - 417 SQ.FT.
 TOTAL BLDG = 17,444 SQ.FT.
 GARAGE = 1,500 SQ.FT.
 DECKS = 600 SQ.FT.
 ROOF DECK = 2,800 SQ.FT.

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ISSUED FOR REVIEW
 ISSUED FOR REVIEW
 ISSUED FOR PERMIT JUNE 8, 2016
 ISSUED FOR BID

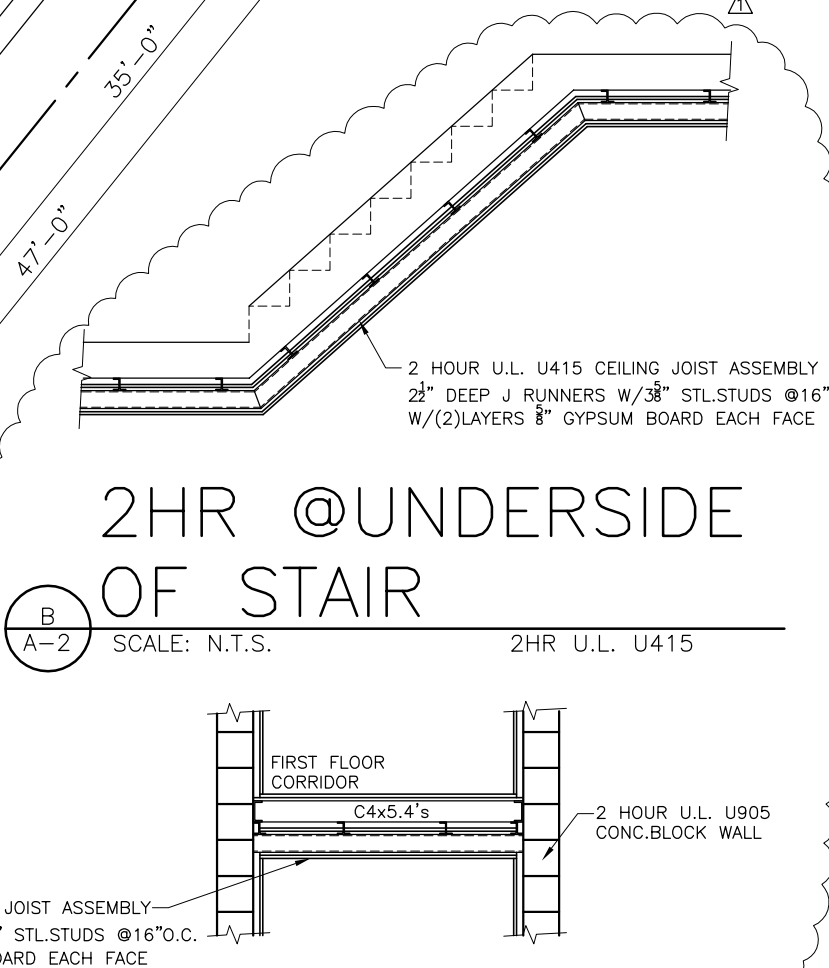
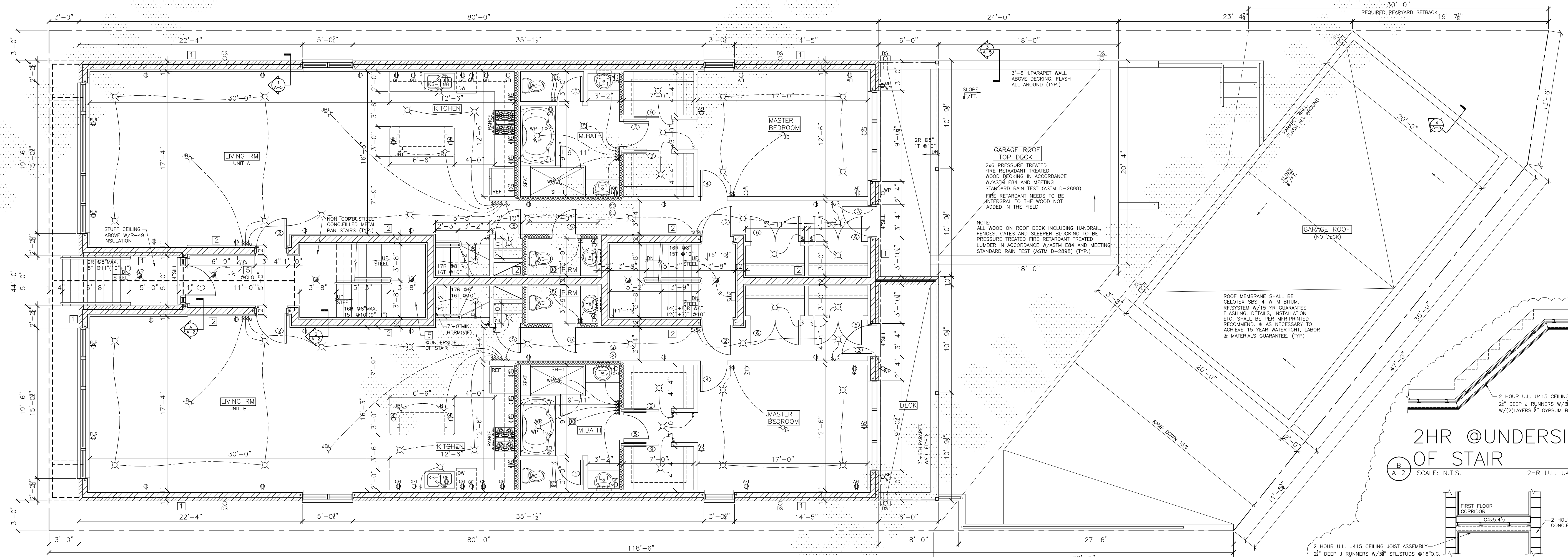
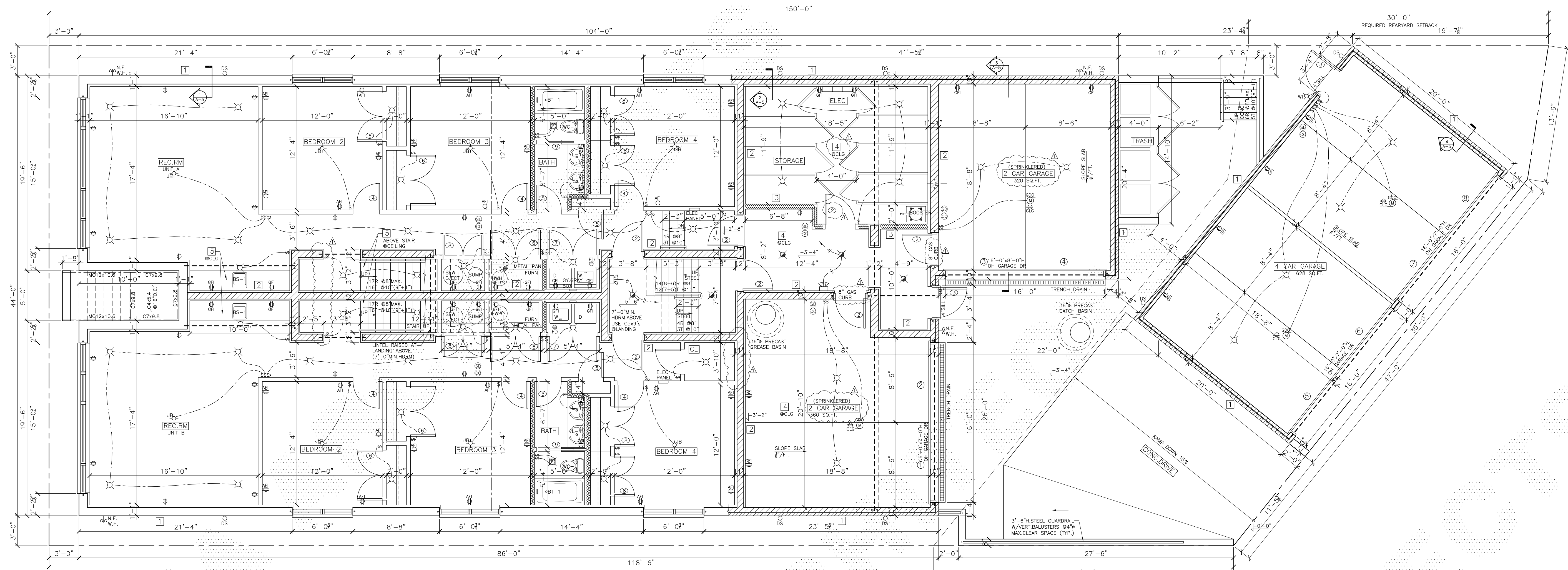


PROJECT NAME & ADDRESS
2732 W. ARMITAGE
4 STORY 8 UNIT
MASONRY APART.BLDG
W/BASEMENT
CHICAGO, ILLINOIS

SHEET TITLE
SITE PLAN
& NOTES

FILENAME

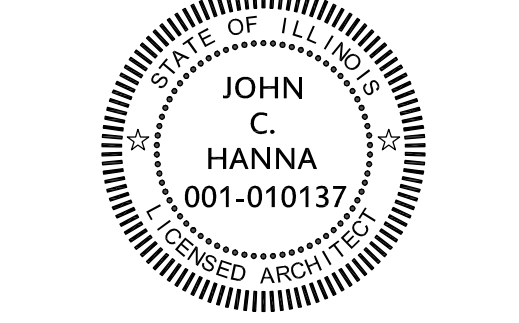
SHEET NUMBER
A-1



HANNA ARCHITECTS, INC.
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ISSUED FOR REVIEW
ISSUED FOR REVIEW
ISSUED FOR PERMIT JUNE 8, 2016
ISSUED FOR BID JULY 18, 2016



PROJECT NAME & ADDRESS
**2732 W. ARMITAGE
4 STORY 8 UNIT
MASONRY APART.BLDG
W/BASEMENT
CHICAGO, ILLINOIS**

SHEET TITLE
**BASEMENT &
FIRST FLOOR
PLANS**

FILENAME

SHEET NUMBER
A-2

| FIXTURE SCHEDULE | | | | | |
|------------------|--|------------------------|----|----------------|------------------------------|
| SYMBOL | DESCRIPTION | CATALOG NO. | NO | LAMPS | REMARKS |
| ⊙ B | RECESS 6" DOWN LIGHTING | HALO: H7800T | 1 | 150W INCAND | HALLWAY |
| ⊙ | WALL MOUNTED EMERGENCY BATTERY UNIT WITH TWO HEADS & REMOTE HEAD | SURE-LITES: XR SERIES | 2 | 6W HALOG | 6 V. CHICAGO CODE APPROVED |
| ⊙ | SURFACE CEILING OR WALL MOUNTED EXIT SIGN | SURE-LITES: CHX SERIES | 2 | 52W INCAND T-6 | 120 V. CHICAGO CODE APPROVED |

ELECTRICAL SYMBOLS

- ⊙ SINGLE POLE SWITCH
- ⊙ 3-WAY SWITCH
- ⊙ DUPLEX CONV. OUTLET 15" AFF (U.N.O.)
- ⊙ DUPLEX CONV. OUTLET 36" AFF
- ⊙ WATERPROOF OUTLET
- ⊙ GROUND FAULT OUTLET
- ⊙ ARC FAULT OUTLET
- ⊙ DIRECT CONNECT TO APPLIANCE
- ⊙ WALL FIXTURE
- ⊙ RECESSED DOWNLIGHT
- ⊙ DOUBLE WALL FLOOD LIGHTS
- ⊙ EXHAUST FAN
- ⊙ CEILING FAN AND LIGHT
- ⊙ MOTOR
- ⊙ SMOKE DETECTOR (110 V.)
- ⊙ CARBON MONOXIDE DETECTOR
- *ALL CONTROLS SHALL BE NO HIGHER THAN 48" ABOVE FINISHED FLOOR

WALL SYMBOLS

- 2x4's @16"O.C. W/(1)LAYER 5/8" GYP.BD. EA.FACE 1 HOUR RATED U.L. U305 NON-LOAD BEARING STUD WALL
- CONCRETE BLOCK
- FACE BRICK W/CONCRETE BLOCK
- SOLID CONCRETE BLOCK
- COMPLY WITH UNDERWRITERS LABORATORIES TEST DATA FIRE RATED DESIGNS FOR ALL SPECIFIED FIRE RATED CONSTRUCTION (TYP.).

LEGEND

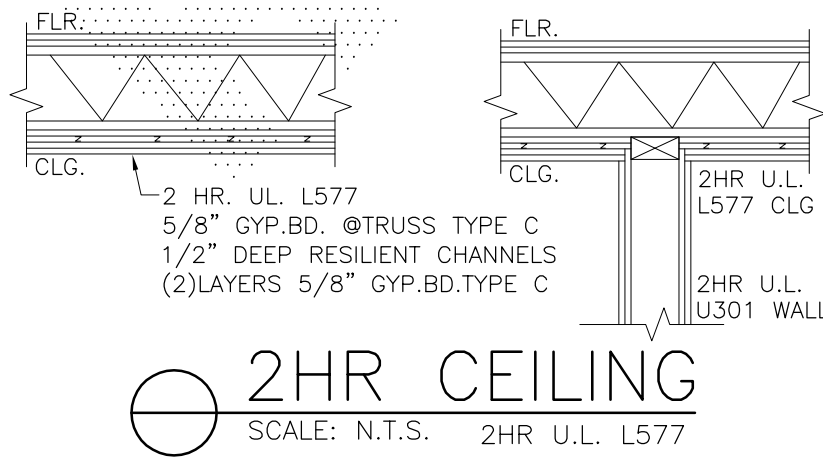
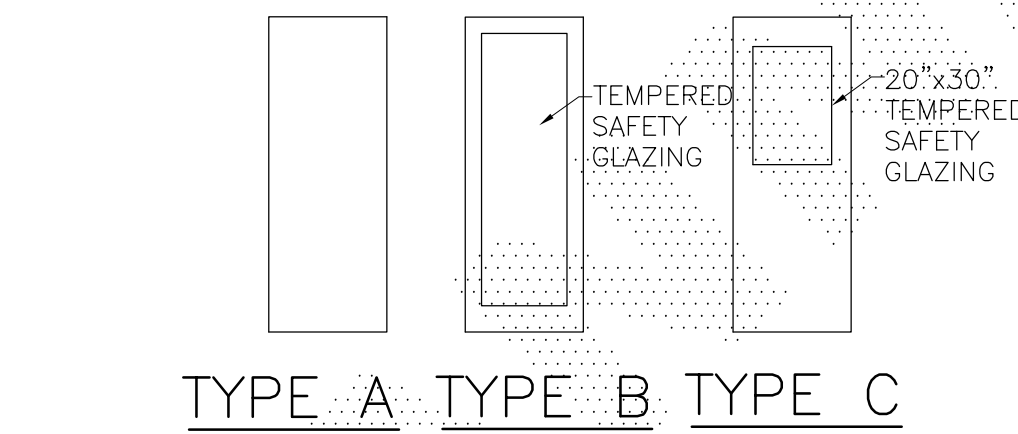
- ⊙ SURFACE MOUNT MEDICINE CABINET W/STRIP LIGHT ABOVE
- ⊙ GROUND FAULT INTERRUPTER
- ⊙ ARC FAULT INTERRUPTER
- ⊙ OVERHEAD LIGHT FIXTURE
- ⊙ LED LIGHTS IN COMMON AREA
- N.F.W.H. - NON FREEZE WALL HYDRANT
- U.N.O. - UNLESS NOTED OTHERWISE
- V.I.F. - VERIFY IN FIELD

| DOOR SCHEDULE | | | | | | |
|---------------|-----------|--------------------|---------------|----------------|------------------|--------------------------|
| DOOR TAG | DOOR TYPE | WIDTH+HT+THICKNESS | DOOR MATERIAL | FRAME MATERIAL | HARDWARE SET NO. | REMARKS |
| 1 | B | 3'-0"x7'-6"x13" | ALUM. | ALUM. | 2 | ALUM. FRONT DOOR |
| 2 | A | 3'-0"x7'-0"x13" | HM | HM | 3 | 'B' LABEL 1.5 HOUR RATED |
| 3 | C | 3'-0"x7'-0"x13" | HM | HM | 2 | EXTERIOR DOOR W/LITE |
| 4 | A | 2'-8"x6'-8"x13" | SC.WD. | SC.WD. | 4 | BEDROOM DOOR |
| 5 | A | 2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | BATH/CLOSET |
| 6 | A | (2)2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | CLOSET |
| 7 | A | (2)2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | LAUNDRY W/LOUVER |
| 8 | A | (2)2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | CLOSET |
| 9 | A | 2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | POCKET DOOR |
| 10 | B | (2)2'-6"x6'-8"x13" | SC.WD. | SC.WD. | 4 | FRENCH DOORS |
| 11 | C | 3'-0"x6'-8"x13" | HM | HM | 2 | EXTERIOR DOOR W/LITE |

| HARDWARE SCHEDULE | |
|-------------------|---|
| NUMBER | HARDWARE SET |
| 1 | LCN SURFACE MOUNTED CLOSER. 2 PAIR BUTTS FBB 179 4 1/2"x4 1/2" PUSH/PULL MEN OR WOMEN SYMBOL FOR UNIVERSAL HANDICAPPED ACCESSIBILITY. STAINLESS STEEL KICKPLATE EACH FACE. WALL STOP |
| 2 | 2 PAIR 4 1/2"x4 1/2" BUTTS. LOCKSET/DUMMY KNOB T & B FLUSH BOLT. (2) WALL STOP O.H. CLOSER & S.S. KICK PLATE EA.FACE |
| 3 | LCN CLOSER W/O.H. STOP. 2 PAIR BUTTS FBB 179 4 1/2"x4 1/2" LOCKSET. MORTISE SCHLAGE L-07 LEVER. WEATHER STRIP & THRESHOLD |
| 4 | 2 PAIR BUTTS. STOP. |
| 5 | 2 PAIR BUTTS. LOCKSET STOP. W/LATCHSET |
| 6 | 4 PAIR 4 1/2"x4 1/2" BUTTS. COORDINATOR (2) WALL STOPS (2) O.H. CLOSERS |
| ALL | LOCKSETS THROUGHOUT, LEVERS (UNO) |
| ALL | FINISH U.S. 26D (UNLESS NOTED OTHERWISE) |

ALL ROD EXIT DRS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS

- ALL HARDWARE SHALL COMPLY WITH A.D.A. DOOR OPENING DEVICES SHALL HAVE A SHAPE EASY TO GRASP W/ONE HAND & NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE (LEVER, PUSH/PULL) IAC 400.310(J)(8).
- USE BRUSHED CHROME HARDWARE THROUGHOUT U.N.O.
- USE SCHLAGE LOCKSETS/LATCHSETS U.N.O.
- PROVIDE KNURLED HARDWARE ON DOORS TO HAZARDOUS AREAS PER IAC 400.310(I)(2)
- ALL LABELED DOORS SHALL HAVE MATCHING LABELED FRAMES.
- ALL LABELED DOORS TO HAVE CLOSERS.

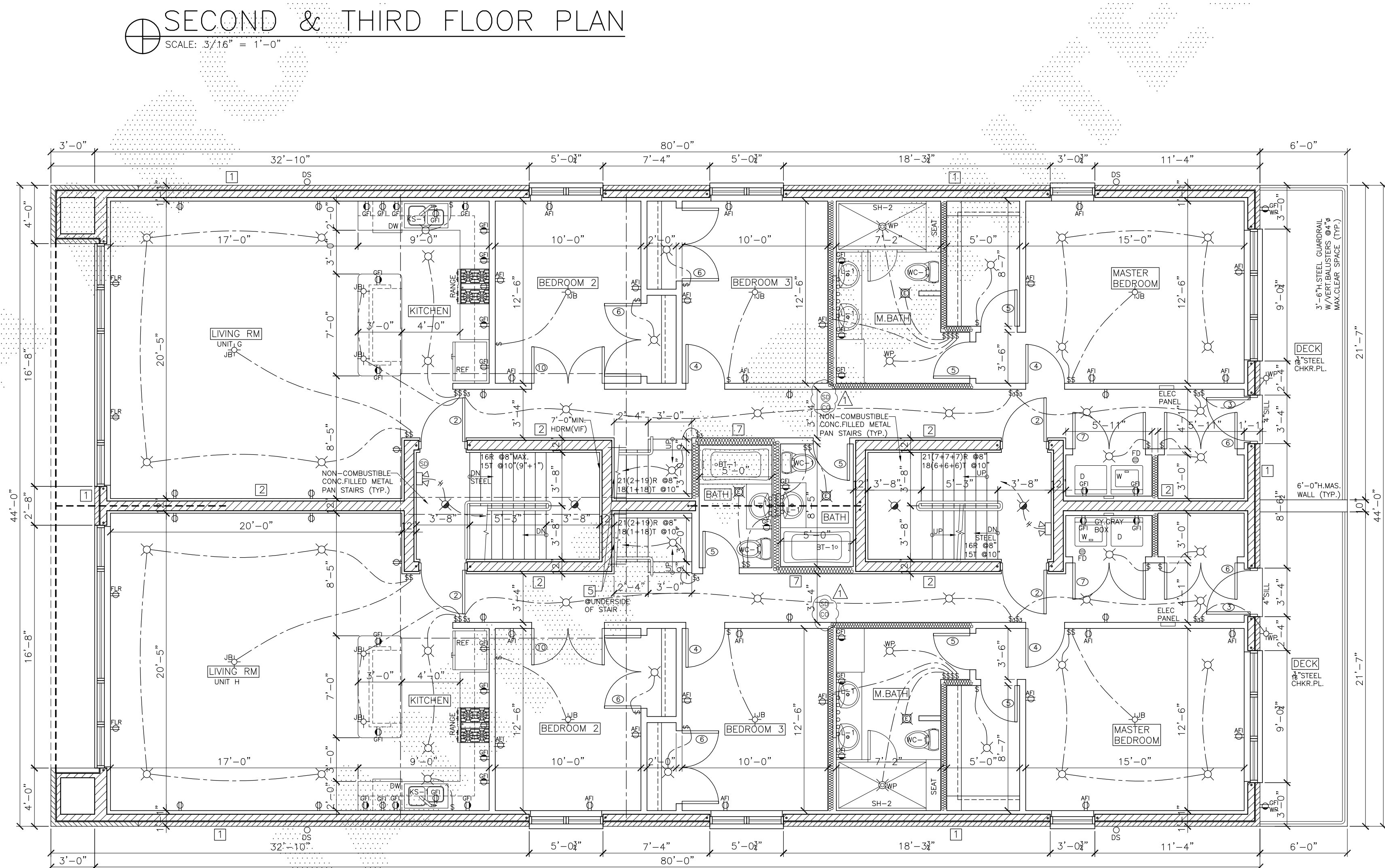
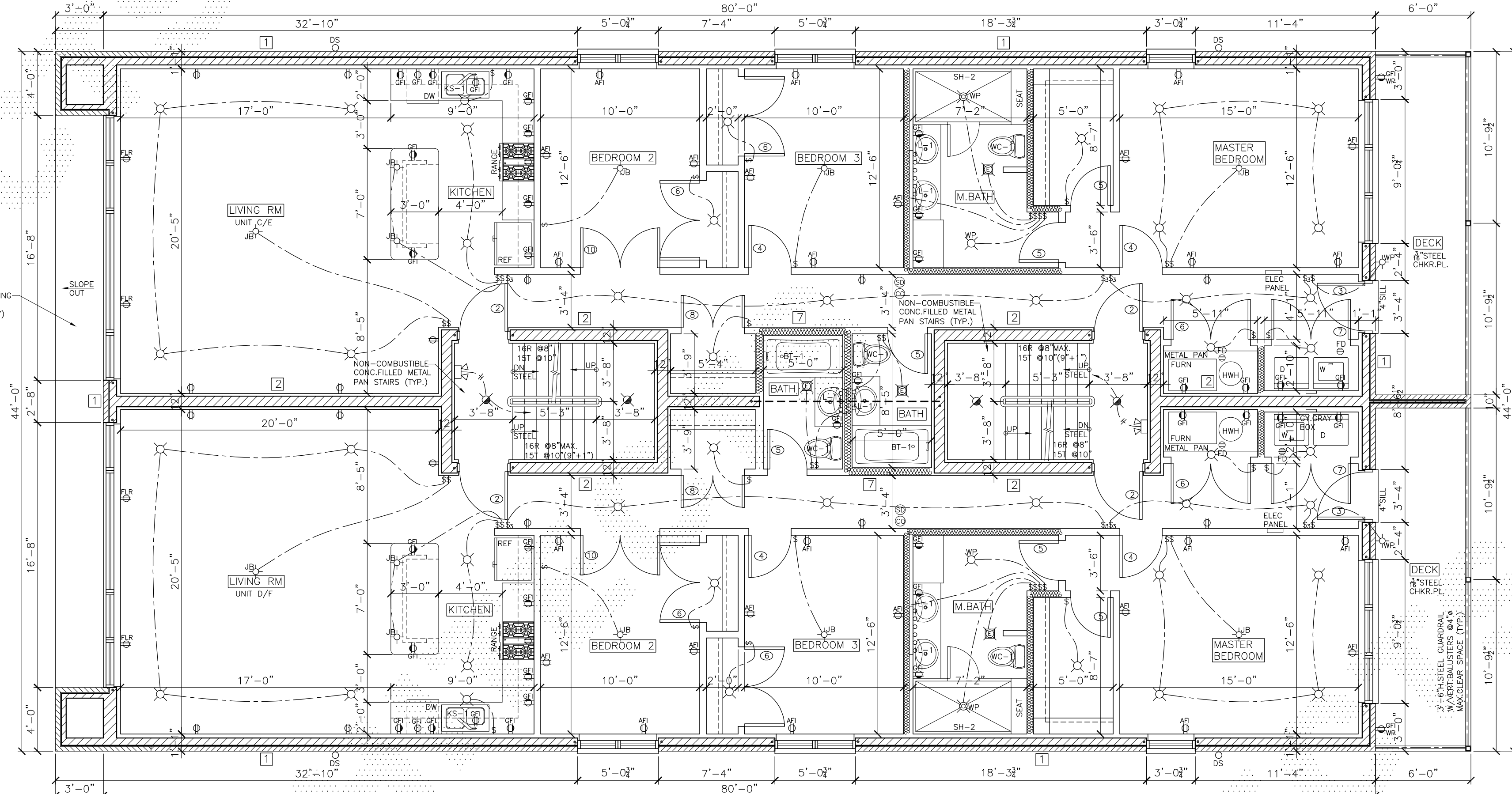
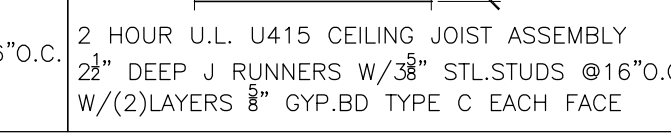
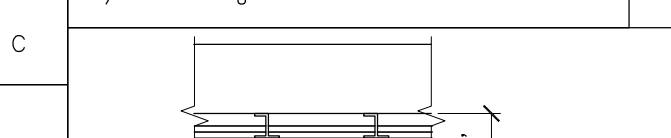
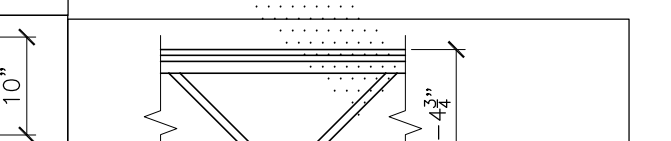
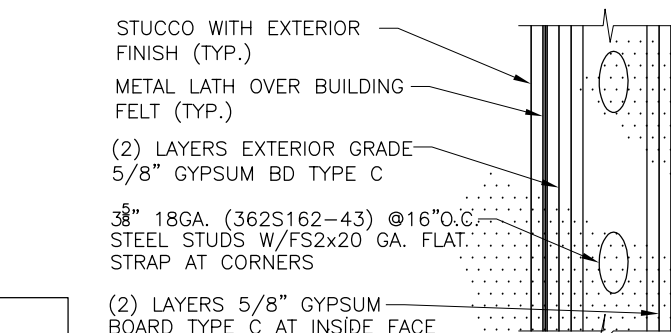
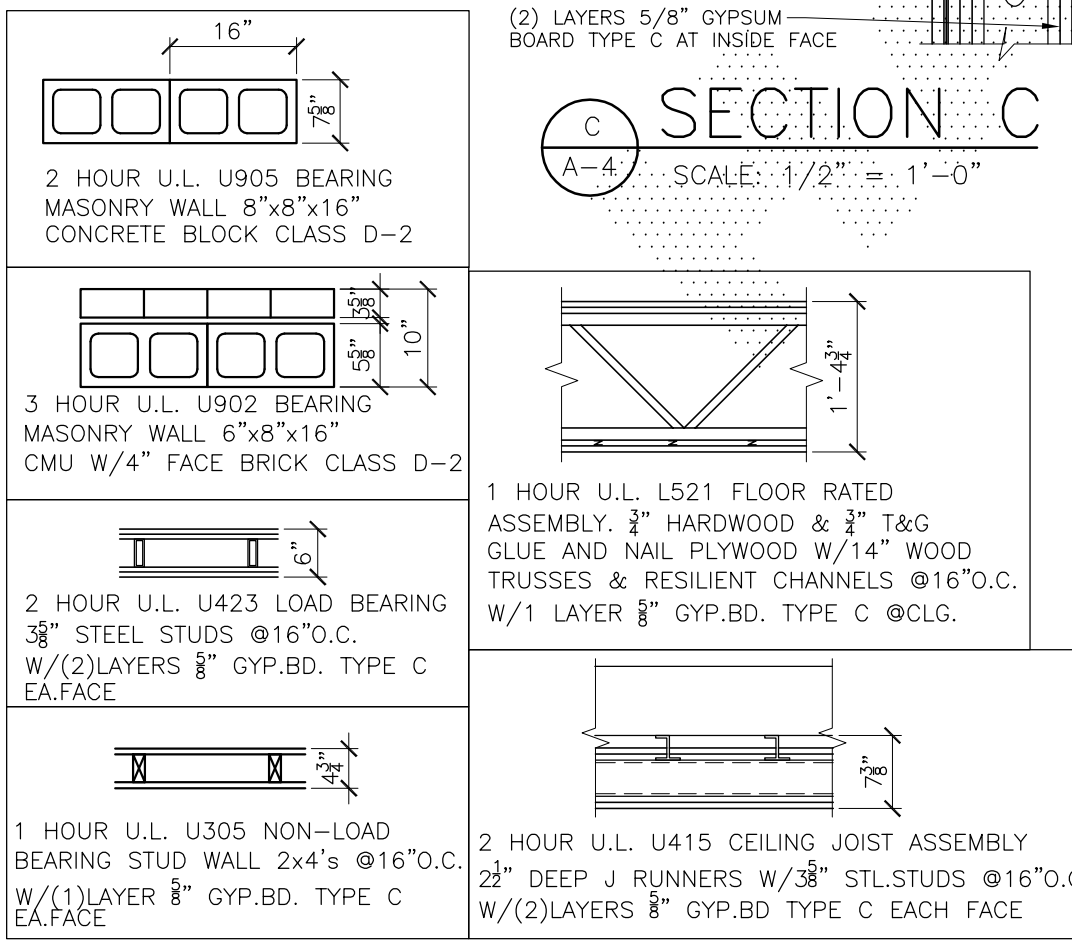


WALL & PARTITION SCHEDULE

- FIRE RATED ASSEMBLY SCHEDULE:
- 3 HOUR U.L. U902 BEARING MASONRY WALL 6"x8"x16" CMU W/4" FACE BRICK CLASS D-2
 - 2 HOUR U.L. U905 BEARING MASONRY WALL 8"x8"x16" CONCRETE BLOCK CLASS D-2
 - 2 HOUR U.L. U301 NON-LOAD BEARING STUD WALL 2x4's @16"O.C. W/(2)LAYER 5/8" GYP.BD. EA.FACE
 - 2 HOUR U.L. L577 TRUSS CEILING ASSEMBLY 5/8" GYP.BD. TYPE C W/2" DEEP RESILIENT CHANNELS W/2 LAYERS 5/8" GYP.BD. TYPE C (SEE DETAIL THIS SHEET)
 - 2 HOUR U.L. U415 CEILING JOIST ASSEMBLY 2" DEEP J RUNNERS W/3" STL.STUDS @16"O.C. W/(2)LAYERS 5/8" GYPSUM BOARD EACH FACE
 - 1 HOUR U.L. U305 NON-LOAD BEARING STUD WALL 2x4's @16"O.C. W/(1)LAYER 5/8" GYP.BD. EA.FACE
 - 1 HOUR U.L. L521 FLOOR RATED ASSEMBLY (SEE WALL SECTION)
 - 2 HOUR U.L. U423 LOAD BEARING STEEL STUD WALL 3" 16 GA. STL.STUDS @16"O.C. W/(2) 5/8" GYP.BD. EA.FACE

COLUMN & BEAM SCHEDULE

- FIRE RATED ASSEMBLY SCHEDULE:
- 2 HOUR U.L. X528 STEEL TUBULAR COLUMN LAYERS OF 5/8" GYP.BD. TO EQUAL 18" THICKNESS



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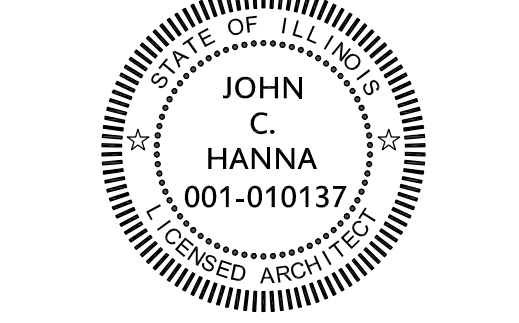
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PROJECT NAME & ADDRESS

2732 W. ARMITAGE 4 STORY 8 UNIT MASONRY APART.BLDG W/BASEMENT CHICAGO, ILLINOIS

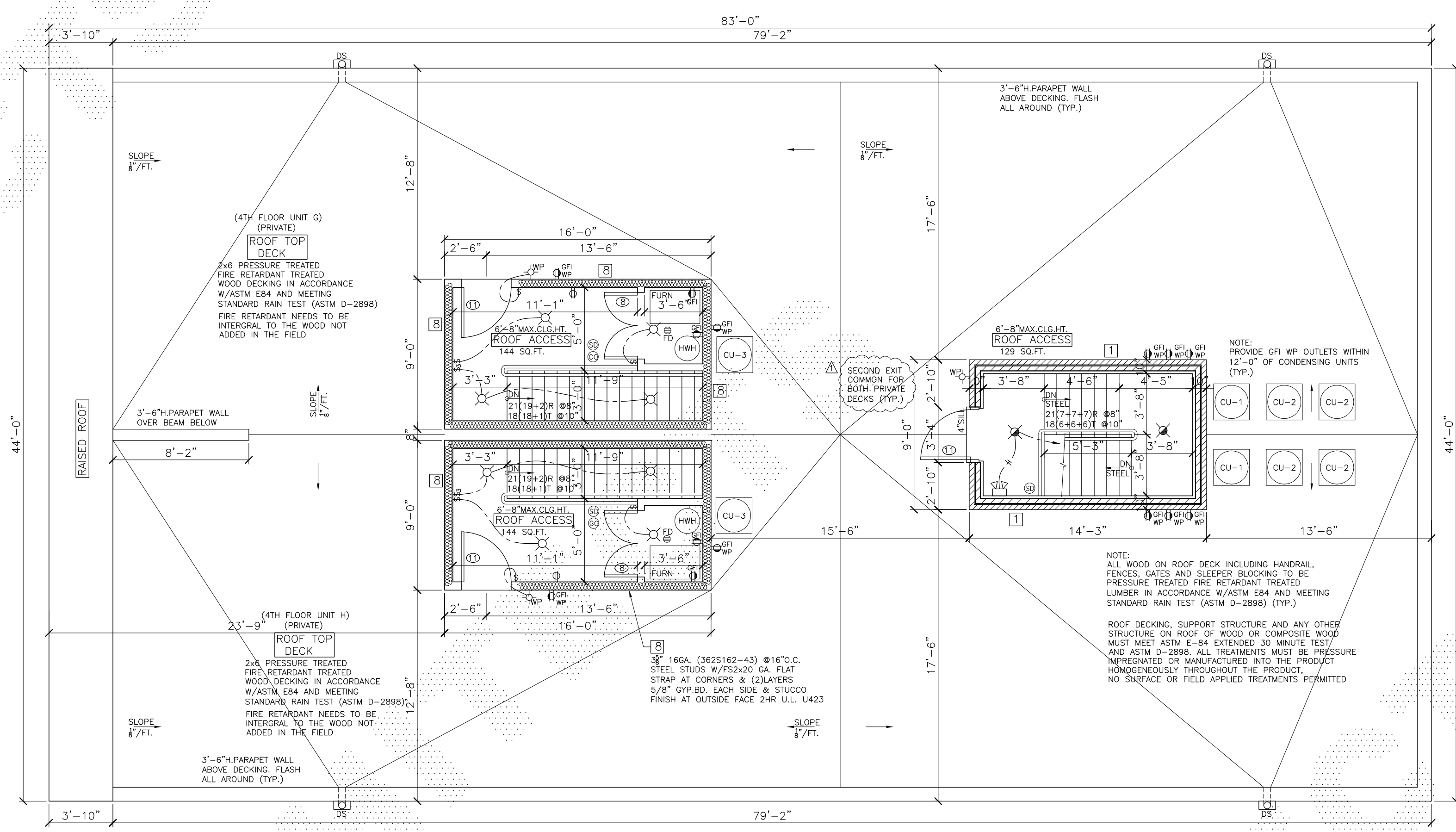
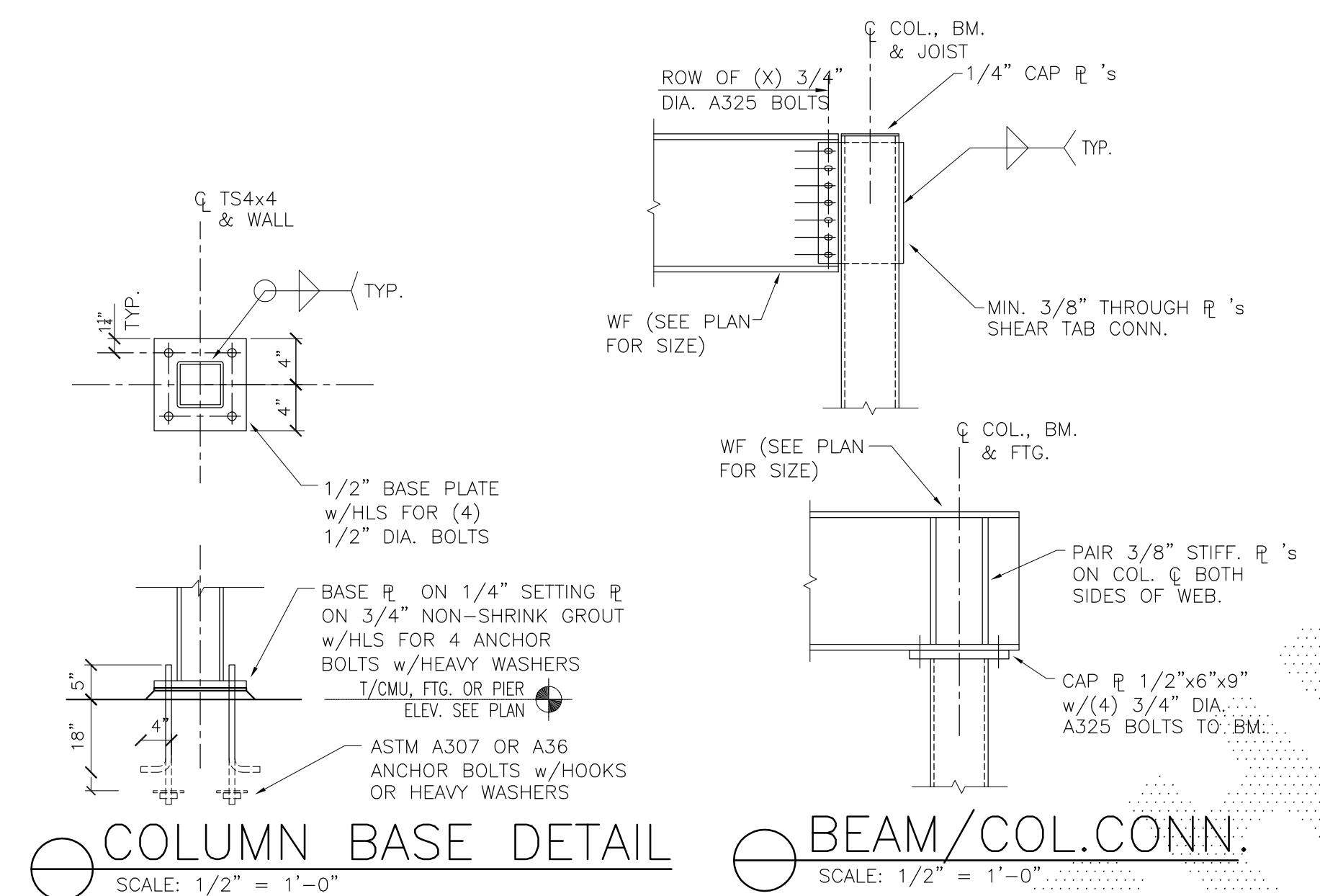
SHEET TITLE

SECOND THRU FOURTH FLOOR PLANS

FILENAME

SHEET NUMBER

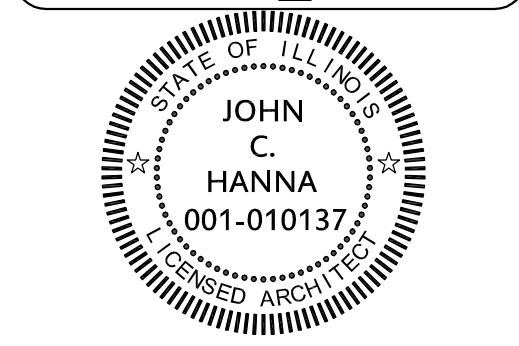
A-3



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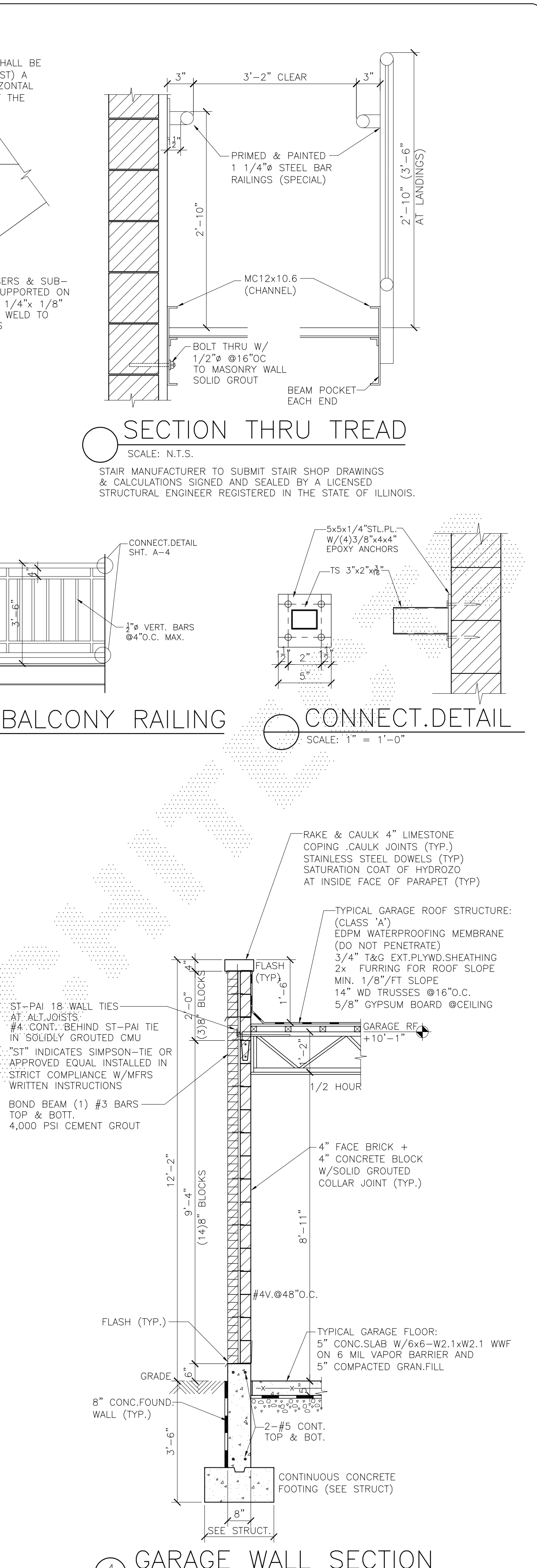
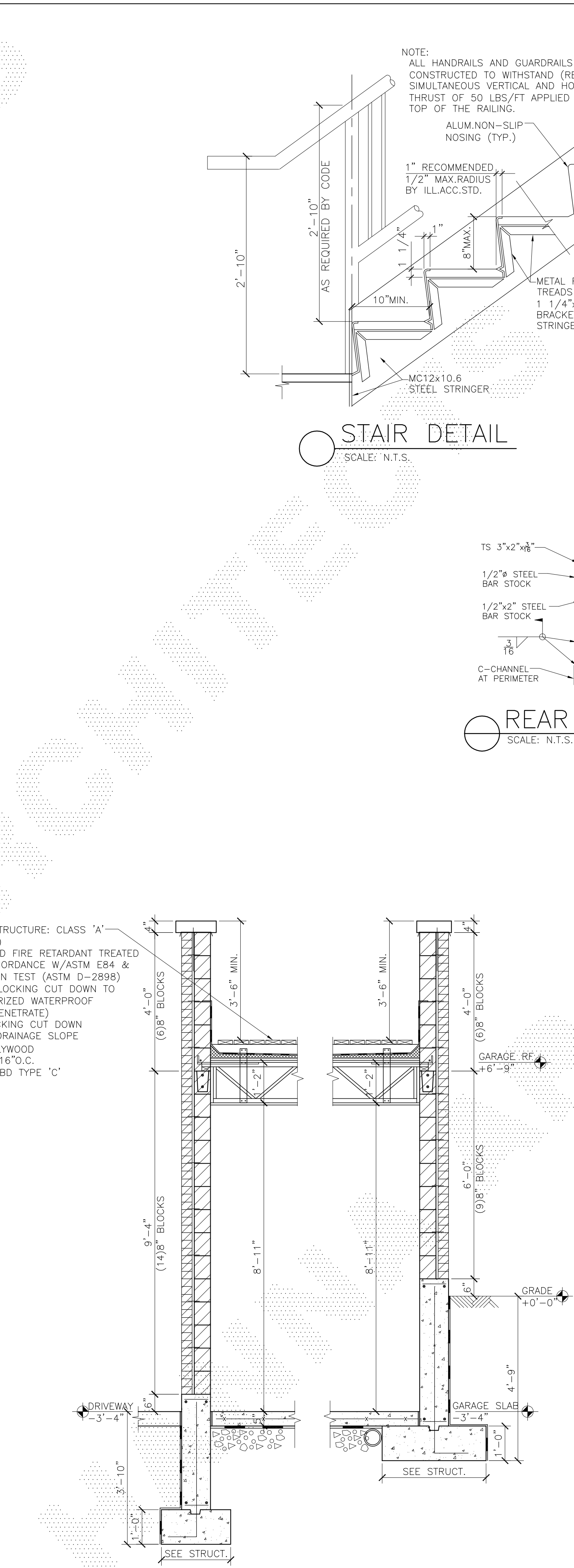
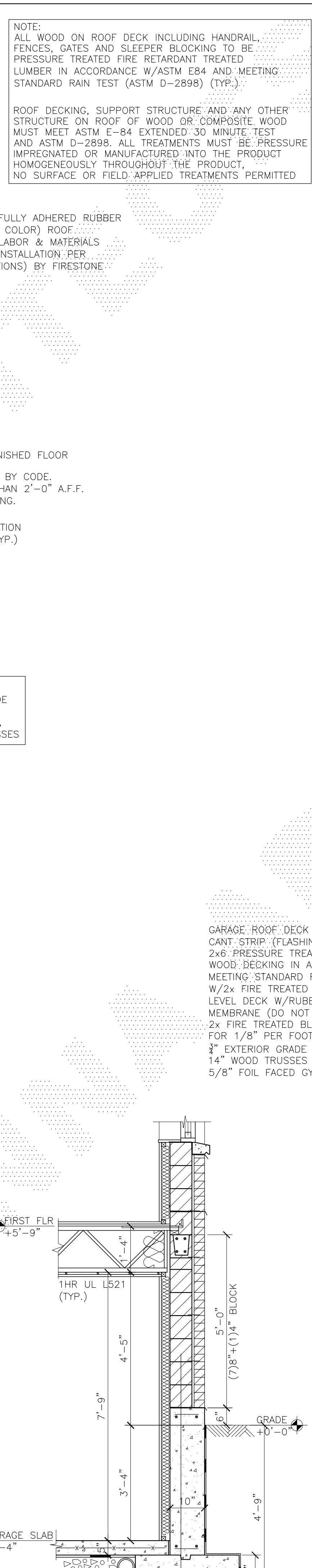
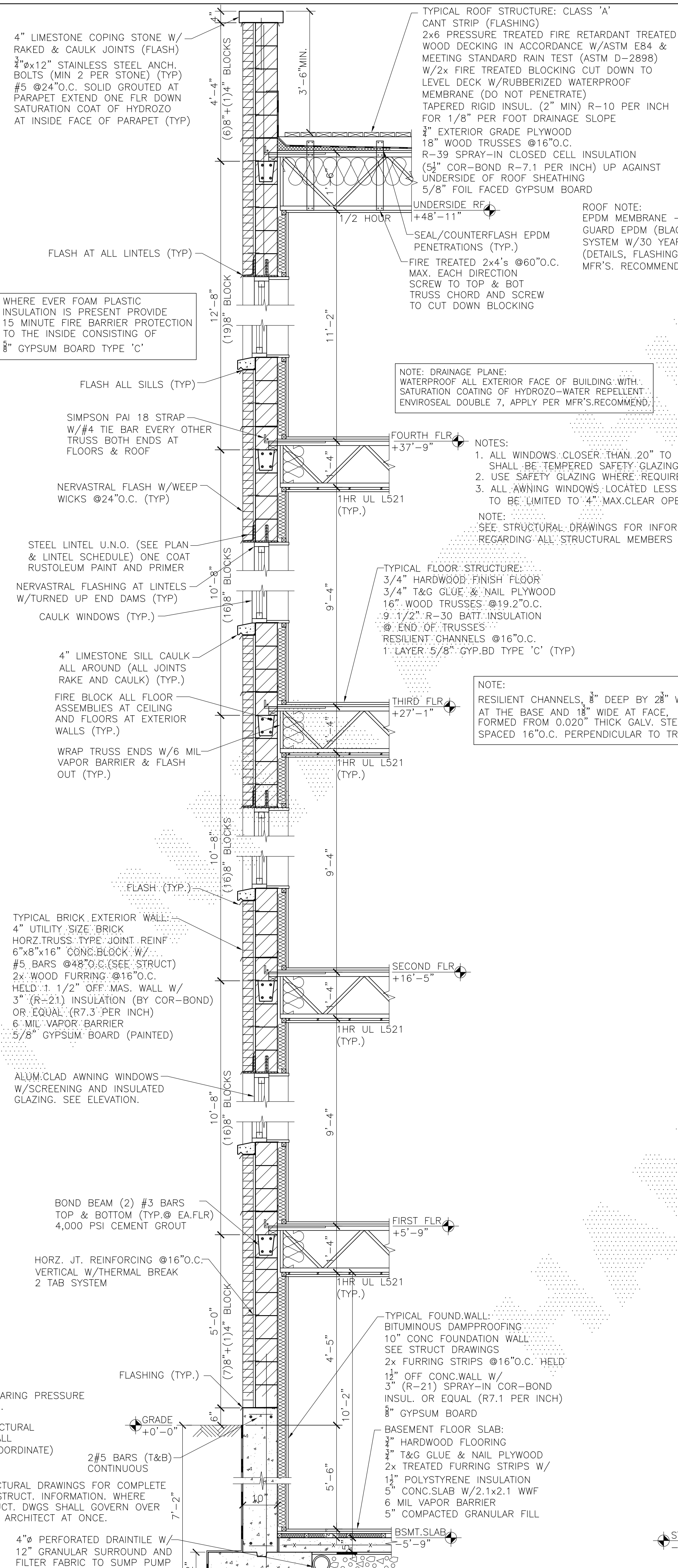


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2732 W. ARMITAGE
4 STORY 8 UNIT
MASONRY APART. BLDG
W/BASEMENT
CHICAGO, ILLINOIS

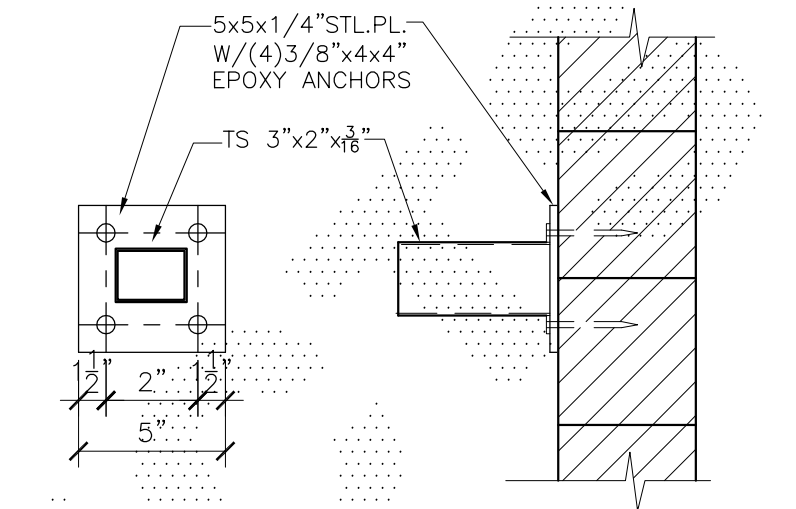
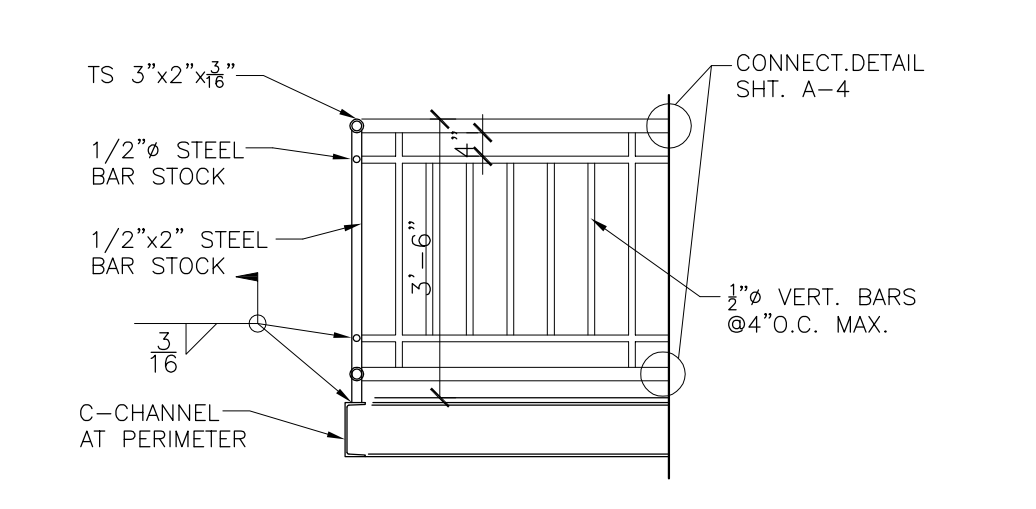
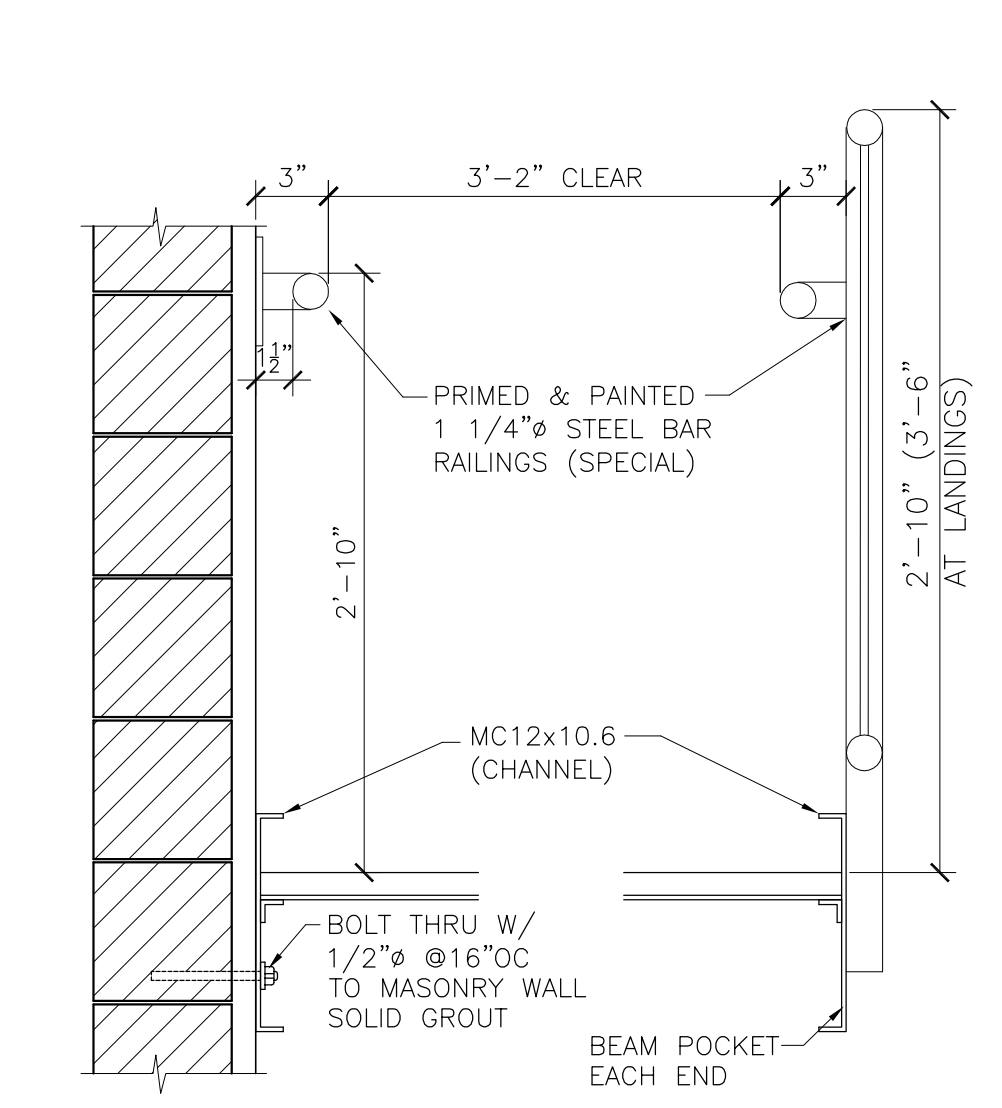
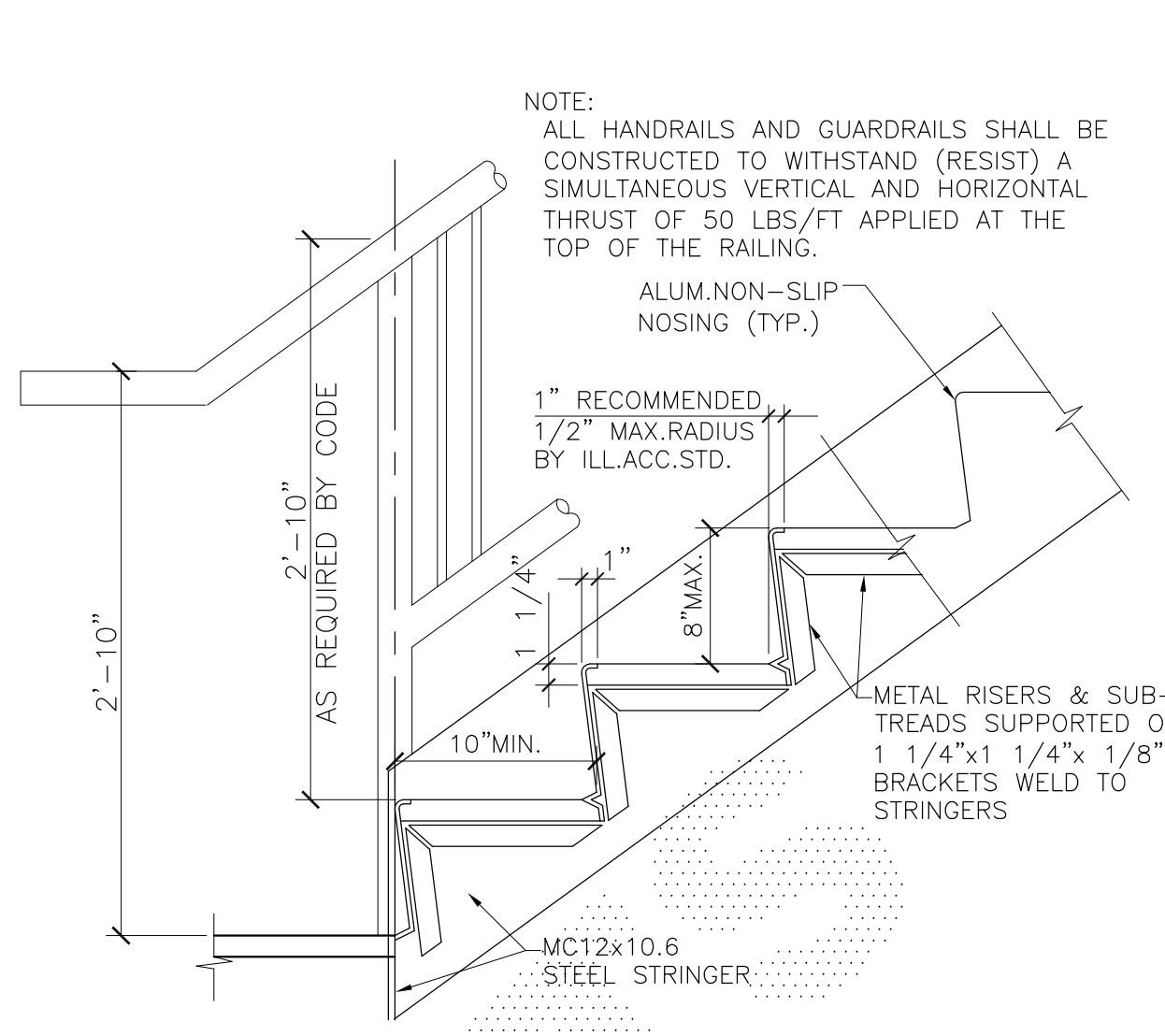
SHEET TITLE
ROOF DECK
PLAN

FILENAME

SHEET NUMBER
A-4



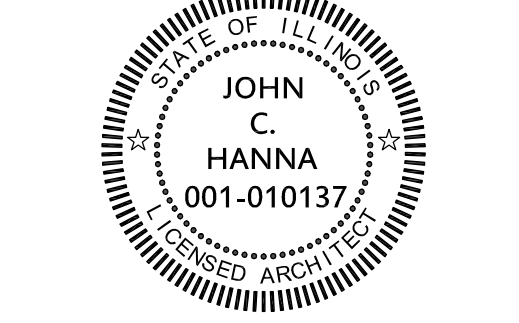
NOTE:
ALL WOOD ON ROOF DECK INCLUDING HANDRAIL, FENCES, GATES AND SLEEPER BLOCKING TO BE PRESSURE TREATED FIRE RETARDANT TREATED LUMBER IN ACCORDANCE W/ASTM E84 AND MEETING STANDARD RAIN TEST (ASTM D-2898).



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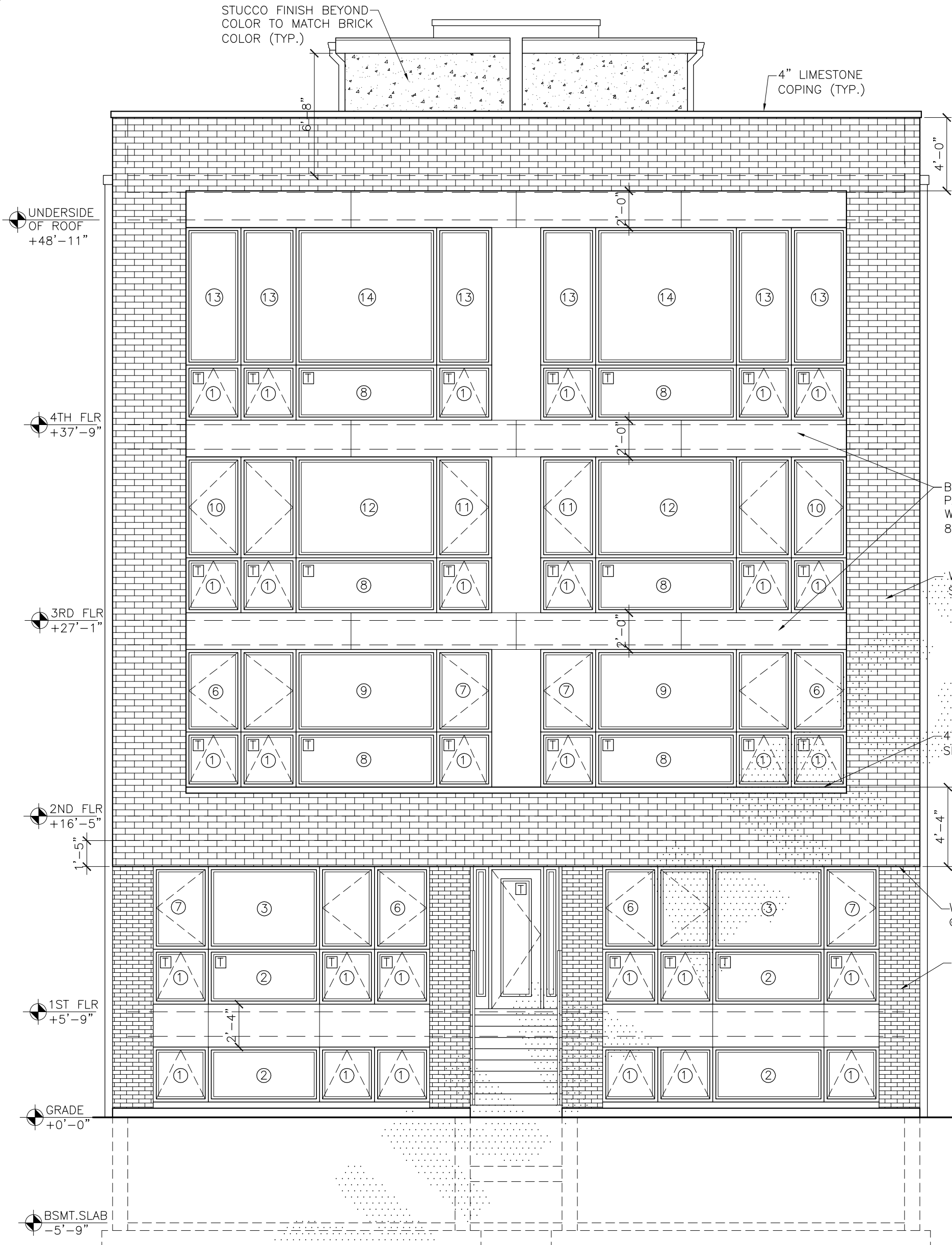


PROJECT NAME & ADDRESS
2732 W. ARMITAGE
4 STORY 8 UNIT
MASONRY APART.BLDG
W/BASEMENT
CHICAGO, ILLINOIS

SHEET TITLE
WALL SECTION
& DETAILS

FILENAME

SHEET NUMBER
A-5



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
ALL FLOOR ELEVATIONS ARE TO TOP OF THE STRUCTURE (TYP.)



EAST ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:
DO NOT INSTALL ANY ADDITIONAL LIMESTONE AT ELEVATIONS WITHOUT ARCHITECTS CONSENT. MASONRY CONTRACTOR IS NOT TO CHANGE OR OMIT ANY ELEVATION DETAILS WITHOUT CONTACTING ARCHITECT.

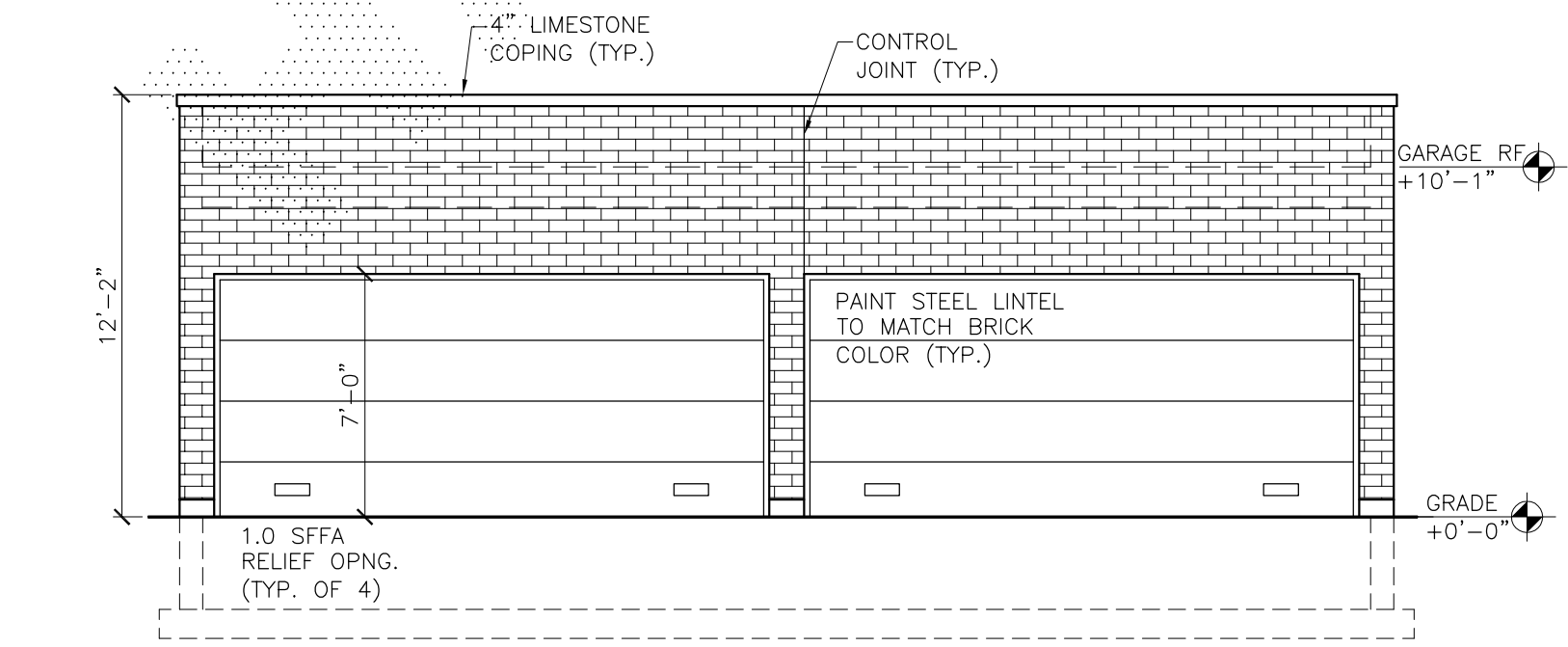
NOTE:
STAIRWAY, PORCH, DECK AND BALCONY RAILING, BOTH INTERIOR AND EXTERIOR SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL AND HORIZONTAL THRUST OF 50 LBS./FT. (POUNDS-FORCE, PER LINEAR FOOT) APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS./FT. IN ANY DIRECTION WHICH EVER PRODUCES THE GREATEST STRESS. SHALL SUBMIT SEALED CALCULATIONS AND SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION (TYP.)

| WINDOW SCHEDULE | | | | | |
|-----------------|----------|---------------|-------------|--------------|--------------|
| MARK | TYPE | SIZE | LT. SQ. FT. | VENT SQ. FT. | JELD-WEN NO. |
| 1 | AWNING | 3'-0" x 3'-0" | 6.28 | 7.14 | SCAW-3636-1 |
| 2 | PICTURE | 6'-0" x 3'-0" | 13.79 | - | SCCA-7236-1 |
| 3 | PICTURE | 6'-0" x 4'-6" | 22.05 | - | SCCA-7254-1 |
| 4 | CASEMENT | 9'-0" x 5'-0" | 33.87 | 9.88 | SCCA-3660-3 |
| 5 | TRANSOM | 3'-0" x 2'-0" | 3.77 | - | SCCA-3624-1 |
| 6 | CASEMENT | 6'-0" x 4'-6" | 20.06 | 8.84 | SCCA-3654-2 |
| 7 | CASEMENT | 3'-0" x 4'-6" | 10.03 | 4.42 | SCCA-3654-1 |
| 8 | PICTURE | 7'-8" x 3'-0" | 17.00 | - | - |
| 9 | PICTURE | 7'-8" x 4'-6" | 27.00 | - | - |
| 10 | CASEMENT | 6'-0" x 5'-6" | 25.08 | 10.94 | SCCA-3666-2 |
| 11 | CASEMENT | 3'-0" x 5'-6" | 12.54 | 5.47 | SCCA-3666-1 |
| 12 | PICTURE | 7'-8" x 5'-6" | 34.00 | - | - |
| 13 | PICTURE | 3'-0" x 7'-6" | 16.00 | - | - |
| 14 | PICTURE | 7'-8" x 7'-6" | 48.00 | - | - |
| 15 | CASEMENT | 5'-0" x 5'-0" | 18.06 | 20.40 | SCCA-3060-2 |

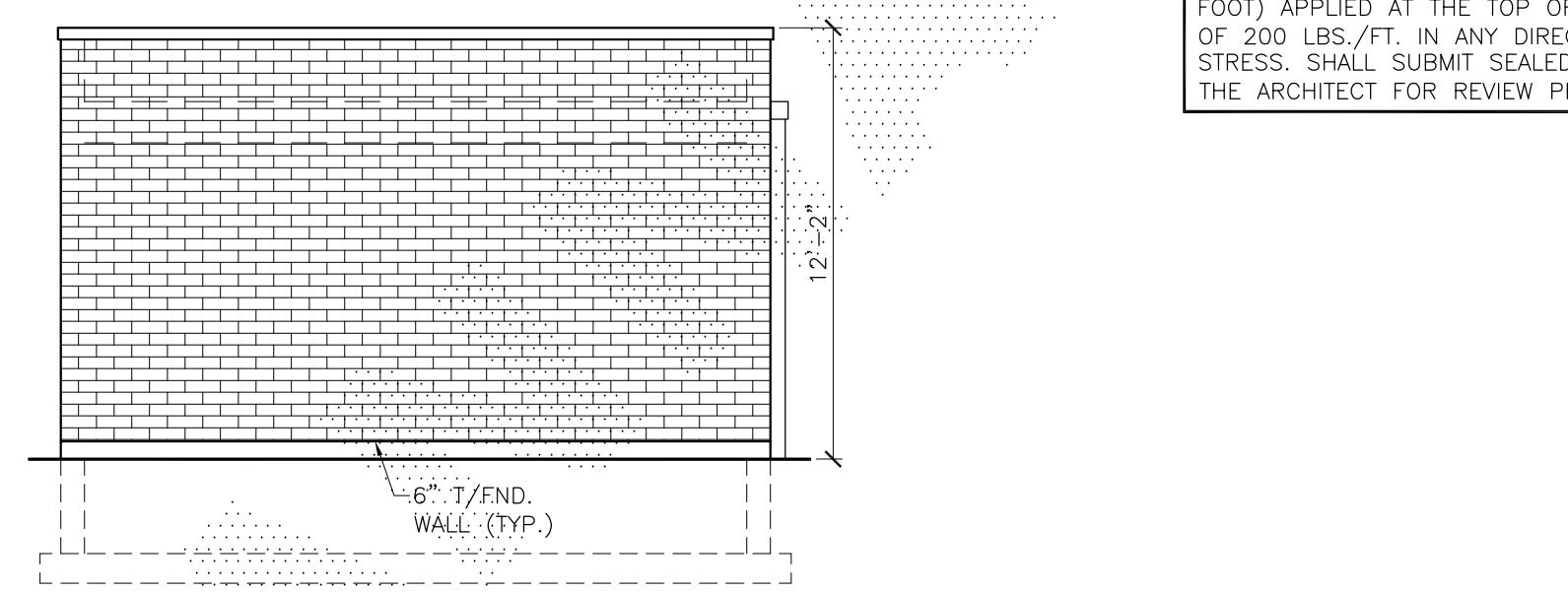
[T] - TEMPERED SAFETY GLAZING REQUIRED BY CODE

- NOTES:
- WINDOWS TO BE ALUM. CLAD, INSULATED GLASS, WITH SCREENS BY JELD-WEN OR EQUAL. FRAME COLOR TO BE BLACK.
 - WINDOW "U" VALUE = 0.32
 - ALL WINDOWS CLOSER THAN 24" TO FIN. FLOOR SHALL BE TEMPERED SAFETY GLAZING (TYP.)
 - USE SAFETY GLAZING WHERE REQUIRED BY CODE.
 - ALL AWNING WINDOWS CLOSER THAN 24" TO FIN. FLOOR SHALL BE LIMITED TO OPENING ONLY 4" MAX. (EXCLUDING WINDOWS AT BALCONIES)
 - WINDOW SUPPLIER/MANUFACTURER/INSTALLER TO DESIGN ANY AND ALL NECESSARY STIFFENERS & SUPPORTS AS NECESSARY AND FOR WINDOW SYSTEM AND CONFIGURATION TO COMPLY WITH ALL CITY OF CHICAGO WIND LOAD REQUIREMENTS.

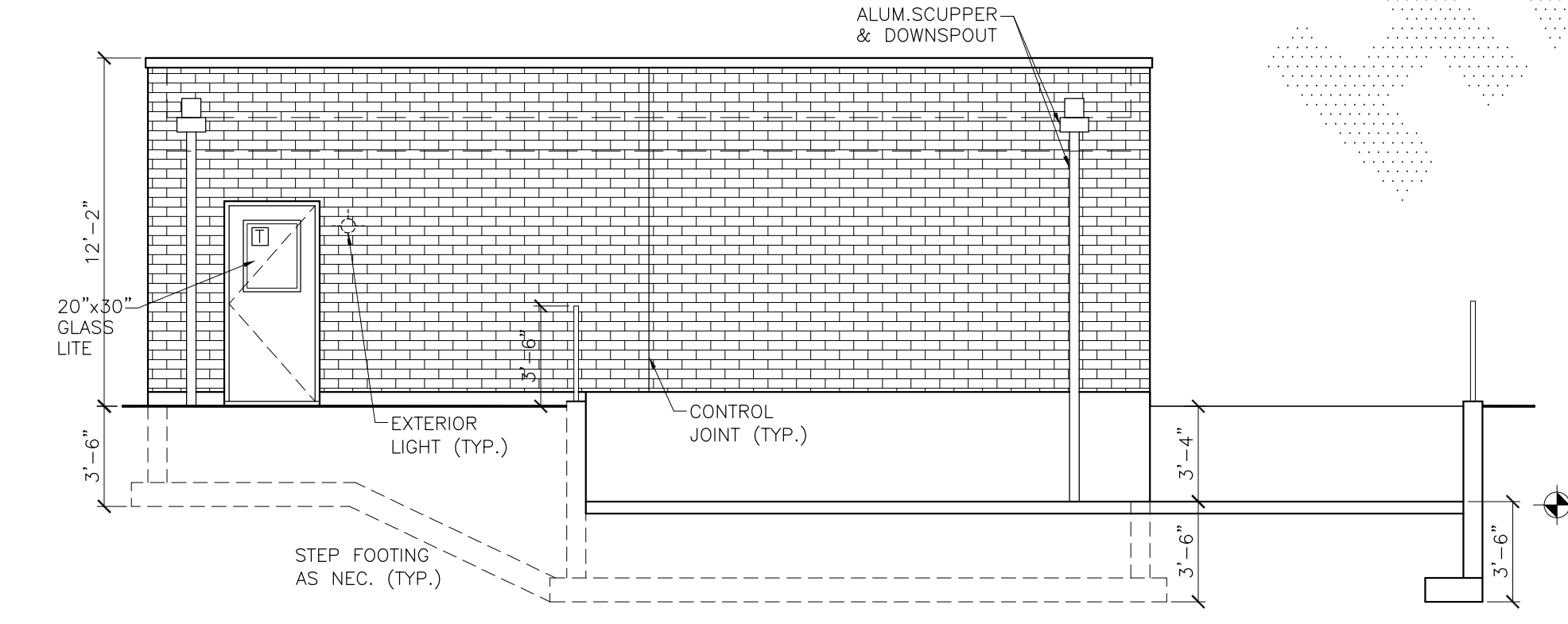
13-124-350 Safety glazing materials
All glazed doors, and any glazed panel more than 18 inches in width immediately adjacent to any door wherein the sill of such glazed panel is less than 24 inches above the floor shall be considered hazardous locations and shall be glazed with safety glazing materials. Glazed doors shall include, among others, the following: sliding glass doors, storm doors, shower doors and bathtub enclosures.



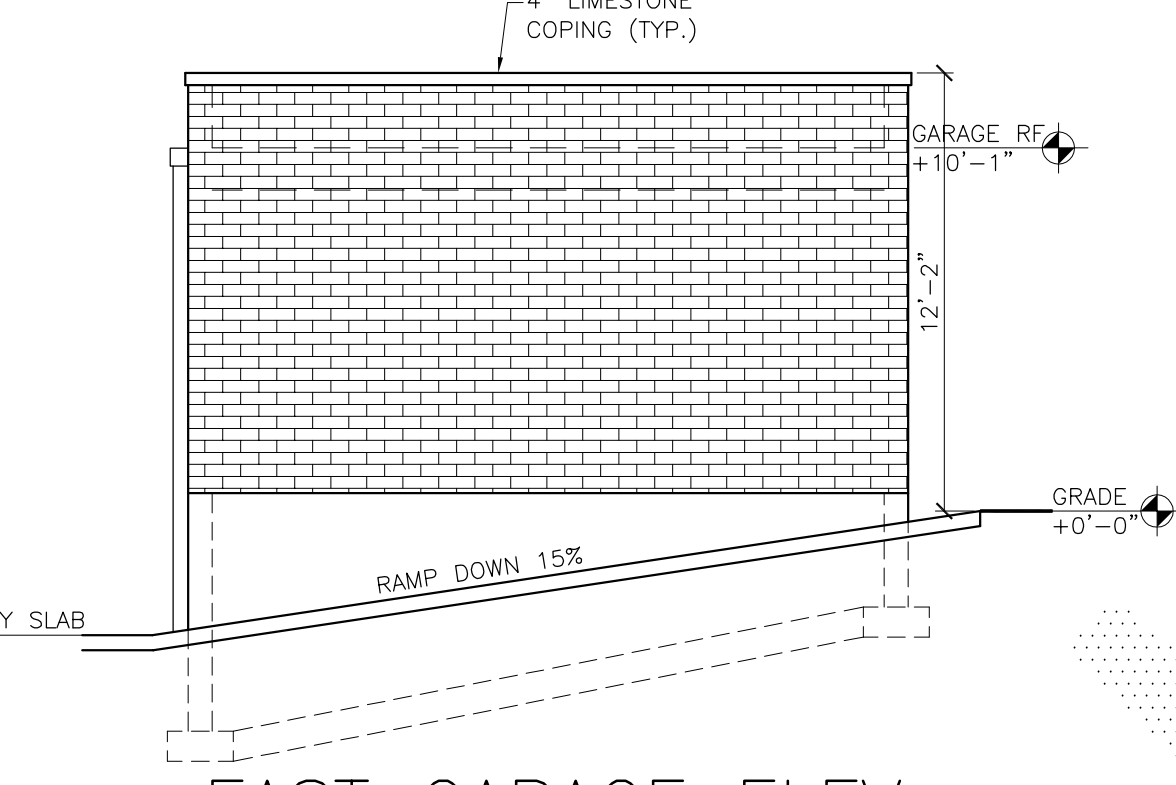
NORTH GARAGE ELEV
SCALE: 3/16" = 1'-0"



WEST GARAGE ELEV
SCALE: 3/16" = 1'-0"



SOUTH GARAGE ELEV
SCALE: 3/16" = 1'-0"



EAST GARAGE ELEV
SCALE: 3/16" = 1'-0"



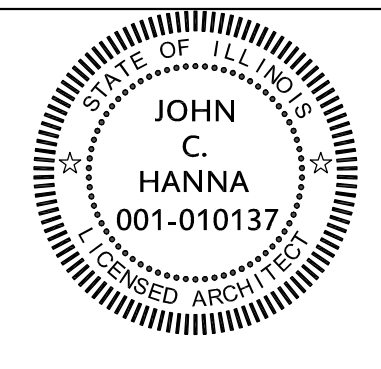
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4 STORY 8 UNIT
MASONRY APART.BLDG
W/BASEMENT
CHICAGO, ILLINOIS**

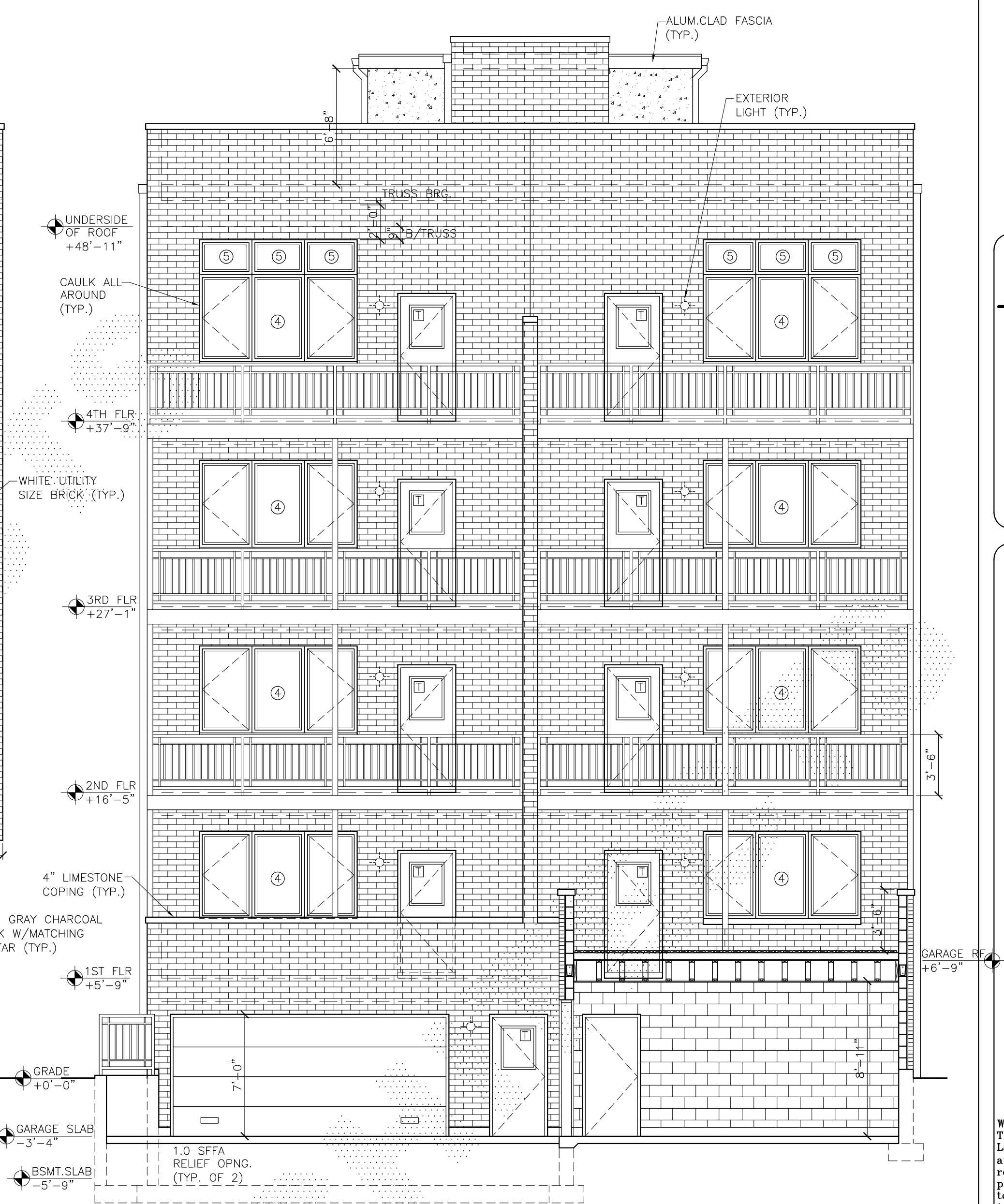
SHEET TITLE
**BUILDING
ELEVATIONS**

FILENAME

SHEET NUMBER
A-5



WEST ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



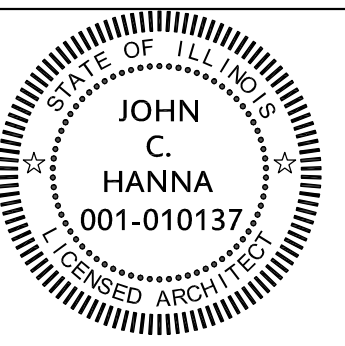
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2732 W. ARMITAGE
4 STORY 8 UNIT
MASONRY APART.BLDG
W/BASEMENT
CHICAGO, ILLINOIS

SHEET TITLE
BUILDING
ELEVATIONS

FILENAME

SHEET NUMBER
A-6